



# **SOUTH FAYETTE T O W N S H I P**

A Community Growing Together

**March 26, 2026 - 7:00 P.M.**

## **Planning Commission Meeting Agenda**

1. CALL TO ORDER

2. ROLL CALL

Tom Iagnemma, Chairman  
Doug Kaine, Secretary  
Joseph Johnson  
Jamey Noland  
Danny Cerrone Jr.  
Jason Paulovich, Gibson-Thomas Engineering  
Chris Seymour, Dodaro, Matta & Cambest, P.C.

3. PLEDGE OF ALLEGIANCE

4. OLD BUSINESS

5. NEW BUSINESS

- A. Review And Discuss S-02-2026 Smith Henney Lot Line Adjustment Plan, Preliminary And Final Minor Subdivision Application, Parcels 328-G-13 & 328-G-30, Zoned R-2.

A lot line adjustment between 244 & 234 Nesbit Road.

Documents:

APPLICATION S-02-2026.PDF  
AGENT AUTHORIZATION FORM.PDF  
SUBDIVISION PLAN.PDF  
GTE REVIEW LETTER 3-23-2026.PDF  
ALLEGHENY COUNTY REVIEW LETTER 2-19-2026.PDF  
MATSF REVIEW - NO COMMENTS.PDF  
SMITH DEED.PDF  
DEED - HENNEY.PDF

- B. Review And Discuss PP-01-2026 Hastings Masterplan Revisions, Preliminary Land Development Application, Mayview Road, Zoned ND, Neighborhood Design.

Documents:

APPLICATION PP-01-2026.PDF  
AGENT AUTHORIZATION FORM.PDF  
MASTER PLAN.PDF  
GTE REVIEW LETTER 3-17-2026.PDF  
MATSF REVIEW - NO COMMENTS.PDF

AGREEMENT OF SALE.PDF  
ALOE DEED.PDF

- C. Review And Discuss F-01-2026 Hastings Phase 5, Preliminary And Final Major Subdivision Application, Parcel 571-A-10, Zoned ND, Neighborhood Design.

The project includes 14 single-family and 10 townhomes on one of the remaining developable parcels within the Hastings Neighborhood.

Documents:

APPLICATION F-01-2026.PDF  
AGENT AUTHORIZATION.PDF  
PROJECT NARRATIVE.PDF  
MODIFICATION REQUESTS.PDF  
LD PLANS (REDUCED).PDF  
SUBDIVISION PLAN - HASTINGS PHASE 5.PDF  
GTE REVIEW LETTER 3-17-2026.PDF  
ALLEGHENY COUNTY REVIEW LETTER 3-17-2026.PDF  
DEED REQUIRED NOTIFICATION CLAUSE.PDF  
REVIEW REFERRAL F-01-2026 HASTINGS PHASE 5 MATSF.PDF  
217-03-071\_HASTINGS PHASE 5\_PLAN REVIEW\_SRG\_02-26-26.PDF  
PCSM REPORT.PDF  
TIS ADDENDUM.PDF  
PAW AVAILABILITY HASTINGS DEVELOP - SFAP.PDF  
PEOPLES GAS AVAILABILITY LETTER\_5.11.16.PDF  
COLUMBIA GAS AVAILABILITY LETTER-- MAYVIEW ROAD-5-9-16.PDF  
AGREEMENT OF SALE.PDF  
ALOE DEED.PDF

## 6. ACCEPTANCE OF APPLICATIONS

- A. Review And Consider For Acceptance S-03-2026 Janocha Plan No.2, Preliminary And Final Minor Subdivision Application, Parcel 400-F-10, Zoned R-2 & I-P.

Documents:

APPLICATION S-03-2026.PDF  
SUBDIVISION.PDF  
MATSF REVIEW - NO COMMENTS.PDF  
SWM REPORT.PDF  
SEWAGE PLANNING MODULE REVIEW LETTER KLH 3-19-2026.PDF  
SEWAGE PLANNING MODULE.PDF  
DEED.PDF

## 7. OPEN DISCUSSION

## 8. ADJOURNMENT



Plan Name:	Smith Henney Lot Line Adjustment Plan	File No.	S-02-2026
Plan Location:	244 Nesbit Rd	Tax I.D. #	328-G-13 & 328-G-30
Project Description	A lot line adjustment between 244 Nesbit Rd & 234 Nesbit Rd.		

**Check Appropriate Box(es)**

Land Development Plan	<input type="checkbox"/>	Subdivision Plan	<input checked="" type="checkbox"/>	Conditional Use Plan	<input type="checkbox"/>
Minor Subdivision	<input checked="" type="checkbox"/>	Major Subdivision	<input type="checkbox"/>	Open Space Plan	<input type="checkbox"/>
Preliminary Plan Submission	<input checked="" type="checkbox"/>	Final Plan Submission	<input checked="" type="checkbox"/>		

Zoning District(s)	R-2	Property Acreage	9.718	No. Lots/Units	2
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Applicant's Name:	J. Todd Hendwood, PLS	Phone No.	
Applicant's Address:	1712 Mount Nebo Road Sewickley, PA 15143	Fax No.	
Applicant's E-Mail:			
Engineer Firm/Name	Sheffler & Company Inc.	Phone No.	
Engineer's Address:	1712 Mount Nebo Road Sewickley, PA 15143	Fax No.	
Contact Person:	Mike Cancilla	E-Mail Address	

The following items are reviewed as part of the South Fayette Township application process. Applications submitted WITHOUT these elements will NOT be reviewed by the township.

REQUIRED SUBMISSION ITEMS	Copies	✓ Yes	✓ No	✓ N/A
1) Completed Application Form	1	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2) ACED Subdivision/Land Development Application	1	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3) Maps and Plans				
• Plus PDF of drawings	1	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Sets Full-Size Plans (24" x 36")	5	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Sets Half-Size Plans (11" x 17")	5	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4) Agent Authorization Form	1	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5) Application Fee	1	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6) Escrow – Engineer, Solicitor, Inspection	1	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7) Stormwater Management Plan & Calculations (plus PDF)	2	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8) Erosion & Sedimentation Control Plan (plus PDF)	2	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9) Deed, Sales Agreement or Other Ownership	1	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

*I have familiarized myself with and hereby agree to comply with the subdivision and zoning ordinance of the township as well as to all township rules, regulations and resolutions. I agree to pay the applicable fee(s).*

Signature of Applicant: J. Todd Hendwood Date: 01.30.2026

If applicant is not the property owner, an Agent Authorization Form must be attached.



**SOUTH FAYETTE**  
T O W N S H I P

A Community Growing Together

**Agent Authorization**

**Form**

www.southfayettepa.com

**Name of Property Owners:** ALEXANDER ANTHONY SMITH & KALEY MARIE MOYER,  
MATTHEW BERNARD & CHRISTINE ANNE HENNEY

**Property Tax Map Number:** 328-G-13 and 328-G-30

**Property/Project(s):** Lot Line Adjustment

**This application/phase only**

**All related applications and phases**

The above named property owner hereby appoints: Sheffler & Company Inc.

as its agent and authorizes said agent to apply for and process the above mentioned development plan/variance on his/her behalf. Agent is further authorized to sign all necessary documentations for such purposes, including acceptance of conditions imposed by the Board of Commissioners upon arrival of the plan. This authorization shall remain in full force and effect until written notice of revocation is delivered to the South Fayette Township Manager.

SIGNED AND SEALED, intending to be legally bound on this date of:

\_\_\_\_\_

Owner(s) Signature:  1/27/2016 (SEAL)

OWNER'S ADOPTION AND DEDICATION  
We, owners or beneficial owners of the land shown on the Smith Henney Lot Line Adjustment Plan, hereby adopt this plan as our plan of lots and irrevocably dedicate all streets and other property identified for dedication on the plan to the Township of Collier and the Township of South Fayette. This adoption and dedication shall be binding upon our heirs, executors, and assigns.

IN WITNESS OF WHICH, to this WE set our hand and seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

ATTEST:

Notary Public Alexander Anthony Smith Kaley Marie Mayer  
(Signature) (Signature) (Signature)

ACKNOWLEDGMENT OF NOTARY PUBLIC

Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of \_\_\_\_\_, personally appeared the above named Alexander Anthony Smith and Kaley Marie Mayer, and acknowledged the foregoing adoption and dedication to be their act.

Witness my hand and notarial seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. My commission expires the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

(Seal) Notary Public

CERTIFICATION OF TITLE WITH MORTGAGE AND CONSENT OF MORTGAGEE

We hereby certify that the title to the property contained in the Smith Henney Lot Line Adjustment Plan is in the name of Alexander Anthony Smith and Kaley Marie Mayer and is recorded in deed book volume 18793, page 243.

Witness Alexander Anthony Smith Kaley Marie Mayer  
(Owner) (Owner)

CFS Bank, mortgagee of the property contained in the Smith Henney Lot Line Adjustment Plan consents to the recording of said plan and to the dedications and all other matters appearing on the plan.

Witness Name, title, and mortgagee

SURVEYOR'S CERTIFICATION

I, Gary A. Sheffler, (Registration No. 11786-E), hereby certify to the best of my knowledge, information and belief that this plan represents a survey made by me, and that all monuments shown actually exist and their location, size and material are correctly shown upon the plans, and the plans comply with all surveying requirements of the Township of Collier and Township of South Fayette Subdivision of Land Ordinances and the laws of the Commonwealth as they pertain to the practice of land surveying.

01/26/2026 Gary A. Sheffler  
Date Name Signature

(Seal) 11786-E  
Registration number

MUNICIPAL ENGINEER'S CERTIFICATION

I certify that this plan meets all engineering and design requirements of the applicable ordinances of the Township of Collier, except as departures have been authorized by the appropriate officials of the municipality.

Date Name

(Seal) Registration number

MUNICIPAL DECLARATIONS

No Acceptance of Dedication

The Board of Commissioners, of the Township of Collier gives notice that, in approving this plan for recording, the Township of Collier assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Secretary President of the Board of Commissioners

No Building Permits Without Approved Sewage Facilities

The Township of Colliers agrees not to issue building permits until the "Planning Module for Land Development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

Date Authorized municipal official

As of the date of this plan's approval by the approving authority, no development of any land contained in this subdivision or land development for any purpose requiring sanitary sewage facilities is planned. No portion of this property has been approved by the municipality or the Department of Environmental Protection for the installation of sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment or disposal system unless the municipality and the DEP have both approved sewage facilities planning for the property included in this plan in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. § 750.1 et seq.) and regulations promulgated thereunder. Prior to the transfer of any lot or property included in this plan, any purchaser should contact appropriate officials of the municipality, which is charged with administering the Sewage Facilities Act, to determine what sewage facilities planning is required and the procedure and requirements for obtaining appropriate permits or approvals.

COLLIER TOWNSHIP ZONING OFFICER CERTIFICATION

Approved by the Collier Township Zoning Officer on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Zoning Officer

ACED REVIEW

Reviewed by the Allegheny County Department of Economic Development on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

ACED File #:

(Seal) Director

PROOF OF RECORDING

Recorded in the office of the Department of Real Estate of the County of Allegheny, Commonwealth of Pennsylvania, in Plan Book Volume \_\_\_\_\_ Page(s) \_\_\_\_\_

Given under my hand and seal this day of \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

(Seal) Department of Real Estate



SURVEYOR

COLLIER TOWNSHIP ENGINEER

SOUTH FAYETTE TOWNSHIP ENGINEER

SOUTH FAYETTE PLANNING COMMISSION

SOUTH FAYETTE TOWNSHIP BOARD OF COMMISSIONERS

ALLEGHENY COUNTY DEPT OF ECONOMIC DEVELOPMENT

ALLEGHENY COUNTY DEPT OF REAL ESTATE

OWNER'S ADOPTION AND DEDICATION

We, owners or beneficial owners of the land shown on the Smith Henney Lot Line Adjustment Plan, hereby adopt this plan as our plan of lots and irrevocably dedicate all streets and other property identified for dedication on the plan to the Township of Collier and the Township of South Fayette. This adoption and dedication shall be binding upon our heirs, executors, and assigns.

IN WITNESS OF WHICH, to this WE set our hand and seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

ATTEST:

Notary Public Matthew Bernard Christine Anne Henney  
(Signature) (Signature) (Signature)

ACKNOWLEDGMENT OF NOTARY PUBLIC

Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of \_\_\_\_\_, personally appeared the above named Matthew Bernard and Christine Anne Henney, and acknowledged the foregoing adoption and dedication to be their act.

Witness my hand and notarial seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. My commission expires the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

(Seal) Notary Public

CERTIFICATION OF TITLE AND NO MORTGAGE

We hereby certify that the title to the property contained in the Smith Henney Lot Line Adjustment Plan is in the name of Matthew Bernard and Christine Anne Henney and is recorded in deed book volume 18333, page 332. We further certify that there is no mortgage, lien, or other encumbrance against this property.

Witness Matthew Bernard Christine Anne Henney  
(Owner) (Owner)

We, the undersigned, hereby certify that we understand the following:

- That recording a plan does not transfer title of property between landowners.
- That a deed must be recorded in order to transfer the title of property from one landowner to another landowner.
- That the plan and deed must be recorded in the same year in order for the revocation of the property to be completed and tax bills to be adjusted accordingly by the following year.

Witness Alexander Anthony Smith Kaley Marie Mayer  
(Owner) (Owner)

Witness Matthew Bernard Christine Anne Henney

MUNICIPAL ENGINEER'S CERTIFICATION

I certify that this plan meets all engineering and design requirements of the applicable ordinances of the Township of South Fayette, except as departures have been authorized by the appropriate officials of the municipality.

Date Name

(Seal) Registration number

MUNICIPAL DECLARATIONS

No Acceptance of Dedication

The Board of Commissioners, of the Township of South Fayette gives notice that, in approving this plan for recording, the Township of South Fayette assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Secretary President of the Board of Commissioners

No Building Permits Without Approved Sewage Facilities

The Township of South Fayette agrees not to issue building permits until the "Planning Module for Land Development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

Date President of the Board of Commissioners

As of the date of this plan's approval by the approving authority, no development of any land contained in this subdivision or land development for any purpose requiring sanitary sewage facilities is planned. No portion of this property has been approved by the municipality or the Department of Environmental Protection for the installation of sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment or disposal system unless the municipality and the DEP have both approved sewage facilities planning for the property included in this plan in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. § 750.1 et seq.) and regulations promulgated thereunder. Prior to the transfer of any lot or property included in this plan, any purchaser should contact appropriate officials of the municipality, which is charged with administering the Sewage Facilities Act, to determine what sewage facilities planning is required and the procedure and requirements for obtaining appropriate permits or approvals.

Reviewed by the Planning Commission of the Township of South Fayette, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Secretary Chairperson

Approved by the Board of Commissioners of the Township of South Fayette, by resolution, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Secretary Chairperson/President

(Seal)

TOWNSHIP OF COLLIER DELIVERY

This plan was delivered to Alexander Anthony Smith and Kaley Marie Mayer by the Township of Collier this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Planning Director

This plan was delivered to Matthew Bernard and Christine Anne Henney by the Township of Collier this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Planning Director

TOWNSHIP OF SOUTH FAYETTE DELIVERY

This plan was delivered to Alexander Anthony Smith and Kaley Marie Mayer by the Township of South Fayette this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Planning Director

This plan was delivered to Matthew Bernard and Christine Anne Henney by the Township of South Fayette this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Planning Director

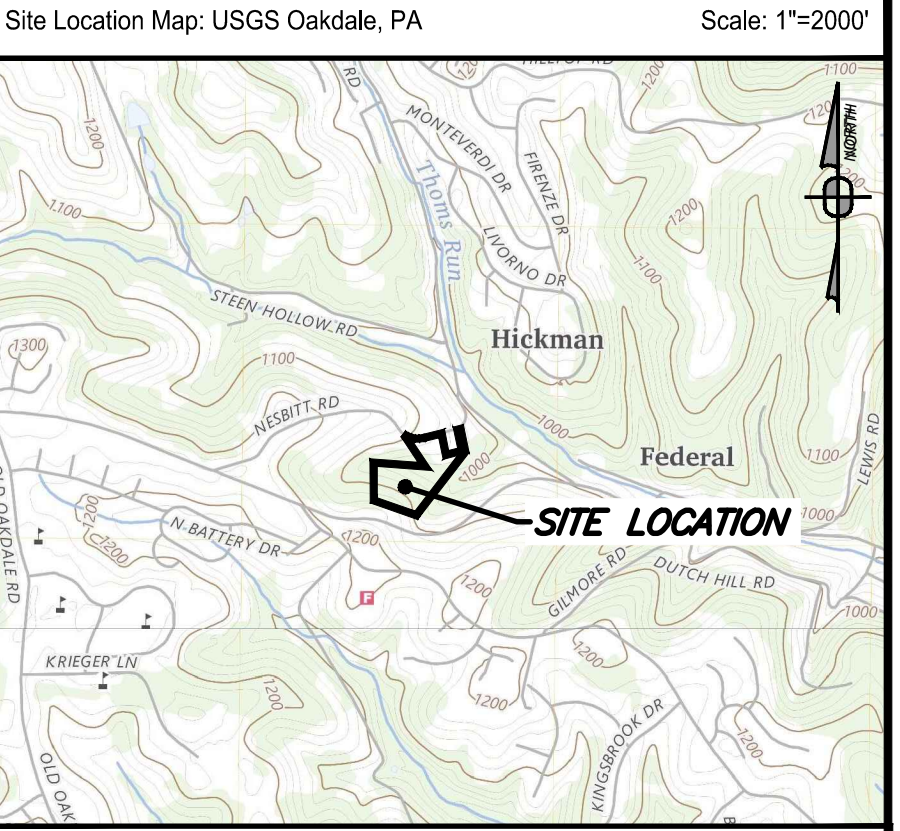
LEGEND:

- IRON PIN-PIPE
- MAIL BOX
- ☉ SANITARY CLEAN OUT
- ⊕ SANITARY MANHOLE
- ☎ CONIFEROUS TREE
- ☎ DECIDUOUS TREES
- ⊕ WATER METER
- ⊕ WATER VALVE
- STREAM
- TRAIL
- PROPERTY ADJOINER
- SUBJECT PROPERTY
- PROPERTY EASEMENT
- ROAD LEGAL R/W
- MUNICIPAL BOUNDARY
- OVERHEAD LINES

Line #	Direction	Length
L1	N78° 01' 11"E	33.03
L2	S11° 25' 57"E	242.77
L3	S37° 33' 29"W	835.45
L4	N70° 33' 49"W	468.57
L5	N00° 17' 49"W	392.52
L6	S85° 35' 49"E	537.90
L7	N33° 35' 49"W	409.95
L8	N78° 01' 11"E	25.17
L9	N78° 01' 11"E	167.16
L10	S11° 25' 57"E	227.48
L11	S75° 11' 03"W	170.00
L12	N11° 25' 57"W	225.00
L13	S75° 11' 03"W	105.18
L14	N11° 25' 57"W	168.26
L15	N78° 34' 03"E	62.00
L16	S11° 25' 57"E	60.00

Curve #	Length	Radius	Chord Bearing	Chord Distance
C1	223.95	250.00	S78° 19' 03"E	216.54

GENERAL NOTES:  
1. THE PURPOSE OF THIS PLAN IS TO ADJUST LOT LINES BETWEEN LOT 1 (PARCEL 328-G-13) AND LOT 2 (PARCEL 328-G-30) IN THE D & D SMITH PLAN OF LOTS 1 & 2, PG. 18 AS RECORDED IN PLAN BOOK 307, PAGE 18.  
2. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.  
3. MUNICIPAL BOUNDARY LINE SHOWN HEREON PER PENNDOT - PENNSYLVANIA COUNTY BOUNDARIES GIS DATA AND WAS NOT SURVEYED AND SHOULD BE CONSIDERED APPROXIMATE.  
4. BEARINGS (OR MERIDIANS) SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, (SOUTH) ZONE, NAD83.  
5. REFERENCE:  
-THE D & D SMITH PLAN OF LOTS AS RECORDED IN P.B.V. 307, PG. 18  
-MONING PLAN OF LOTS AS RECORDED IN P.B.V. 298, PG. 94  
-ETHEL HORMEL PROPERTY AS RECORDED IN P.B.V. 88, PGS. 34 & 35  
6. THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION, ALL UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY/ALL CONSTRUCTION PROJECTS.  
7. BY GRAPHIC PLOTTING ONLY, THE SUBJECT PREMISES LIES WITHIN FLOOD ZONE X-OTHER AREAS, AS SHOWN ON FEMA FIRM MAP COMMUNITY PANEL NO. 420030319N, BEARING AN EFFECTIVE DATE OF 08/26/2014. ZONE X-OTHER DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



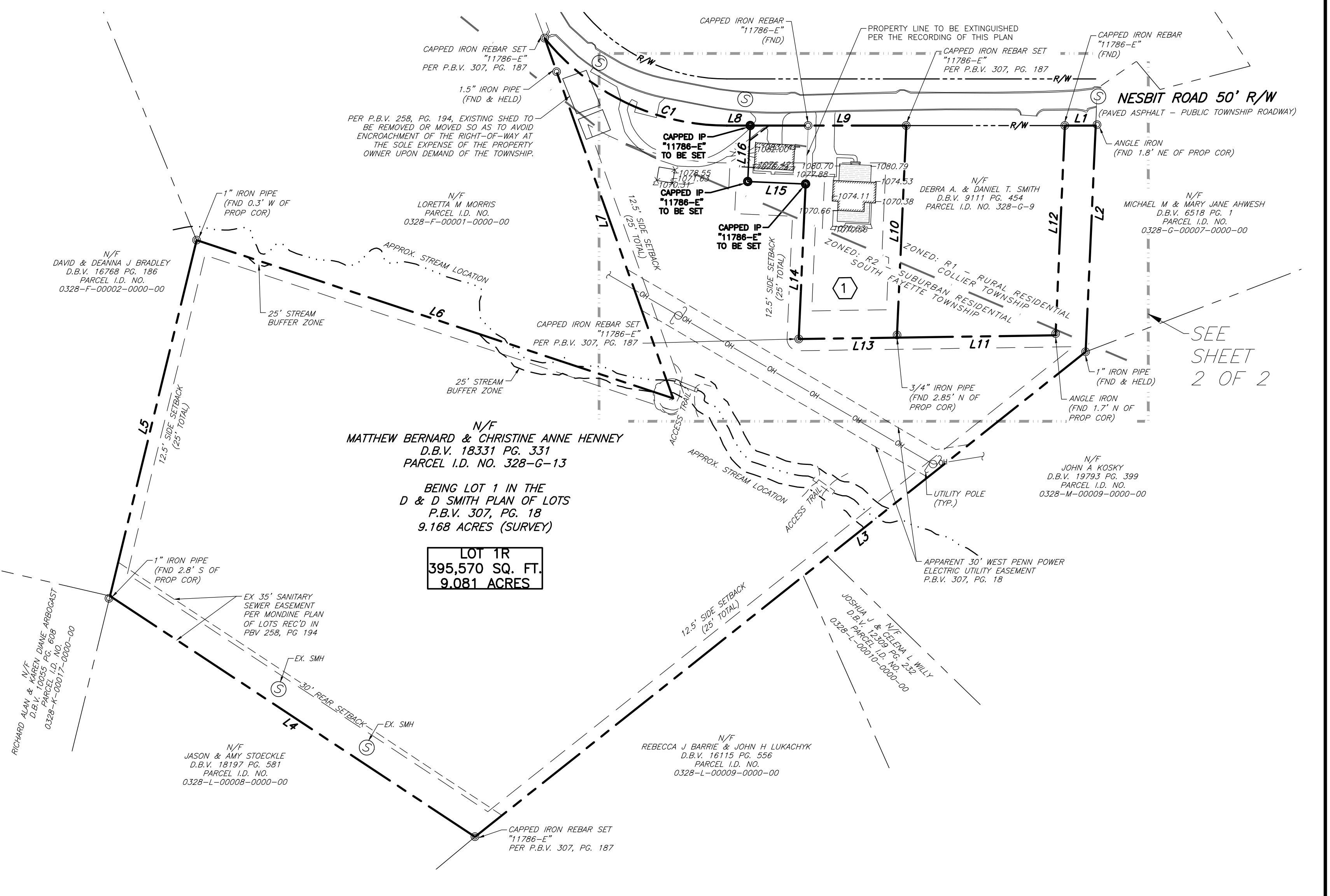
AREA TABULATION:

EXISTING TAX PARCELS:	AREA
LOT 1 (328-G-13)	9.168 ACRES - (399,375 SQ. FT.)
LOT 2 (328-G-30)	0.550 ACRES - (23,868 SQ. FT.)
TOTAL	9.718 ACRES - (423,243 SQ. FT.)
PROPOSED PARCELS:	AREA
LOT 1R (328-G-13)	9.081 ACRES - (395,570 SQ. FT.)
LOT 2R (328-G-30)	0.637 ACRES - (27,771 SQ. FT.)
TOTAL	9.718 ACRES - (423,241 SQ. FT.)

LANDS OF  
ALEXANDER ANTHONY SMITH  
& KALEY MARIE MOYER  
D.B.V. 19791 PG. 243  
PARCEL I.D. NO. 328-G-30

BEING LOT 2 IN THE  
D & D SMITH PLAN OF LOTS  
P.B.V. 307, PG. 18  
0.550 ACRES (SURVEY)

LOT 2R  
27,771 SQ. FT.  
0.637 ACRES

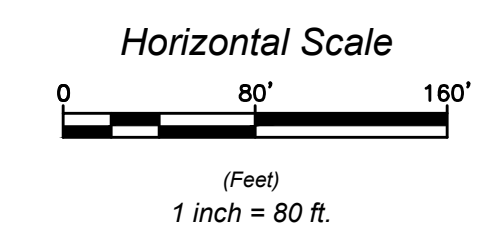
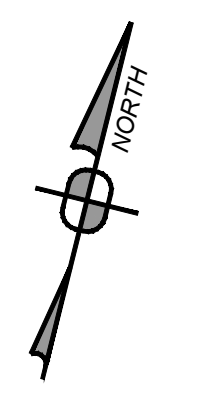


MATTHEW BERNARD & CHRISTINE ANNE HENNEY  
D.B.V. 18331 PG. 331  
PARCEL I.D. NO. 328-G-13  
BEING LOT 1 IN THE  
D & D SMITH PLAN OF LOTS  
P.B.V. 307, PG. 18  
9.168 ACRES (SURVEY)

LOT 1R  
395,570 SQ. FT.  
9.081 ACRES

SEE SHEET  
2 OF 2

J:\SHEFFLER\PROJECT FILES\JOBS 5600-5699\5642 - 244 NESBIT ROAD\DRAWINGS\SURVEY\5642 - 244 NESBIT RD - LOT LINE ADJUSTMENT PLAN.DWG  
PLOT DATE: 1/26/2026 11:37:34 AM



POCS SER. #:  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Date:	Revision Description:	By:	Professional Seal

Prepared By:  
**Sheffler & Company, Inc.**  
ENGINEERING • SURVEYING  
1712 Mount Nebo Road  
Sewickley, PA 15143  
Office Phone: 412-219-4509  
Email: Info@ShefflerCo.com

Smith Henney Lot Line Adjustment Plan  
244 Nesbit Road  
Prepared For:  
**Alex Smith**  
Situate In:  
Collier Township & South Fayette Township, Allegheny County,  
Commonwealth of Pennsylvania

Being a Lot Line Adjustment Plan of Lots 1 and 2  
In The D & D Smith Plan of Lots  
P.B.V. 307, PG. 18  
DRAWING SCALE: 1" = 80'  
DRAWN BY: JDS  
DATE ISSUED: January 26, 2026  
REVIEWED BY: GAS  
PROJECT JOB#: 5642  
FIELD BOOK #: 5642  
CADD#: 5642 - 244 NESBIT RD - LOT LINE ADJUSTMENT PLAN.DWG

Alex Smith  
244 Nesbit Road  
Oatdale, PA 15071  
Phone: (412) 992-6274  
Email: aasmith545@gmail.com  
Sheet No.  
**1** of **2**

**ZONING INFORMATION SUMMARY:**

THE SUBJECT PREMISES LIES WITHIN THE R-1 ZONING DISTRICT

ZONING DISTRICT:	R-1: RURAL RESIDENTIAL DISTRICT
MIN. LOT AREA:	(1) WITHOUT PUBLIC SEWERS: ONE ACRE. (2) WITH PUBLIC SEWERS: 20,000 SQUARE FEET.
MIN. LOT WIDTH:	(1) WITH PUBLIC SEWERS: 20,000 SQUARE FEET. (2) WITH PUBLIC SEWERS: 125 FEET.
MIN. FRONT YARD:	A. PRINCIPAL AND ACCESSORY STRUCTURES: (1) SINGLE-FAMILY DWELLING: 40 FEET.
MIN. SIDE YARD:	A. PRINCIPAL STRUCTURES: (1) SINGLE-FAMILY DWELLING: 20 FEET.
MIN. REAR YARD:	A. PRINCIPAL AND ACCESSORY STRUCTURES: (1) SINGLE-FAMILY DWELLING: 35 FEET. B. ACCESSORY STRUCTURES: SEE § 27-2104.3 FOR SETBACKS APPLICABLE TO THE PARTICULAR USES SPECIFIED THEREIN.
§ 27-2104.3	F. RESIDENTIAL ACCESSORY STORAGE STRUCTURES AND DETACHED GARAGES. (1) NO DETACHED GARAGE OR STORAGE STRUCTURE ACCESSORY TO A DWELLING SHALL BE LOCATED IN THE MINIMUM REQUIRED FRONT YARD.
MAX. BUILDING HEIGHT:	A. ALL PRINCIPAL STRUCTURES: 2 1/2 STORIES BUT NO MORE THAN 35 FEET. B. ALL ACCESSORY STRUCTURES: ONE STORY BUT NO MORE THAN 20 FEET.
MIN. LOT FRONTALITY:	50 FEET.
IMPERVIOUS SURFACE COVERAGE:	SINGLE-FAMILY DWELLING: 35%.

(SINGLE-FAMILY DWELLING DIMENSIONS SHOWN)

ZONING INFORMATION WAS OBTAINED FROM:  
COLLIER TOWNSHIP  
ZONING ORDINANCE INFO (05-27-2025): <https://ecode360.com/31130862#31130862>  
ZONING MAP: AUGUST 12, 2015

THE SUBJECT PREMISES ALSO LIES WITHIN THE R-2 ZONING DISTRICT

ZONING DISTRICT:	R-2: SUBURBAN RESIDENTIAL DISTRICT
MIN. LOT AREA:	SINGLE-FAMILY DWELLING (a) WITHOUT PUBLIC SEWERS: 43,560 SQ. FT. (b) WITH PUBLIC SEWERS: 20,000 SQ. FT.
MIN. LOT WIDTH:	SINGLE-FAMILY DWELLING (a) WITHOUT PUBLIC SEWERS: 150 FEET (b) WITH PUBLIC SEWERS: 95 FEET
MAX. LOT COVERAGE:	25%
MIN. FRONT YARD:	35 FEET
MIN. SIDE YARD:	(1) SINGLE-FAMILY DWELLINGS: (a) WITHOUT PUBLIC SEWERS: 35 FEET TOTAL; MINIMUM 15 FEET ONE SIDE. (b) WITH PUBLIC SEWERS: 25 FEET TOTAL; MINIMUM 10 FEET ONE SIDE. (2) ALL OTHER PRINCIPAL STRUCTURES: 30 FEET. (3) ACCESSORY STRUCTURES: SEE § 240-99C.
MIN. REAR YARD:	(1) PRINCIPAL STRUCTURES: 30 FEET (2) ACCESSORY STRUCTURES: SEE § 240-99C.
MAX. BUILDING HEIGHT:	(1) ALL PRINCIPAL STRUCTURES: 2 1/2 STORIES BUT NO MORE THAN 35 FEET. (2) ALL ACCESSORY STRUCTURES: ONE STORY BUT NO MORE THAN 20 FEET.
MAX. LOT COVERAGE:	25%

(SINGLE-FAMILY DWELLING DIMENSIONS SHOWN)

ZONING INFORMATION WAS OBTAINED FROM:  
SOUTH FAYETTE TOWNSHIP  
ZONING ORDINANCE INFO (02-12-2025): <https://ecode360.com/11615744#11615744>  
ZONING MAP: AUGUST 14, 2024

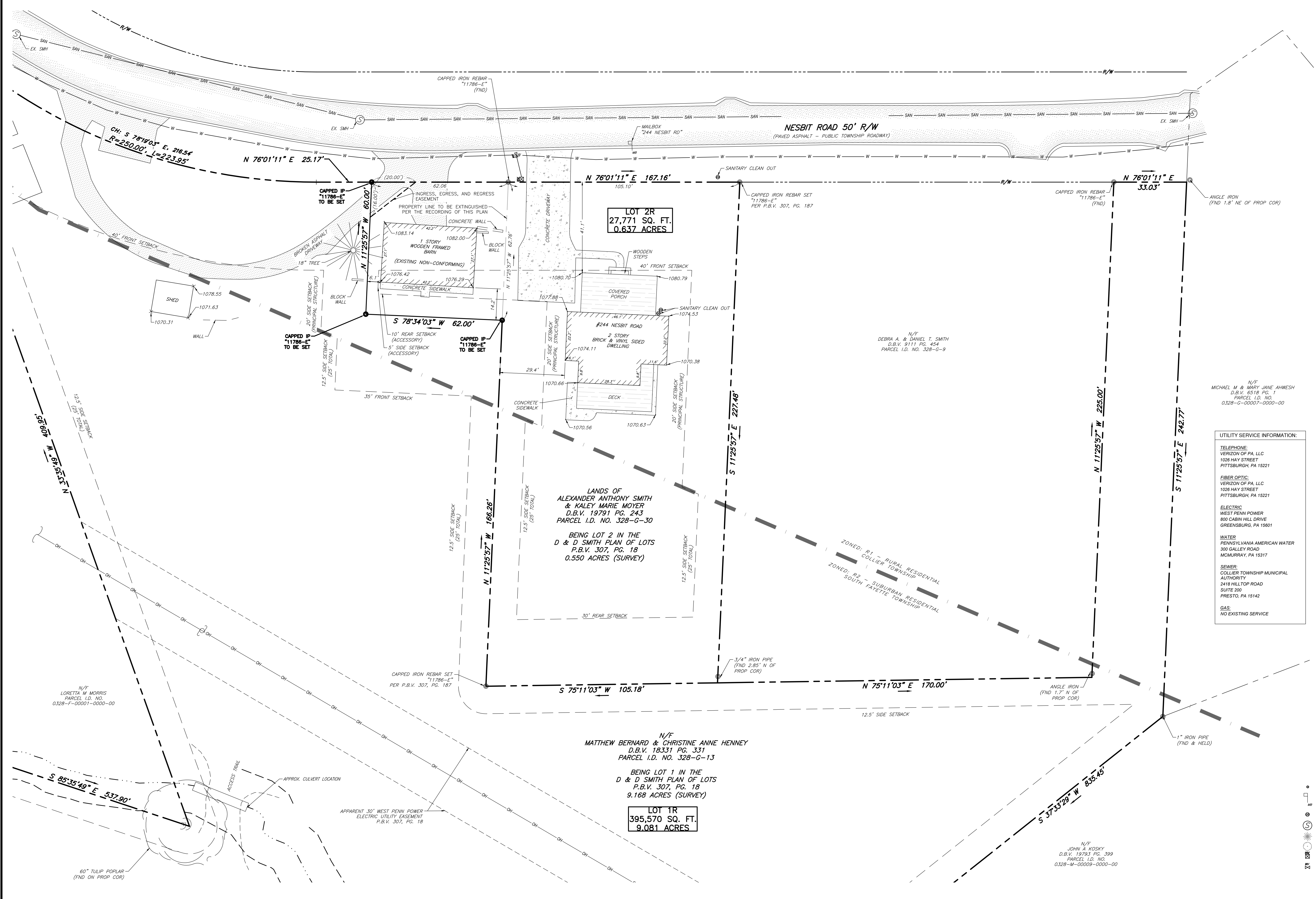
NOTE: ZONING INFORMATION SHOWN SHOULD BE VERIFIED WITH MUNICIPALITIES PRIOR TO CONSTRUCTION.

**AREA TABULATION:**

<b>EXISTING TAX PARCELS:</b>	
LOT 1 (328-G-13)	9.168 ACRES - (399,375 SQ. FT.)
LOT 2 (328-G-30)	0.550 ACRES - (23,966 SQ. FT.)
TOTAL	9.718 ACRES - (423,341 SQ. FT.)
<b>PROPOSED PARCELS:</b>	
LOT 1R (328-G-13)	9.081 ACRES - (395,570 SQ. FT.)
LOT 2R (328-G-30)	0.637 ACRES - (27,771 SQ. FT.)
TOTAL	9.718 ACRES - (423,341 SQ. FT.)

**LEGEND:**

●	IRON PIN-PIPE	—	STREAM
□	MAIL BOX	---	TRAIL
○	SANITARY CLEAN OUT	- - - -	PROPERTY ADJONER
○	SANITARY MANHOLE	---	SUBJECT PROPERTY
○	CONIFEROUS TREE	- - - -	PROPERTY EASEMENT
○	DECIDUOUS TREES	---	ROAD LEGAL R/W
○	WATER METER	---	MUNICIPAL BOUNDARY
○	WATER VALVE	OH	OVERHEAD LINES



J:\SHEFFLER\PROJECT FILES\5642-244 NESBIT RD - LOT LINE ADJUSTMENT PLAN.DWG PLOT DATE: 12/26/2026 12:46:24 PM

**811** Know what's below. Call before you dig.

POCS SER. #:

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**Horizontal Scale**

0 20' 40'

(Feet)

1 inch = 20 ft.

**North Arrow**

Date:	Revision Description:	By:	Professional Seal:	Prepared By:

**Professional Seal:**

GARY A. SHEFFLER

REGISTERED PROFESSIONAL SURVEYOR No. 11796-E

**Sheffler & Company, Inc.**

ENGINEERING • SURVEYING

1712 Mount Nebo Road Sewickley, PA 15143 Office Phone: 412-219-4509 Email: Info@ShefflerCo.com

**Smith Henney Lot Line Adjustment Plan**

244 Nesbit Road

Prepared For:

**Alex Smith**

Situate In:

Collier Township & South Fayette Township, Allegheny County, Commonwealth of Pennsylvania

Being a Lot Line Adjustment Plan of Lots 1 and 2 In The D & D Smith Plan of Lots P.B.V. 307, PG. 18

Alex Smith  
244 Nesbit Road  
Oakdale, PA 15071  
Phone: (412) 992-6274  
Email: asmith542@gmail.com

Sheet No. **2** of **2**

DRAWING SCALE: 1" = 20' DRAWN BY: JDS

DATE ISSUED: January 26, 2026 REVIEWED BY: MWS

PROJECT JOB#: 5642 FIELD BOOK #: 5642

CADD#: 5642 - 244 NESBIT RD - LOT LINE ADJUSTMENT PLAN.DWG



# Gibson-Thomas

ENGINEERING

**Pittsburgh Office**  
9951 Old Perry Highway  
Wexford, PA 15090  
Phone: **724-935-8188**  
Fax: **724-935-8189**  
[www.gibson-thomas.com](http://www.gibson-thomas.com)

March 23, 2026

GTE 18685

MEMO TO: Mr. John Barrett, Manager  
South Fayette Township  
100 Township Drive  
South Fayette, PA 15017

FROM: Gibson-Thomas Engineering Co., Inc.  
Brandon S. Wiltrout, PE, Planning Commission Representative  
[brandon.wiltrout@gibson-thomas.com](mailto:brandon.wiltrout@gibson-thomas.com)

SUBJECT: Lot Line Adjustment Plan – **Review #1**

PLAN NAME: Smith Henney Lot Line Adjustment

LOCATION: Nesbit Road  
Oakdale, PA 15071

ZONING: R-2 Suburban Residential

MADE BY: Sheffler & Company, Inc.  
1712 Mount Nebo Road  
Sewickley, PA 15143  
(412) 219-4509

MADE FOR: Alex Smith  
244 Nesbit Road  
Oakdale, PA 15071  
(412) 992-6274

DATE OF PLAN: January 26, 2026

RECEIVED IN  
GTE OFFICE: February 20, 2026

SUBMITTED  
MATERIAL:

- Subdivision Plan (2 Sheet)
- Township Subdivision Application

ESTABLISHED 1916

### **General Comments**

1. Gibson-Thomas Engineering Co., on behalf of South Fayette Township, reserves the right to re-review ordinances, address and apply other existing ordinances as we deem necessary to assure compliance with any and all drawings, reports, and exhibits when submitted or resubmitted on behalf of the applicant.
2. When resubmitting the revised plan, a review response letter addressing the comments contained herein is required.
3. This project involves the proposed lot line adjustment of Parcel Nos. 328-G-30 and 328-G-13, which span both South Fayette and Collier Townships. The parcels are separately owned and partially developed. Parcel No. 328-G-30 contains a 2-story single family dwelling. Parcel No. 328-G-13 contains and 1-story wooden framed barn and two sheds. The proposed lot line adjustment will incorporate the wooden-framed barn into Parcel No. 328-G-30. The original lot sizes of Parcel Nos. 328-G-30 and 328-G-13 are 0.55 acres and 9.168 acres, respectively. Following the proposed subdivision, the new lot sizes will be 0.637 acres and 9.081 acres, respectively.
4. Parcel Nos. 328-G-30 and 328-G-13 were previously recorded, respectively, as Lot 2 and Lot 1 of the D & D Smith Plan of Lots, P.B.V. 307, Page 18.
5. The Applicant shall address any third-party review and comments prior to final approval. This includes the Allegheny County Economic Development Review Letter dated February 19, 2026.
6. This plan shall be submitted to Collier Township for review.

### **Chapter 215 - Subdivision/Land Development Comments**

1. § 215-10 – This project is being reviewed as a Minor Subdivision.
2. § 215-13.C – The Applicant shall provide written evidence of ownership or proprietary interest for all involved parcels.
3. § 215-13.D – The Applicant shall provide an executed agent authorization form supplied by the Township.
4. § 215-16.A – Upon approval of a final plat by the Board of Commissioners, the developer shall record such plat in the Office of the Allegheny County Recorder of Deeds either within 90 days of such final approval, or within 90 days after the date of delivery of an approved plat signed by the Board of Commissioners following completion of any conditions imposed for such approval in accordance with the terms of the development agreement, whichever is later.

### **Chapter 240 - Zoning Comments**

1. No comments.

Sincerely,

GIBSON-THOMAS ENGINEERING CO., INC.



Brandon S. Wiltrout, PE  
Project Manager

*The plans have been reviewed for conformance to the South Fayette Township adopted ordinances only. Gibson Thomas Engineering reserves the right to provide further and additional comments on the submitted plans upon the request of the South Fayette Township. The review has been based on surveys and drawings prepared by others and assumes this information is correct and valid as submitted. The Applicant shall acknowledge that any and all comments from this letter and any successive letters must be addressed before final approval.*

COUNTY OF



ALLEGHENY

SARA INNAMORATO  
COUNTY EXECUTIVE

February 19, 2026

Robert Caun, Planning Director  
Collier Township  
2418 Hilltop Road, Suite 100  
Presto, PA 15142

Gary Hartz, Planning Director  
South Fayette Township  
515 Millers Run Road  
South Fayette, PA 15064

Project: **Smith Henney Lot Line**  
Location: 244 Nesbit Road  
Description: Plat Adjustment (R-1 & R-2 District)  
Area: 9.718 acres  
ACED File#: 26-029 SU

Dear Mr. Caun and Mr. Hartz,

We received the above-referenced application on February 5, 2026 for the lot line adjustment of parcels 328-G-13 and 328-G-30 in Collier Township and South Fayette Township. We have reviewed the application and offer the following comments:

- The seal stamp spaces for Collier Township are missing, only a space for their engineer is provided. This must be corrected, we recommend separating the spaces for Collier from the ones for South Fayette to prevent any confusion and missing stamps when recording.
- Matthew Bernard's last name is missing from his signature line; this should be corrected.
- All stamps and signatures need to be live when recording the plan, currently the surveyor's stamp and signature are printed. This should be corrected.

---

LAUREN CONNELLY, DIRECTOR

**ALLEGHENY COUNTY ECONOMIC DEVELOPMENT**

KOPPERS BUILDING • 436 SEVENTH AVE, SUITE 500 • PITTSBURGH, PA 15219  
PHONE (412) 350-1000 • [WWW.ALLEGHENYCOUNTY.US/ECONOMIC/](http://WWW.ALLEGHENYCOUNTY.US/ECONOMIC/)

Should you have any questions, please contact Natalia Cains Febles at 412-350-4356 or by e-mail at [Natalia.CainsFebles@AlleghenyCounty.US](mailto:Natalia.CainsFebles@AlleghenyCounty.US).

Sincerely,

A handwritten signature in blue ink, appearing to read "Matthew Trepal". The signature is fluid and cursive, with a horizontal line above the "T" in "Trepal".

Matthew T. Trepal, AICP  
Manager, Planning Division

MTT:NCF



Plan Name: <b>Smith Henney Lot Line Adjustment Plan</b>	Plan File Number: <b>S-02-2026</b>
Location: <b>328-G-13 &amp; 328-G-30</b>	Application Type: <b>Minor Subdivision</b>
Zoning: <b>R-2</b>	Applicant: <b>J. Todd Hendwood, PLS</b>

The Township of South Fayette requests your review and comment on the above referenced minor subdivision.

	Code Enf.	Public Works	WWorks Police	Fire Dept.	EAC	SFSD	MATSF	ACED		Engr Cons.	Trfc Engr.
Reports: Environmental											
Geotechnical											
Traffic											
Plans:											
Other:											

Please forward your comments to South Fayette Township, 515 Millers Run Road, Morgan PA, 15064 or by calling (412) 221-8700.

\_\_\_\_\_  
Gary Hartz, Planning Director

02/3/2026  
Date

**Agency Comments: MATSF**

**No Comments.**

Nick Goettman  
\_\_\_\_\_  
Agency Signature

2-5-2026  
\_\_\_\_\_  
Date

Allegheny County  
Jessica Garofolo  
Division of Real Estate  
Pittsburgh, PA 15219

\*\*\* Electronically Filed Document \*\*\*

**\*\*DO NOT REMOVE-THIS PAGE IS PART OF THE RECORDED DOCUMENT\*\***

Department of Real Estate Stamp

Document Number: 2024-23917  
Recorded As: ERX-DEED  
Recorded On: September 05, 2024  
Recorded At: 11:31:40 am  
Number of Pages: 4  
Book-VI/Pg: Bk-DE VI-19791 Pg-243  
Recording Fee: \$181.75  
Parties:  
SMITH DANIEL T  
SMITH ALEXANDER ANTHONY  
Receipt Number: 4393960  
Processed By: Linda Sulecki

NOTE-  
  
0328G00030000000

Realty Transfer Stamp

Consideration Amt:	\$0.00	Commonwealth of Pennsylvania	\$0
Tax Code :	COLLIER TP	Munic-Collier Twp	\$0
Tax Amount:	\$0.00	School District-Chartiers Valley	\$0
Ward :		Munic-Penalty	\$0
99-NO WARD		Munic-Interest	\$0
Stamp Num:	T20075	School-Penalty	\$0
Blk/Lot:	0328G00030000000	School-Interest	\$0
Affidavit:	No		
Exempt:	Yes		

I hereby certify that the within and foregoing was recorded in the Division of Real Estate's Office in Allegheny County, PA

**\*\*DO NOT REMOVE-THIS PAGE IS PART OF THE RECORDED DOCUMENT\*\***



*Jessica Garofolo*  
\_\_\_\_\_  
Jessica Garofolo, Director  
Sara Innamorato, County Executive

**598057**DRE Certified  
05-Sep-2024 10:09AM Int By: T G

Prepared by/Mail to:

Experienced Closing Services, LLC  
564 Washington Avenue  
Carnegie, PA 15106  
412-722-1460

CPN: 328-G-30

[Space above this line for recording]

**General Warranty Deed**This Indenture, made the 23 day of August 2024, Between**Daniel T Smith and Debra A Smith, Husband and Wife**  
*grantor(s),*

and

**Alexander Anthony Smith and Kaley Marie Moyer, Husband and Wife**  
*grantee(s)*

Witnesseth, that said GRANTOR(S) for and in consideration of the sum of \$1.00 (One and 00/100 Dollars) paid to the GRANTOR(S) by the GRANTEE(S) do grant, bargain, sell and convey unto the said GRANTEE(S), his/her/their heirs and assigns,

**ALL THAT CERTAIN** lot or tract of land situate in the Township of Collier and partly in the Township of South Fayette, County of Allegheny and Commonwealth of Pennsylvania, being known as Lot No. 2, as shown on a certain plan entitled D and D Smith Plan of Lots, as recorded in the Department of Real Estate Office of Allegheny County, Pennsylvania in Plan Book Volume 307, Page 187.

**BEING** designated as BLOCK AND LOT 328-G-30

**BEING** the same premises which Joseph M. Bishop and Lisa A. Bishop, husband and wife, by Deed dated 08/23/2023 and recorded 08/30/2023 in the Department of Real Estate Office of Allegheny County in Deed Book Volume 19413, Page 335, granted and conveyed unto Daniel T. Smith and Debra A. Smith, husband and wife.

**THIS** property is being transferred from parents to child, therefore is exempt from transfer taxes.

*SUBJECT to building lines, rights of way, easements, mining and mineral rights, restrictions, reservations and exceptions as set forth on the recorded plan and as may appear in prior instruments of record.*

*with the appurtenances: To Have and To Hold the same to and for the use of the said GRANTEE(S) his/her/their heirs and assigns forever. And the GRANTOR(S) for his/her/their heirs*

and assigns hereby covenant and agree that he/she/they will **WARRANTS GENERALLY** the property hereby conveyed.

**NOTICE—THIS DOCUMENT MAY NOT/DOES NOT SELL, CONVEY, TRANSFER, INCLUDE OR INSURE THE TITLE TO THE COAL AND RIGHT OF SUPPORT UNDERNEATH THE SURFACE LAND DESCRIBED OR REFERRED TO HEREIN, AND THE OWNER OR OWNERS OF SUCH COAL MAY HAVE/HAVE THE COMPLETE LEGAL RIGHT TO REMOVE ALL OF SUCH COAL AND, IN THAT CONNECTION, DAMAGE MAY RESULT TO THE SURFACE OF THE LAND AND ANY HOUSE, BUILDING OR OTHER STRUCTURE ON OR IN SUCH LAND. THE INCLUSION OF THIS NOTICE DOES NOT ENLARGE, RESTRICT OR MODIFY ANY LEGAL RIGHTS OR ESTATES OTHERWISE CREATED, TRANSFERRED, EXCEPTED OR RESERVED BY THIS INSTRUMENT.**

This notice is set forth in the manner provided in Section 1 of the Act of July 17, 1957, P.L. 984, as amended, and is not intended as notice of unrecorded instruments, if any]

In Witness Whereof, the said GRANTOR(S) have hereunto set hands and seals the day and year first above written.

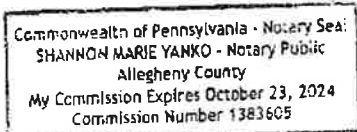
*Daniel T Smith* (Seal)  
**Daniel T Smith**

*Debra A Smith* (Seal)  
**Debra A Smith**

COMMONWEALTH OF PENNSYLVANIA }  
COUNTY OF Allegheny }

On this 23 day of August 2024 before me, a Notary Public, the undersigned officer, personally appeared, **Daniel T Smith and Debra A Smith**, known to me (or satisfactorily proven) to be the person(s) whose name(s) is/are subscribed to the within, instrument, and acknowledged that they, executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal,



*Shannon Marie Yanko*  
Printed Name: Shannon Marie Yanko  
Notary Public  
My Commission Expires: October 23 2024

NOTICE—THE UNDERSIGNED, AS EVIDENCED BY THE SIGNATURE(S) TO THIS NOTICE AND THE ACCEPTANCE AND RECORDING OF THIS DEED, (IS, ARE) FULLY COGNIZANT OF THE FACT THAT THE UNDERSIGNED MAY NOT BE OBTAINING THE RIGHT OF PROTECTION AGAINST SUBSIDENCE, AS TO THE PROPERTY HEREIN CONVEYED, RESULTING FROM COAL MINING OPERATIONS AND THAT THE PURCHASED PROPERTY, HEREIN CONVEYED, MAY BE PROTECTED FROM DAMAGE DUE TO MINE SUBSIDENCE BY A PRIVATE CONTRACT WITH THE OWNERS OF THE ECONOMIC INTEREST IN THE COAL. THIS NOTICE IS INSERTED HEREIN TO COMPLY WITH THE BITUMINOUS MINE SUBSIDENCE AND LAND CONSERVATION ACT OF 1966

*Alexander Anthony Smith* (Seal)  
Alexander Anthony Smith

*Kaley Marie Moyer* (Seal)  
Kaley Marie Moyer

**Certificate of Residence**

I, hereby certify that the precise residence of the GRANTEE(S) herein is as follows:

**Alexander Anthony Smith and Kaley Marie Moyer  
244 Nesbit Road  
Oakdale, PA 15071**

Witness my hand this 23 day August 2024.

*Dannan Mauer*

**Mail Tax Bills to:**

**Alexander Anthony Smith and Kaley Marie Moyer**  
244 Nesbit Road  
Oakdale PA 15071



Allegheny County  
 Jerry Tyskiewicz  
 Department of Real Estate  
 Pittsburgh, PA 15219

Instrument Number: 2021-4618

BK-DE VL-18331 PG-331

Recorded On: February 10, 2021 As-Deed

Parties: SMITH DANIEL T

To HENNEY MATTHEW BERNARD

# of Pages: 5

Comment:

\*\*\*\*\* THIS IS NOT A BILL \*\*\*\*\*

Deed 181.75  
 0  
 0  
 Total: 181.75

**Realty Transfer Stamp**

**Department of Real Estate Stamp**

Affidavit Attached-No COLLIER TP Ward-99-NO WARD	Stamp Num-T138139
Value	100,000.00
Commonwealth of Pennsylvania	1,000.00
Munic-Collier Twp	500.00
School District-Chartiers Valley	500.00
Munic-Penalty	0.00
Munic-Interest	0.00
School-Penalty	0.00
School-Interest	0.00
	<b>2,000.00</b>

Certified By-Virginia Zirpoli  
 On 04 21, 2021 02:19p  
 0328G00013000000

I hereby certify that the within and foregoing was recorded in the Department of Real Estate in Allegheny County, PA

**\*\*DO NOT REMOVE-THIS PAGE IS PART OF THE RECORDED DOCUMENT\*\***

**File Information:**

**Record and Return To:**

Document Number: 2021-4618  
 Receipt Number: 3883920  
 Recorded Date/Time: February 10, 2021 01:17:11P  
 Book-Vol/Pg: BK-DE VL-18331 PG-331  
 User / Station: M Ward-Davis - CASH 04

AVID SETTLEMENT  
 410 ROUSER RD STE 402  
 MOON TWP PA 15108



*Jerry Tyskiewicz*  
 Jerry Tyskiewicz, Director  
 Rich Fitzgerald, County Executive

MAIL TO AVID SETTLEMENT  
410 ROUSER RD. STE 402  
MOON TWP. PA 15108

444183 DRE Certified  
08-Feb-2021 02:12P\Int By: Al Matthews

4  
Jerk

FROM:  
Daniel T. Smith and Debra A. Smith, Husband and Wife

TO:  
Matthew Bernard Henney and Christine Anne Henney, Husband  
and Wife  
125 Brook Street, Carnegie, PA 15106

-----[Space Above This Line For Recording]-----

## Special Warranty Deed

This Indenture, Made this 19<sup>th</sup> day of February, 2021, Between  
Daniel T. Smith and Debra A. Smith, Husband and Wife, grantors, and  
Matthew Bernard Henney and Christine Anne Henney, Husband and Wife, grantees.

**Witnesseth that the said GRANTORS, for and in consideration of the sum of One Hundred Thousand and No/100 (\$100,000.00) paid to the GRANTORS by the GRANTEES do grant, bargain, sell and convey to the said GRANTEES their heirs and assigns:**

ALL that certain tract or parcel of land lying and being situate in the Township of Collier, County of Allegheny, Commonwealth of Pennsylvania, being Lot No.1 in the D & D Smith Plan of Lots, as recorded in the Recorder of Deeds office of Allegheny County, Pennsylvania in Plan Book Volume 307, page 187.

BEING designated as PART OF Block and Lot No. 0328-G-00013-0000-00.

Being part of the same premises which Ernest Mondine and Dorothy Mondine, husband and wife by Deed dated April 1, 2008 and recorded April 4, 2008 in Allegheny County in Deed Book Volume 13569 Page 212 conveyed unto Debra A. Smith and Daniel T. Smith, wife and husband.

UNDER AND SUBJECT TO COAL AND OIL AND GAS, AND MINING RIGHTS AND ALL RIGHTS AND PRIVILEGES INCIDENT TO THE MINING OF COAL AND OIL AND GAS HERETOFORE CONVEYED, EXCEPTED OR RESERVED BY INSTRUMENTS OF RECORD; THE RIGHT OF SURFACE, LATERAL OR SUBJACENT SUPPORT; ANY SURFACE SUBSIDENCE; AND ALL EASEMENTS, RIGHTS OF WAY AND RESTRICTIONS AS CONTAINED IN PRIOR INSTRUMENTS OF RECORD AND/OR AS INSTALLED OR LOCATED ON THE PREMISES AND ALL OTHER MATTERS OF

RECORD APPEARING PRIOR HERETO.

SUBJECT TO ALL PRIOR GRANTS AND RESERVATIONS OF COAL, OIL, GAS AND MINING RIGHTS, AS MAY APPEAR IN PRIOR INSTRUMENTS OF RECORD.

*with the appurtenances: To Have and To Hold the same to and for the use of the said GRANTEES their heirs and assigns forever. And the GRANTORS for their heirs and assigns, hereby covenants and agrees that they will WARRANT SPECIALLY the property hereby conveyed.*

**NOTICE--THIS DOCUMENT MAY NOT/DOES NOT SELL, CONVEY, TRANSFER, INCLUDE OR INSURE THE TITLE TO THE COAL AND RIGHT OF SUPPORT UNDERNEATH THE SURFACE LAND DESCRIBED OR REFERRED TO HEREIN, AND THE OWNER OR OWNERS OF SUCH COAL MAY HAVE/HAVE THE COMPLETE LEGAL RIGHT TO REMOVE ALL OF SUCH COAL AND, IN THAT CONNECTION, DAMAGE MAY RESULT TO THE SURFACE OF THE LAND AND ANY HOUSE, BUILDING OR OTHER STRUCTURE ON OR IN SUCH LAND. THE INCLUSION OF THIS NOTICE DOES NOT ENLARGE, RESTRICT OR MODIFY ANY LEGAL RIGHTS OR ESTATES OTHERWISE CREATED, TRANSFERRED, EXCEPTED OR RESERVED BY THIS INSTRUMENT.**

[This notice is set forth in the manner provided in Section 1 of the Act of July 17, 1957, P. L. 984, as amended, and is not intended as notice of unrecorded instruments, if any.]

*In Witness Whereof, the said Grantors have hereunto set hands and seals the day and year first above written.*

**Attest:**

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Witness

*Daniel T. Smith*  
\_\_\_\_\_  
(Seal)

Daniel T. Smith

*Debra A. Smith*  
\_\_\_\_\_  
(Seal)

Debra A. Smith

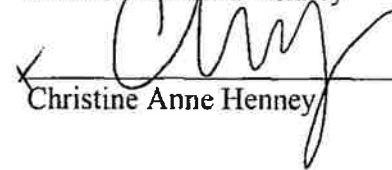
NOTICE THE UNDERSIGNED, AS EVIDENCED BY THE SIGNATURE(S) TO THIS NOTICE AND THE ACCEPTANCE AND RECORDING OF THIS DEED, (IS, ARE) FULLY COGNIZANT OF THE FACT THAT THE UNDERSIGNED MAY NOT BE OBTAINING THE RIGHT OF PROTECTION AGAINST SUBSIDENCE, AS TO THE PROPERTY HEREIN CONVEYED, RESULTING FROM COAL MINING OPERATIONS AND THAT THE PURCHASED PROPERTY, HEREIN CONVEYED, MAY BE PROTECTED FROM DAMAGE DUE TO MINE SUBSIDENCE BY A PRIVATE CONTRACT WITH THE OWNERS OF THE ECONOMIC INTEREST IN THE COAL. THIS NOTICE IS INSERTED HEREIN TO COMPLY WITH THE BITUMINOUS MINE SUBSIDENCE AND LAND CONSERVATION ACT OF 1966.

WITNESS:

\_\_\_\_\_  
Witness

  
\_\_\_\_\_  
Matthew Bernard Henney (Seal)

\_\_\_\_\_  
Witness


  
\_\_\_\_\_  
Christine Anne Henney (Seal)

Commonwealth of Pennsylvania  
County of Allegheny

On this, the 4<sup>th</sup> day of February, 2021, before me, a Notary Public, the undersigned officer, personally appeared **Daniel T. Smith and Debra A. Smith, Husband and Wife** known to me (or satisfactorily proven) to be the person whose names are subscribed to the within instrument, and acknowledged that they executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and seal.

Commonwealth of Pennsylvania - Notary Seal  
Nicole M. Zabela, Notary Public  
Allegheny County  
My commission expires December 30, 2022  
Commission number 1091940  
Member, Pennsylvania Association of Notaries

  
\_\_\_\_\_  
Printed Name:  
Notary Public  
My Commission Expires:

Certificate of Residence

I do hereby certify that the Tax Bill Address of the within named grantee(s) is

Mr. & Mrs. Matthew Bernard Henney  
125 Brook Street  
Carnegie, PA 15106

I, hereby certify that the Owner Mailing Address of the within grantee(s) is

Matthew Bernard Henney and Christine Anne Henney  
125 Brook Street, Carnegie, PA 15106

Witness my hand this 4th day of February, 2021.

Sharon M Anderson



Plan Name:	Hastings Phase 5 Masterplan	File No.	PP-01-2026
Plan Location:	Mayview Road	Tax I.D. #	0480-P-00001-0000-00
Project Description	The Hastings Neighborhood contains 292 constructed townhome units, 166 constructed single-family units, and 130 constructed multi-family units. 14 single family units and 10 townhome units are proposed in the previously submitted phase 5 application.		

**Check Appropriate Box(es)**

Land Development Plan	<input checked="" type="checkbox"/>	Subdivision Plan	<input type="checkbox"/>	Conditional Use Plan	<input type="checkbox"/>
Minor Subdivision	<input type="checkbox"/>	Major Subdivision	<input type="checkbox"/>	Open Space Plan	<input type="checkbox"/>
Preliminary Plan Submission	<input checked="" type="checkbox"/>	Final Plan Submission	<input type="checkbox"/>		

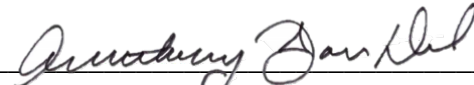
Zoning District(s)	ND	Property Acreage	81.33	No. Lots/Units	588
--------------------	----	------------------	-------	----------------	-----

Applicant's Name:	CHARTER HOMES AT HASTINGS, INC.	Phone No.	
Applicant's Address:	322 N. ARCH STREET, LANCASTER, PA 17603	Fax No.	
Applicant's E-Mail:			
Engineer Firm/Name	THE GATEWAY ENGINEERS. INC	Phone No.	--
Engineer's Address:	100 MCMORRIS ROAD PITTSBURGH, PA 15205	Fax No.	
Contact Person:	DAVID M. HEATH, PE	E-Mail Address	

The following items are reviewed as part of the South Fayette Township application process. Applications submitted WITHOUT these elements will NOT be reviewed by the township.

REQUIRED SUBMISSION ITEMS	Copies	✓ Yes	✓ No	✓ N/A
1) Completed Application Form	1			
2) ACED Subdivision/Land Development Application	1			
3) Maps and Plans				
• Plus PDF of drawings	1			
• Sets Full-Size Plans (24" x 36")	5			
• Sets Half-Size Plans (11" x 17")	5			
4) Agent Authorization Form	1			
5) Application Fee	1			
6) Escrow – Engineer, Solicitor, Inspection	1			
7) Stormwater Management Plan & Calculations (plus PDF)	2			
8) Erosion & Sedimentation Control Plan (plus PDF)	2			
9) Deed, Sales Agreement or Other Ownership	1			

*I have familiarized myself with and hereby agree to comply with the subdivision and zoning ordinance of the township as well as to all township rules, regulations and resolutions. I agree to pay the applicable fee(s).*

Signature of Applicant:  Date: 2-23-26

If applicant is not the property owner, an Agent Authorization Form must be attached.



# SOUTH FAYETTE T O W N S H I P

A Community Growing Together

## Agent Authorization

Form

www.southfayettepa.com

Name of Property Owners: Charter Homes at Hastings, Inc.

Property Tax Map Number: 0480-P-00001-0000-00

Property/Project(s): Hastings Phase 5 Masterplan

This application/phase only

All related applications and phases

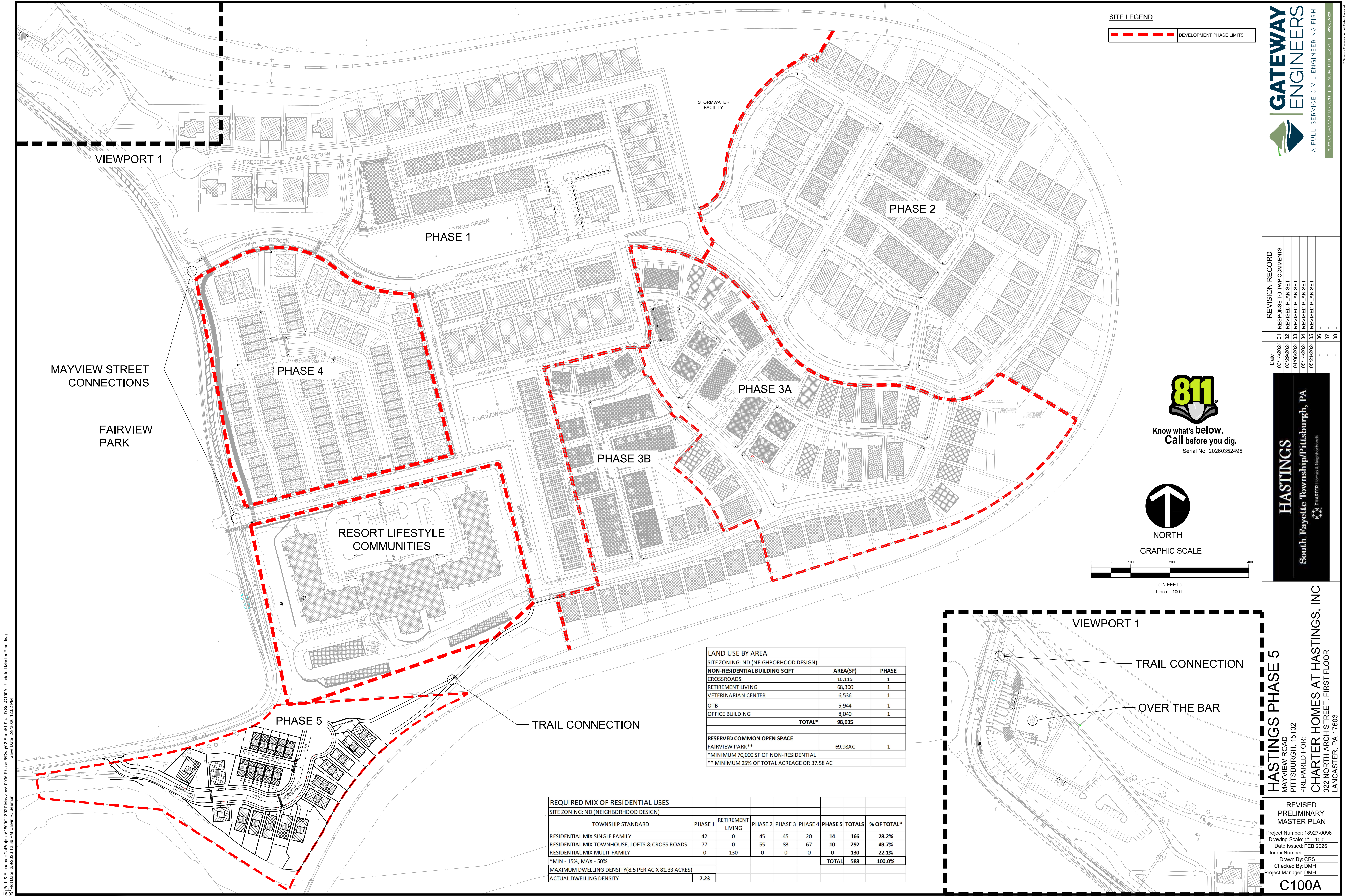
The above named property owner hereby appoints: The Gateway Engineers, Inc.

as its agent and authorizes said agent to apply for and process the above mentioned development plan/variance on his/her behalf. Agent is further authorized to sign all necessary documentations for such purposes, including acceptance of conditions imposed by the Board of Commissioners upon arrival of the plan. This authorization shall remain in full force and effect until written notice of revocation is delivered to the South Fayette Township Manager.

SIGNED AND SEALED, intending to be legally bound on this date of:

2-23-26

Owner(s) Signature:  (SEAL)

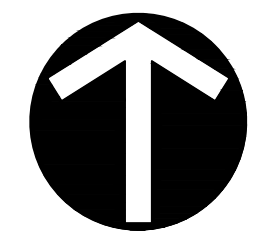


**SITE LEGEND**

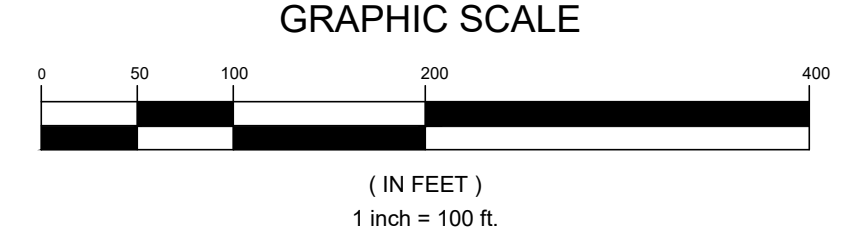
	DEVELOPMENT PHASE LIMITS
--	--------------------------



Know what's below.  
Call before you dig.  
Serial No. 20260352495



NORTH



**LAND USE BY AREA**  
SITE ZONING: ND (NEIGHBORHOOD DESIGN)

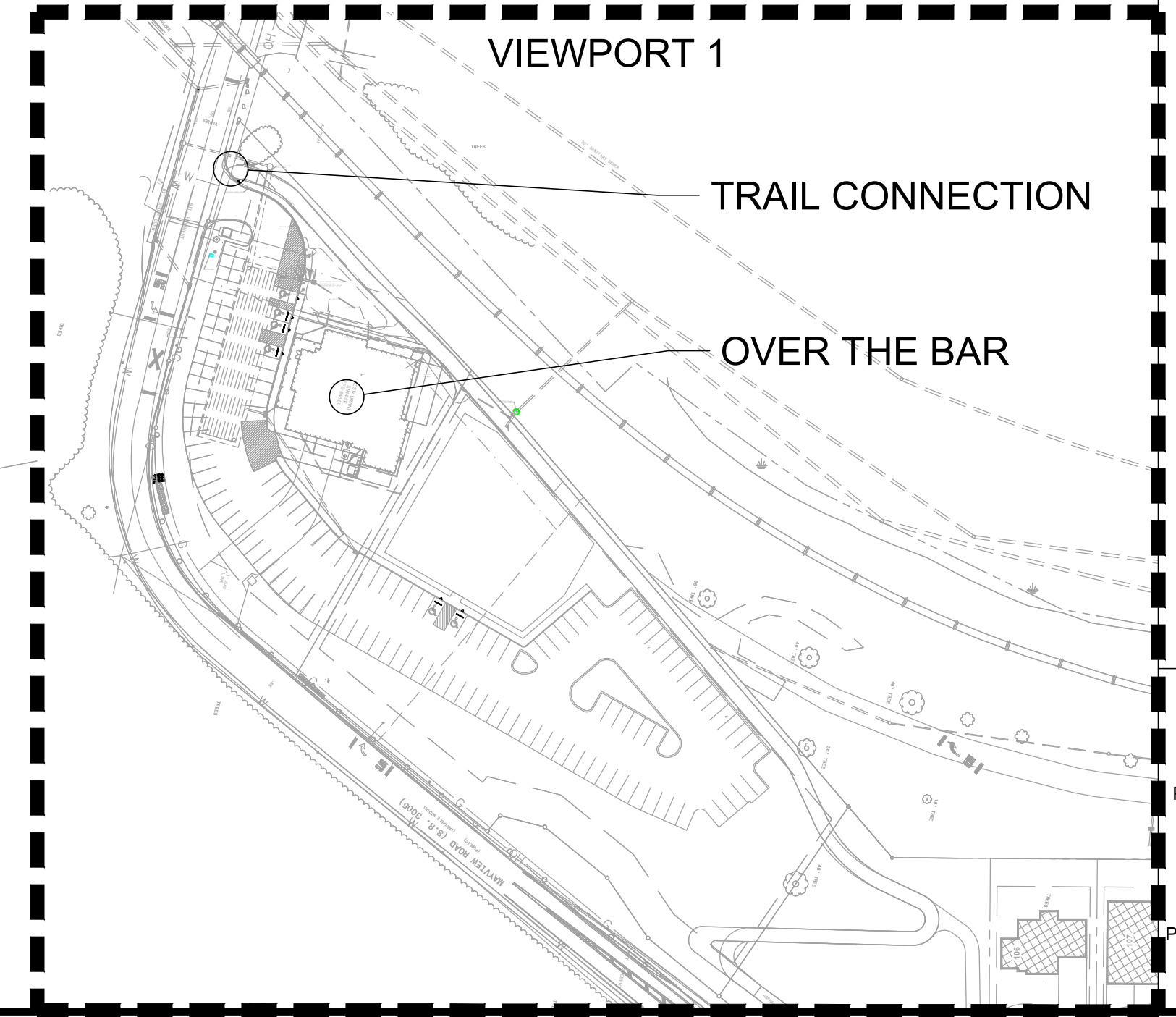
NON-RESIDENTIAL BUILDING SQFT	AREA(SF)	PHASE
CROSSROADS	10,115	1
RETIREMENT LIVING	68,300	1
VETERINARIAN CENTER	6,536	1
OTB	5,944	1
OFFICE BUILDING	8,040	1
<b>TOTAL*</b>	<b>98,935</b>	

**RESERVED COMMON OPEN SPACE**  
FAIRVIEW PARK\*\* 69.98AC 1

\*MINIMUM 70,000 SF OF NON-RESIDENTIAL  
\*\* MINIMUM 25% OF TOTAL ACREAGE OR 37.58 AC

**REQUIRED MIX OF RESIDENTIAL USES**  
SITE ZONING: ND (NEIGHBORHOOD DESIGN)

TOWNSHIP STANDARD	PHASE 1	RETIREMENT LIVING	PHASE 2	PHASE 3	PHASE 4	PHASE 5	TOTALS	% OF TOTAL*
RESIDENTIAL MIX SINGLE FAMILY	42	0	45	45	20	14	166	28.2%
RESIDENTIAL MIX TOWNHOUSE, LOFTS & CROSS ROADS	77	0	55	83	67	10	292	49.7%
RESIDENTIAL MIX MULTI-FAMILY	0	130	0	0	0	0	130	22.1%
<b>*MIN - 15%, MAX - 50%</b>							<b>TOTAL</b>	<b>100.0%</b>
<b>MAXIMUM DWELLING DENSITY(8.5 PER AC X 81.33 ACRES)</b>								
<b>ACTUAL DWELLING DENSITY</b>	<b>7.23</b>							



**REVISION RECORD**

Date	Revision	Comments
03/14/2024	01	RESPONSE TO TWP COMMENTS
03/29/2024	02	REVISED PLAN SET
04/08/2024	03	REVISED PLAN SET
05/14/2024	04	REVISED PLAN SET
05/21/2024	05	REVISED PLAN SET
	06	
	07	
	08	

P:\18927\Projects\18927-0096 Phase 5\Drawings\Sheet\18927-0096 Phase 5 C100A - Updated Master Plan.dwg  
 Date: 2/26/2026 12:38 PM  
 User: Calvin R. Steeman



# Gibson-Thomas

ENGINEERING

**Pittsburgh Office**  
9951 Old Perry Highway  
Wexford, PA 15090  
Phone: **724-935-8188**  
Fax: **724-935-8189**  
[www.gibson-thomas.com](http://www.gibson-thomas.com)

March 17, 2026

GTE 18728

MEMO TO: Mr. John Barrett, Manager  
South Fayette Township  
100 Township Drive  
South Fayette, PA 15017

FROM: Gibson-Thomas Engineering Co., Inc.  
Brandon S. Wiltrout, PE, Planning Commission Representative  
[brandon.wiltrout@gibson-thomas.com](mailto:brandon.wiltrout@gibson-thomas.com)

SUBJECT: Hastings Master Plan – **Review #1**

PLAN NAME: Charter Homes at Hastings, Phase 5 Master Plan

LOCATION: Parcel No. 480-P-01  
Mayview Road  
Bridgeville, PA 15017

ZONING: ND – Neighborhood Design

MADE BY: The Gateway Engineers, Inc.  
100 McMorris Road  
Pittsburgh, PA 15205  
(412) 921-4030

MADE FOR: Charter Homes at Hastings, Inc.  
322 North Arch Street, First Floor  
Lancaster, PA 17603

DATE OF PLAN: February 2026

RECEIVED IN  
GTE OFFICE: February 13, 2026

SUBMITTED  
MATERIAL:

- Revised Master Plan (1 Sheet)
- Township Application
- Agent Authorization Form
- County Application

**ESTABLISHED 1916**

9951 Old Perry Highway | Wexford, PA 15090

Latrobe ■ Harrisburg ■ Indiana ■ Fayette ■ Washington ■ Ft. Myers

## **General Comments**

1. Gibson-Thomas Engineering Co., on behalf of South Fayette Township, reserves the right to re-review ordinances, address and apply other existing ordinances as we deem necessary to assure compliance with any and all drawings, reports, and exhibits when submitted or resubmitted on behalf of the applicant.
2. When resubmitting the revised plan, a review response letter addressing the comments contained herein is required.
3. This project proposes the revision of a residential development master plan, Hastings, within the Township. The original Master Plan for the development was approved in 2016. This proposed revision pertains to the area shown as Phase 5. This area was originally designated for a Non-Residential Use and now proposes a residential use to construct 14 single-family homes and 10 town homes.
4. According to the plans, the Hastings development contains 292 constructed townhome units, 166 single-family units, and 130 multi-family units.
5. The Applicant shall address any third-party review and comments prior to final approval.
6. This review deals solely with the overall neighborhood design development as it pertains to the zoning ordinance.

## **Chapter 240 - Zoning Comments**

1. § 240-76.20.A.2 – The Applicant shall specify the percentage of lot coverage within the 81.33 acres.
2. § 240-76.20.A.4 – The Applicant shall revise the required mix of residential uses table. Retirement living is considered a non-residential use in the ND district. The Applicant shall not use the 130 non-residential retirement units as part of the residential mix multi-family density. Townhomes are considered multi-family as per the definitions of this chapter, but the required mix of residential uses for this district must be a minimum of three.

Sincerely,

GIBSON-THOMAS ENGINEERING CO., INC.



Brandon S. Wiltrout, PE  
Project Manager

*The plans have been reviewed for conformance to the South Fayette Township adopted ordinances only. Gibson Thomas Engineering reserves the right to provide further and additional comments on the submitted plans upon the request of the South Fayette Township. The review has been based on surveys and drawings prepared by others*

*and assumes this information is correct and valid as submitted. The Applicant shall acknowledge that any and all comments from this letter and any successive letters must be addressed before final approval.*



Plan Name: <b>Hastings Masterplan Revisions</b>	Plan File Number: <b>PP-01-2026</b>
Location: <b>Mayview Road</b>	Application Type: <b>Subdivision/Land Development</b>
Zoning: <b>ND – Neighborhood Design</b>	Applicant: <b>Charter Homes at Hastings, Inc.</b>

The Township of South Fayette requests your review and comment on the above-referenced development plan.

	Code Enf.	Public Works	wWorks Police	Fire Dept.	EAC	SFSD	MATSF	ACED		Engr Cons.	Trfc Engr.
Reports: Environmental											
Geotechnical											
Traffic											
Plans:											
Other:											

Please forward your comments to South Fayette Township, 100 Township Drive, South Fayette, PA, 15017 or by calling (412) 221-8700.

\_\_\_\_\_  
Gary Hartz, Planning Director

02/27/2026  
Date

**Agency Comments: MATSF- No comments.**

Nick Goettman  
Agency Signature

3-12-26  
Date



60 2014 00034872

Allegheny County  
Jerry Tyskiewicz  
Department of Real Estate  
Pittsburgh, PA 15219

Instrument Number: 2014-34872

BK-DE VL-15821 PG-542

Recorded On: December 09, 2014 As-Deed Agreement

Parties: ALOE BROTHERS L L C

To CHARTER HOMES DEVELOP PROPERTIES XI INC

# of Pages: 4

Comment: MEMO PURCHASE AGRMT

\*\*\*\*\* THIS IS NOT A BILL \*\*\*\*\*

Deed Agreement 162.00  
0  
0  
Total: 162.00

Realty Transfer Stamp

Department of Real Estate Stamp

Affidavit Attached-No	
NOT A DEED OF TRANSFER	EXEMPT
Value	

Certified On/By-> 12-09-2014 / Amy Racko
NOT A DEED OF TRANSFER

I hereby certify that the within and foregoing was recorded in the Department of Real Estate in Allegheny County, PA

**\*\*DO NOT REMOVE-THIS PAGE IS PART OF THE RECORDED DOCUMENT\*\***

File Information:

Record and Return To:

Document Number: 2014-34872  
Receipt Number: 2777383  
Recorded Date/Time: December 09, 2014 12:26:30P  
Book-Vol/Pg: BK-DE VL-15821 PG-542  
User / Station: M Ward - Cash Station 22

BASSI VREELAND & ASSOCIATES PC  
111 FALLOWFIELD AV  
PO BOX 144  
CHARLEROI PA 15022



*Jerry Tyskiewicz*  
Jerry Tyskiewicz, Acting Manager  
Rich Fitzgerald, County Executive

**MEMORANDUM OF PURCHASE AGREEMENT**

This Memorandum of Purchase Agreement is made this 19<sup>th</sup> day of November 2014, by and between **ALOE BROTHERS, LLC**, a Pennsylvania Limited Liability Company, with a registered office address of 5540 Dunmoyle Avenue, Pittsburgh, Pennsylvania 15217 (“Seller”), and **CHARTER HOMES DEVELOPMENT PROPERTIES XI, INC.**, a Pennsylvania Corporation with a registered office address of 1190 Dillerville Road, Lancaster, Pennsylvania 17601 (“Buyer”).

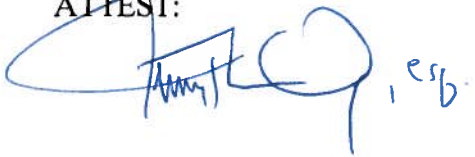
**Witnesseth:**

1. Aloe Brothers, LLC, and Charter Homes Development Properties XI, Inc., have entered into a written Purchase Agreement dated April 30, 2014, for the sale and purchase of:
  - i. a. 68.98 (+/-) acres, being Parcel ID No. 0571-B-00002-0000-00;
  - b. 81.33 (+/-) acres, being Parcel ID No. 0480-P-00001-0000-00;
  - c. 8.46 (+/-) acres, being Parcel ID No. 571-A-00001-000-00; and
  - d. 1.69 (+/-) acres, being Parcel ID No. 480-E-00003-000-00 and
- ii. which parcels are situate in the Township of South Fayette, Allegheny County, Pennsylvania, and
- iii. Aloe Brothers, LLC, has excepted and reserved Seller’s subterranean mineral rights (including without limitation, coal rights) and any subterranean oil and gas rights appurtenant thereto, provided that the exercise by Aloe Brothers, LLC, of the subsurface rights shall not unreasonably or materially interfere with Charter Homes Development Properties XI, Inc.’s use of the subject properties for its intended purposes, and further provided that Aloe Brothers, LLC, shall not be permitted to use the surface of the subject property in conjunction with the exercise of the subsurface rights reserved to Aloe Brothers, LLC.

2. The purpose of this Memorandum of Purchase Agreement is to provide notice of the existence of the parties' Purchase Agreement, aforementioned.

IN WITNESS WHEREOF, the parties have set forth their hands and seals on the 19<sup>th</sup> day of November 2014.

ATTEST:



ALOE BROTHERS, LLC

By

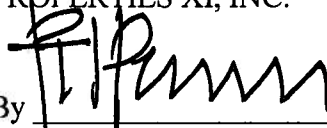


Mark Aloe, Managing Member

ATTEST:

CHARTER HOMES DEVELOPMENT  
PROPERTIES XI, INC.

By

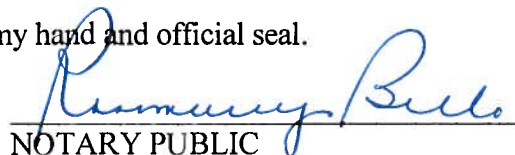


Robert P. Bowman, President

Commonwealth of Pennsylvania  
:SS  
County of WASHINGTON

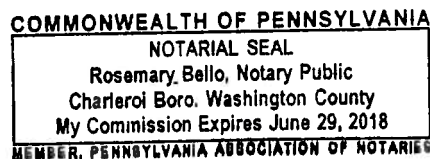
On this 21<sup>ST</sup> day of November, A.D. 2014, before me a Notary Public, the undersigned officer, personally appeared Mark Aloe, Managing Member, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained.

**In Witness Whereof**, I hereunto set my hand and official seal.



NOTARY PUBLIC

My commission expires:



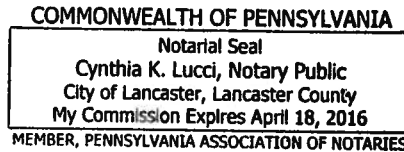
Commonwealth of Pennsylvania  
:SS  
County of Lancaster

On this 19<sup>th</sup> day of November, A.D. 2014, before me a Notary Public, the undersigned officer, personally appeared Robert P. Bowman, President, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.

Cynthia K. Lucci  
NOTARY PUBLIC

My commission expires: April 18, 2016



After Recording Return To:  
Bassi, Vreeland & Associates, P.C.  
111 Fallowfield Avenue  
P.O. Box 144  
Charleroi, Pennsylvania 15022

BASSI, VREELAND & ASSOCIATES, P.C. ATTORNEYS AT LAW • COST ACCOUNT

30005

VENDOR: ALLEGHENY COUNTY DEPT OF REAL ESTATE

YOUR INVOICE NUMBER

INVOICE DATE

INVOICE AMOUNT

AMOUNT PAID

DISCOUNT TAKEN

OUR REF. NO.

YOUR INVOICE NUMBER

INVOICE DATE

INVOICE AMOUNT

AMOUNT PAID

DISCOUNT TAKEN

CHECK NO:30005

Official Receipt for Recording in:

Department of Real Estate  
101 County Office Bldg - 542 Forbes Avenue  
542 Forbes Avenue  
Pittsburgh, PA 15219

Issued To:  
CUSTOMER

PITTSBURGH PA 15219

Recording Fees

Filing Type	Number	Volm	Page	Time	Recording Amount
Deed Agreement	34872	15821	00542	12:26:30p	162.00
MEMO PURCHASE AGRHT DR-ALOE BROTHERS L L C IN-CHARTER HOMES DEVELOP PROPERTIES XI INC					
Not a Deed of Transfer	34872	15821	00542	12:26:30p	.00
DR-ALOE BROTHERS L L C IN-CHARTER HOMES DEVELOP PROPERTIES XI INC					
Collected Amounts					162.00
Payment Type					Amount
2-Check	CFS 005				162.00
					162.00
Total Received :					162.00
Less Total Recordings:					162.00
Change Due :					.00

Thank You  
JERRY TVSKIEWICZ - Department of Real Estate

By - Maureen Ward

Receipt# Date Time  
2777383 12/09/2014 12:26p

DEED

THIS DEED MADE AND ENTERED into this 5<sup>th</sup> day of January, 2011,  
between the **COMMONWEALTH OF PENNSYLVANIA**, acting by and through the  
Department of General Services, an administrative department of the Commonwealth  
of Pennsylvania, with the approval of the Governor of the Commonwealth of  
Pennsylvania, herein referred to as **GRANTOR**,

A

N

D

**ALOE BROTHERS L.L.C.**, 5540 Dunmoyle Avenue, Pittsburgh, Pennsylvania,  
15217, hereinafter referred to as **GRANTEE**,

**WHEREAS**, under authority of **Act 117 of 2010**, the General Assembly of the  
Commonwealth of Pennsylvania authorized the Department of General Services, with the  
approval of the Governor, to grant and convey to **GRANTEE**, three (3) tracts of land  
containing 152 acres +/- together with improvements thereon, situate in the Township of  
South Fayette, County of Allegheny, Commonwealth of Pennsylvania, hereinafter  
described.

**WITNESSETH**, that the said **GRANTOR** for and in consideration of **FIVE  
HUNDRED FIVE THOUSAND FIVE HUNDRED FIVE DOLLARS AND 00/100  
(\$505,505.00)** has granted and conveyed and by these presents does grant and convey  
to **GRANTEE**, its successors and assigns three (3) tracts of land, together with all  
buildings and improvements thereon, situate in the Township of South Fayette,  
Allegheny County, Pennsylvania, bounded and described as follows:

LOT NO. 1

**BEING** all of that certain piece or parcel of land being situate in the Township of South  
Fayette, Allegheny County, more particularly bound and described as follows:

**BEGINNING** at an iron pin set at the southern right of way line of Mayview Road, a fifty  
foot right of way and lands now or formerly of BEE Properties LLC, thence continuing

along the southern right of way line of Mayview Road, a fifty foot right of way, the following seven (7) courses and distances:

1. North 82°34'35" East 392.34 feet to a point, thence;
2. North 80°48'25" East 335.96 feet to a point, thence;
3. By a curve to the left with a radius of 1025.00 feet for an arc length of 174.64 feet with a chord bearing North 75°55'33" East 174.43 feet to a point, thence;
4. North 71°02'41" East 97.44 feet to a point, thence;
5. By a curve to the left with a radius of 130.00 feet and an arc length of 194.34 feet with a chord bearing North 28°13'07" East 176.74 feet to a point, thence;
6. North 14°36'27" West 317.99 feet to a point, thence;
7. South 75°23'33" West 8.50 feet to a point where the right of way of Mayview Road changes from 50 to 33 feet, thence, continuing along Mayview Road;
8. North 14°36'27" West 215.17 feet to a point, thence;
9. By a curve to the right with a radius of 898.50 feet and an arc length of 168.21 feet with a chord bearing North 09°14'39" West 167.96 feet to a point, thence;
10. North 03°52'52" West 106.37 feet to a point, thence;
11. By a curve to the left with a radius of 542.50 feet with an arc length of 231.86 feet and a chord bearing North 16°07'29" West 230.10 feet to a point, thence;
12. North 28°22'07" West 153.00 feet to a point, thence;
13. By a curve to the left with a radius of 551.50 feet and an arc length of 215.61 feet with a chord bearing North 39°34'07" West 214.24 feet to a point, thence;
14. North 50°46'08" West 457.91 feet to a point, thence;
15. By a curve to the right with a radius of 166.58 feet with an arc length of 163.24 with a chord bearing North 22°31'44" West 156.71 feet to a point of compound curvature, thence;
16. By a curve to the right with a radius of 277.76 feet and an arc length of 48.96 feet with a chord bearing North 10°45'52" East 48.90 feet to a point, thence;
17. North 15°48'52" East 104.43 feet to a point, thence;
18. North 16°47'48" East 76.15 feet to a point on the southern and western right of way lines of lands now or formerly of the Ohio Central Railroad System, thence



by lands now or formerly of the Ohio Central Railroad System, the following eighteen (18) courses and distances;

19. South  $42^{\circ}54'10''$  East 289.56 feet to a point, thence;
20. South  $40^{\circ}33'49''$  East 419.59 feet to a point, thence;
21. South  $89^{\circ}36'43''$  East 432.07 feet to a point, thence;
22. North  $68^{\circ}47'14''$  East 101.98 feet to a point, thence;
23. North  $80^{\circ}05'50''$  East 400.00 feet to a point, thence;
24. North  $09^{\circ}54'10''$  West 10.00 feet to a point, thence;
25. North  $80^{\circ}05'50''$  East 270.00 feet to a point, thence;
26. By a curve to the right with a radius of 2303.66 with an arc length of 723.72 feet with a chord bearing North  $89^{\circ}05'50''$  East 720.74 feet to a point of compound curvature, thence;
27. By a curve to the right with a radius of 654.14 with an arc length of 727.75 with a chord bearing South  $50^{\circ}01'52''$  East 690.80 feet to a point, thence;
28. South  $71^{\circ}50'27''$  West 20.00 feet to a point, thence;
29. By a non-tangent curve to the right with a radius 634.14 feet with an arc length of 978.29 feet and a chord bearing South  $26^{\circ}02'09''$  West 884.12 feet to a point, thence;
30. South  $72^{\circ}39'30''$  West 475.41 feet to a point, thence;
31. South  $71^{\circ}55'20''$  West 331.44 feet to a point, thence;
32. South  $69^{\circ}40'12''$  West 438.03 feet to a point, thence;
33. South  $53^{\circ}58'31''$  West 70.04 feet to a point, thence;
34. By a curve to the left with a radius of 697.63 feet with an arc length of 501.35 feet and a chord bearing South  $45^{\circ}50'12''$  West 490.63 feet to a point, thence;
35. South  $31^{\circ}34'51''$  West 141.13 feet to a point, thence;
36. South  $23^{\circ}37'50''$  West 58.04 feet to a point in Chartiers Creek along lands now or formerly of the Township of Upper St. Clair, thence continuing along lands now or formerly of the Township of Upper St. Clair, the following four (4) courses and distances;
37. North  $89^{\circ}18'43''$  West 140.90 feet to a point in Chartiers Creek, thence;

- 38. North 36°36'46" West 287.54 feet to a point in Chartiers Creek, thence;
- 39. North 84°36'46" West 310.00 feet to a point in Chartiers Creek, thence;
- 40. South 57°53'14" West 250.00 feet to a point in Chartiers Creek at lands now or formerly of BEE Properties, LLC, thence continuing along lands of BEE Properties, LLC the following two (2) courses and distances:
- 41. North 42°37'35" West 78.00 feet to a point, thence;
- 42. North 68°07'35" West 202.52 feet to the **POINT and PLACE of BEGINNING.**

**SUBJECT** to a fifty foot (50') wide access easement, as depicted on the "Minor Subdivision of Mayview State Hospital" prepared by L. Robert Kimball & Associates, Inc., Project 09-1300-0243, for use by the PA Department of Transportation for ingress and egress to their wetland mitigation sites which are situated on Lot No. 4 Residual Tract of the aforementioned "Minor Subdivision of Mayview State Hospital".

**BEING Tax Parcel No. 480-P-1.**

The above described tract of land consists of a portion of Parcel Nos. formerly known as 9946-X-50590, 9946-X-50595, 9946-X-50605, and 9946-X-50616, and being shown as Lot No. 1 on a plan entitled "Minor Subdivision of Mayview State Hospital" as prepared by L. Robert Kimball & Associates, Inc., Project 09-1300-0243 and recorded August 30, 2010, in the office of the Department of Real Estate of the County of Allegheny, Commonwealth of Pennsylvania, in Plan Book Volume 269, Page 95.

**SAID PARCEL CONTAINS** 3,542,770.36 square feet or 81.331 acres of land.

**LOT NO. 2**

**BEING** all of that certain piece or parcel of land being situate in the Township of South Fayette, Allegheny County, more particularly bound and described as follows:

**BEGINNING** at an existing concrete monument found at lands now or formerly of South Fayette Township and lands now or formerly of Ernest Webb, thence continuing along lands now or formerly of South Fayette Township, the following eight (8) courses and distances:

- 1. North 31°50'30" East 816.23 to a point, thence;
- 2. North 19°57'43" West 400.20 to a point, thence;
- 3. North 55°14'15" East 335.74 to a point, thence;
- 4. North 47°24'45" West 201.18 to a point, thence;
- 5. North 29°38'37" West 719.15 to a point, thence;

6. South  $70^{\circ}56'43''$  West 116.25 to a point, thence;
7. North  $17^{\circ}09'04''$  West 279.72 to a point, thence;
8. North  $64^{\circ}53'30''$  East 763.66 to a point on the western right of way line of lands now or formerly of the Ohio Central Railroad System, thence by lands now or formerly of the Ohio Central Railroad System, the following two (2) courses and distances;
9. By a non-tangent curve to the left with a radius 984.93 feet with an arc length of 326.32 feet and a chord bearing South  $33^{\circ}24'41''$  East 324.83 feet to a point, thence;
10. South  $42^{\circ}54'10''$  East 393.37 to a point on the western right of way line of Mayview Road, of varying width. Thence, continuing along Mayview Road, the following two (2) courses and distances:
11. South  $15^{\circ}48'52''$  West 126.50 feet to a point, thence;
12. South  $74^{\circ}11'08''$  East 5.50 feet to a point where the right of way of Mayview Road is 33 feet in width, thence continuing along the right of way of Mayview Road, the following seventeen (17) courses and distances:
13. South  $15^{\circ}48'52''$  West 78.25 feet to a point, thence;
14. By a curve to the left with a radius of 310.76 feet with an arc length of 54.78 feet and a chord bearing South  $10^{\circ}45'52''$  West 54.71 feet to a point of compound curvature, thence,
15. By a curve to the left with a radius of 198.58 feet and an arc length of 195.77 feet with a chord bearing South  $22^{\circ}31'43''$  East 187.94 feet to a point, thence;
16. South  $50^{\circ}46'08''$  East 457.91 feet to a point, thence;
17. By a curve to the right with a radius of 518.50 feet with an arc length of 202.71 feet and a chord bearing South  $39^{\circ}34'07''$  East 201.42 feet to a point, thence;
18. South  $28^{\circ}22'07''$  East 153.00 feet to a point, thence;
19. By a curve to the right with a radius of 509.50 feet and an arc length of 217.75 feet with a chord bearing South  $16^{\circ}07'29''$  East 216.10 feet to a point, thence;
20. South  $03^{\circ}52'52''$  East 106.37 feet to a point, thence;
21. By a curve to the left with a radius of 931.50 feet and an arc length of 174.39 feet with a chord bearing South  $09^{\circ}14'39''$  East 174.13 feet to a point, thence;
22. South  $14^{\circ}36'27''$  East 215.17 feet to a point, thence;

23. South 75°23'33" West 8.50 feet to a point where the right of way is fifty feet in width, thence;

24. South 14°36'27" East 317.99 feet to a point, thence;

25. By a curve to the right with a radius of 80.00 feet and an arc length of 119.59 feet with a chord bearing South 28°13'07" West 108.76 feet to a point, thence;

26. South 71°02'41" West 97.44 feet to a point, thence;

27. By a curve to the right with a radius of 975.00 feet and an arc length of 166.12 feet with a chord bearing South 75°55'33" West 165.92 feet to a point, thence;

28. South 80°48'25" West 335.19 feet to a point, thence;

29. South 82°34'35" West 480.68 feet to a point at lands now or formerly of BEE Properties, LLC, thence along lands now or formerly of BEE Properties, LLC at first, then Ernest Webb;

30. North 68°07'35" West 741.53 feet to the **POINT and PLACE of BEGINNING.**

**BEING Tax Parcel No. 571-B-2.**

The above described tract of land consists of a portion of Parcel Nos. formerly known as 9946-X-50590, and 9946-X-678, and being shown as Lot No. 2 on a plan entitled "Minor Subdivision of Mayview State Hospital" as prepared by L. Robert Kimball & Associates, Inc., Project 09-1300-0243 and recorded August 30, 2010, in the office of the Department of Real Estate of the County of Allegheny, Commonwealth of Pennsylvania, in Plan Book Volume 269, Page 95.

**SAID PARCEL CONTAINS 3,004,864.98 square feet or 68.982 acres of land.**

**LOT NO. 3**

**BEING** all of that certain piece or parcel of land being situate in the Township of South Fayette, Allegheny County, more particularly bound and described as follows:

**BEGINNING** at a point on the western right of way line of Mayview Road, a variable width right of way and lands now or formerly of the Township of Upper St. Clair, said point being located within Chartlers Creek, thence continuing along the western right of way line of Mayview Road the following three (3) courses and distances:

1. South 15°48'52" West 76.32 feet to a point, thence;
2. South 22°50'43" East 32.02 feet to a point, thence;

- 7
3. South 09°17'41" West 54.55 feet to a point on the northern right of way line of lands now or formerly of the Ohio Central Railroad, thence continuing along lands now or formerly of the Ohio Central Railroad, the following two (2) courses and distances;
  4. North 42°54'10" West 354.80 feet to a point, thence;
  5. By a curve to the right with a radius of 924.93 feet and an arc length of 613.17 feet with a chord bearing North 23°54'40" West 602.00 feet to a point, thence;
  6. North 72°39'04" East 70.32 feet to a point in Chartiers Creek, thence along Chartiers Creek;
  7. South 19°18'18" East 494.16 feet to a point, thence;
  8. South 41°30'18" East 200.00 feet to a point; thence;
  9. South 67°21'18" East 151.36 feet to the **POINT and PLACE of BEGINNING.**

**BEING Tax Parcel No. 480-E-3.**

The above described tract of land consists of a portion of Parcel No. formerly known as 9946-X-50590, and being shown as Lot No. 3, on a plan entitled "Minor Subdivision of Mayview State Hospital" as prepared by L. Robert Kimball & Associates, Inc., Project 09-1300-0243 and recorded August 30, 2010, in the office of the Department of Real Estate of the County of Allegheny, Commonwealth of Pennsylvania, in Plan Book Volume 269, Page 95.

**SAID PARCEL CONTAINS 73,671.25 square feet or 1.691 acres of land.**

**LOT NO. 1, LOT NO. 2 and LOT NO. 3, AS ABOVE DESCRIBED, BEING** a part of the premises conveyed from the Allegheny County Institution District, to the Commonwealth of Pennsylvania, by deed dated October 31, 1949 and recorded November 3, 1949 in Deed Book Volume 3074, Page 129 and also the land taken by the Commonwealth of Pennsylvania pursuant to the Act of September 29, 1938, Special Session, P.L. 53, as amended by the Act of May 19, 1943, P.L. 262, and the Act of May 25, 1945, P.L. 1074, 50 P.S. Section 1051, no deed having been given.

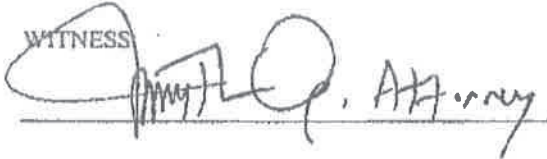
**ALSO BEING A PORTION** of the same premises conveyed from the General State Authority, to the Commonwealth of Pennsylvania, acting by and through the Department of General Services, by deed dated June 16, 1989 and recorded April 6, 1990 in Allegheny County Deed Book Volume 8221, Page 531.

**TO HAVE AND TO HOLD** the said tract or piece of ground unto the said **GRANTEE**, its successors and assigns, to and for the only proper use and behoof of the said **GRANTEE**, its successors and assigns forever.

**UNDER AND SUBJECT** to all lawful and enforceable easements, servitudes and rights of others, including but not confined to streets, roadways, and rights of any telephone, telegraph, water, electric, gas or pipeline companies, as well as under and subject to any lawful and enforceable estates or tenancies vested in third persons appearing of record, for any portion of the land or improvements erected thereon.

**UNDER AND SUBJECT** to the condition, that no portion of the property conveyed shall be used as a licensed facility, as defined in 4 Pa.C.S. § 1103 (relating to definitions), or any other similar type of facility authorized under state law. The condition shall be a covenant running with the land and shall be binding upon the **GRANTEE**, its successors and assigns. Should the **GRANTEE**, its successors or assigns, permit any portion of the property to be used in violation of this restriction, the title shall immediately revert to and revest in the **GRANTOR**.

**NOTICE** THE UNDERSIGNED, AS EVIDENCED BY THE SIGNATURE(S) TO THIS NOTICE AND THE ACCEPTANCE AND RECORDING OF THIS DEED, IS FULLY COGNIZANT OF THE FACT THAT THE UNDERSIGNED MAY NOT BE OBTAINING THE RIGHT OF PROTECTION AGAINST SUBSIDENCE, AS TO THE PROPERTY HEREIN CONVEYED, RESULTING FROM COAL MINING OPERATIONS AND THAT THE PURCHASED PROPERTY, HEREIN CONVEYED, MAY BE PROTECTED FROM DAMAGE DUE TO MINE SUBSIDENCE BY A PRIVATE CONTRACT WITH THE OWNERS OF THE ECONOMIC INTEREST IN THE COAL. THIS NOTICE IS INSERTED HEREIN TO COMPLY WITH THE BITUMINOUS MINE SUBSIDENCE AND LAND CONSERVATION ACT OF 1966, AS AMENDED: 1980, OCT. 10, P.L. 874, NO. 156 § 1.

WITNESS  
 Attorney

Aloe Brothers, L.L.C.

Name:   
Title: Manager

**NOTICE**-- THIS DOCUMENT MAY NOT SELL, CONVEY, TRANSFER, INCLUDE OR INSURE THE TITLE TO THE COAL AND RIGHT OF SUPPORT UNDERNEATH THE SURFACE LAND DESCRIBED OR REFERRED TO HEREIN, AND THE OWNER OR OWNERS OF SUCH COAL MAY HAVE THE COMPLETE LEGAL RIGHT TO REMOVE ALL OF SUCH COAL AND, IN THAT CONNECTION, DAMAGE MAY RESULT TO THE SURFACE OF THE LAND AND ANY HOUSE, BUILDING OR OTHER STRUCTURE ON OR IN SUCH LAND. THE INCLUSION OF THIS NOTICE DOES NOT ENLARGE, RESTRICT OR MODIFY ANY LEGAL RIGHTS OR ESTATES OTHERWISE CREATED, TRANSFERRED, EXCEPTED OR RESERVED BY THIS INSTRUMENT. [This notice is set forth pursuant to Act No. 255, approved September 10, 1965.]

**AND THE GRANTOR** shall warrant specially the premises herein conveyed.

IN WITNESS WHEREOF, GRANTOR, by Elizabeth A. O'Reilly, Secretary of General Services, has caused this Instrument to be signed the day and year first above written.

APPROVED AS TO LEGALITY  
AND FORM  
Office of Chief Counsel, DGS

Edmund M. Flinch

COMMONWEALTH OF PENNSYLVANIA  
Department of General Services

Elizabeth A. O'Reilly / 1/3/11  
Secretary Date

APPROVED AS TO LEGALITY  
AND FORM  
Office of General Counsel

Edmund M. Flinch

APPROVED AS TO LEGALITY  
AND FORM  
Office of Attorney General

[Signature]  
By Deputy Attorney General

APPROVED:

[Signature]  
GOVERNOR

RECEIVED  
DEPARTMENT OF GENERAL SERVICES  
JAN 11 2011

**ACKNOWLEDGMENT**

**COMMONWEALTH OF PENNSYLVANIA:**

:

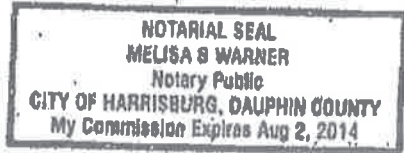
**COUNTY OF DAUPHIN**

:

On this, the 5<sup>th</sup> day of January, 2011, before me, the undersigned officer, personally appeared Elizabeth O'Reilly <sup>Acting</sup> Secretary of the Department of General Services of the Commonwealth of Pennsylvania, known to me (or satisfactorily proven) to be the person described in the foregoing instrument, and acknowledged that she/he executed the same in the capacity therein stated and for the purposes therein contained.

**IN WITNESS WHEREOF, I hereunto set my hand and official seal.**

Melisa D. Warner  
**NOTARY PUBLIC**



CERTIFICATE OF RESIDENCE


I certify that the true and precise address of the within named **GRANTEE** is  
Aloe Brothers L.L.C., 5540 Dunmoyle Avenue, Pittsburgh, Pennsylvania, 15217.

Mail Tax Statement to:

5540 Dunmoyle Avenue

Pittsburgh, PA 15217

MARCH 1, , 20 11



**ATTORNEY FOR GRANTEE**

Mail to:

Jeffrey T. Olyp, esq.

P.O. Box 144

111 Followfield Avenue

Charlton, PA  
15022



COMMONWEALTH OF PENNSYLVANIA  
OFFICE OF THE GOVERNOR  
HARRISBURG

THE GOVERNOR

August 17, 2010

I, Edward G. Rendell, hereby authorize Elizabeth A. O'Reilly, Acting Secretary of General Services, to execute on my behalf, documents of the Department of General Services listed below:

- Deeds
- Demolition of Buildings
- Easements
- Indentures
- Leases
- Legislatively Mandated Conveyances
- Licenses
- Rights-of-Way
- Sales Agreements

*Edward G. Rendell*

Edward G. Rendell  
Governor



Allegheny County  
 Valerie McDonald Roberts  
 Department of Real Estate  
 Pittsburgh, PA 15219

Instrument Number: 2011-4690

BK-DE VL-14515 PG-343

Recorded On: March 01, 2011

As-Deed

Parties: PENNSYLVANIA COMWTH DEP GENL SERVICES

To ALOE BROTHERS L L C

# of Pages: 13

Comment:

\*\*\*\*\* THIS IS NOT A BILL \*\*\*\*\*

Deed 94.50  
 Pages > 4 8  
 Names > 4 0  
 Total: 94.50

Realty Transfer Stamp

Department of Real Estate Stamp

Affidavit Attached-No		Stamp Num-T415840	Certified By-> S B	
SOUTH FAYETTE TP			ON 03-01-2011 AT 02:19p	
Ward-98-NO WARD			0480P00001000000	0571B00002000000
	Value	505,505.00	0480E00003000000	
Commonwealth of Pennsylvania		5,055.05		
Munic-South Fayette Twp		2,527.53		
School District-South Fayette		2,527.52		
Munic-Penalty		0.00		
Munic-Interest		0.00		
School-Penalty		0.00		
School-Interest		0.00		
		10,110.10		

I hereby certify that the within and foregoing was recorded in the Department of Real Estate in Allegheny County, PA

**\*\*DO NOT REMOVE-THIS PAGE IS PART OF THE RECORDED DOCUMENT\*\***

File Information:

Record and Return To:

Document Number: 2011-4690  
 Receipt Number: 1775784  
 Recorded Date/Time: March 01, 2011 02:26:53P  
 Book-Vol/Pg: BK-DE VL-14515 PG-343  
 User / Station: K Greenwade - Cash Super 06

JEFFREY T OLUP ESQUIRE  
 PO BOX 144  
 111 FALLOWFIELD AVE  
 CHARLEROI PA 15022



Valerie McDonald Roberts, Manager  
 Dan Oberste, County Executive

6



Plan Name:	Hastings Phase 5	File No.	F-01-2026
Plan Location:	Mayview Road	Tax I.D. #	0571-A-00010-0000-00
Project Description	The project includes 14 single family and 10 townhomes on one of the remaining develop-able parcels within the Hastings Neighborhood.		

**Check Appropriate Box(es)**

Land Development Plan	<input checked="" type="checkbox"/>	Subdivision Plan	<input type="checkbox"/>	Conditional Use Plan	<input type="checkbox"/>
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Minor Subdivision	<input type="checkbox"/>	Major Subdivision	<input type="checkbox"/>	Open Space Plan	<input type="checkbox"/>
Preliminary Plan Submission	<input checked="" type="checkbox"/>	Final Plan Submission	<input checked="" type="checkbox"/>		

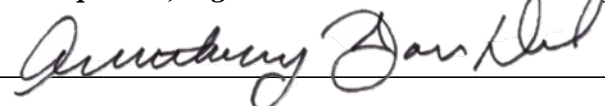
Zoning District(s)	ND	Property Acreage	6.182 ac	No. Lots/Units	24
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Applicant's Name:	HASTINGS PROPERTIES II LP	Phone No.	
Applicant's Address:	322 N. ARCH STREET, LANCASTER, PA 17603	Fax No.	
Applicant's E-Mail:			
Engineer Firm/Name	THE GATEWAY ENGINEERS. INC	Phone No.	
Engineer's Address:	100 MCMORRIS ROAD PITTSBURGH, PA 15205	Fax No.	
Contact Person:	DAVID M. HEATH, PE	E-Mail Address	

The following items are reviewed as part of the South Fayette Township application process. Applications submitted WITHOUT these elements will NOT be reviewed by the township.

REQUIRED SUBMISSION ITEMS	Copies	✓ Yes	✓ No	✓ N/A
1) Completed Application Form	1			
2) ACED Subdivision/Land Development Application	1			
3) Maps and Plans				
• Plus PDF of drawings	1			
• Sets Full-Size Plans (24" x 36")	5			
• Sets Half-Size Plans (11" x 17")	5			
4) Agent Authorization Form	1			
5) Application Fee	1			
6) Escrow – Engineer, Solicitor, Inspection	1			
7) Stormwater Management Plan & Calculations (plus PDF)	2			
8) Erosion & Sedimentation Control Plan (plus PDF)	2			
9) Deed, Sales Agreement or Other Ownership	1			

*I have familiarized myself with and hereby agree to comply with the subdivision and zoning ordinance of the township as well as to all township rules, regulations and resolutions. I agree to pay the applicable fee(s).*

Signature of Applicant:  Date: 2/9/2026

If applicant is not the property owner, an Agent Authorization Form must be attached.



# SOUTH FAYETTE T O W N S H I P

A Community Growing Together

## Agent Authorization

Form

www.southfayettepa.com

Name of Property Owners: HASTINGS PROPERTIES II LP

Property Tax Map Number: 0571-A-00010-0000-00

Property/Project(s): Hastings Phase 5

This application/phase only

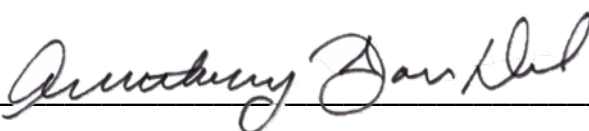
All related applications and phases

The above named property owner hereby appoints: The Gateway Engineers, Inc.

as its agent and authorizes said agent to apply for and process the above mentioned development plan/variance on his/her behalf. Agent is further authorized to sign all necessary documentations for such purposes, including acceptance of conditions imposed by the Board of Commissioners upon arrival of the plan. This authorization shall remain in full force and effect until written notice of revocation is delivered to the South Fayette Township Manager.

SIGNED AND SEALED, intending to be legally bound on this date of:

2/9/2026

Owner(s) Signature:  (SEAL)



A FULL-SERVICE CIVIL ENGINEERING FIRM

2/9/2026

 100 McMorris Road  
Pittsburgh, PA 15205

 412-921-4030

 GatewayEngineers.com

SOUTH FAYETTE TOWNSHIP PLANNING AND ZONING  
SOUTH FAYETTE TOWNSHIP MUNICIPAL BUILDING  
100 TOWNSHIP ROAD  
SOUTH FAYETTE, PA 15017

## CHARTER HOMES AT HASTINGS PHASE 5 PROJECT NARRATIVE

### PURPOSE

The purpose of this assessment is to provide information required by Section 215-23.N of the South Fayette Township Subdivision and Land Development Ordinance. Charter Homes at Hastings, Inc., is proposing the construction of Hastings Phase 5 which is located along Mayview Road just south of the Chartiers Bend Retirement Resort and north of Chartiers Creek. The tax ID for the site is 571-A-10. This section of the neighborhood was previously unplanned. Charter is proposing 14 single family and 10 townhomes. The proposed development meets the requirements of the previously approved Master Plan and PA DEP Sewage Planning Module. A NPDES Permit modification as well as a PennDOT highway occupancy permit will be required.

### PROJECT SCHEDULE *(anticipated)*

Summer, 2026 – Start Construction (pending approvals)

Fall, 2028 – Finish Construction

### TOPOGRAPHY

The site as it currently exists reaches a high point elevation at Mayview Road, steeply drops off to a bench before again steeply dropping off to Chartiers Creek. All grading will be accomplished with slopes allowed by the Township grading ordinance. The existing foundation will be removed from the site.

### SOILS

Based upon a review of the Allegheny County Soil Survey, the Phase 4 site consists of two soil types: Urban Land-Rainsboro complex (URB) as it was a previously developed property, and Rainsboro silt loam (RaB). Common engineering practices will be utilized during construction as necessary to control the groundwater. All necessary actions will be taken to assure the development's stability on the soils present.

### HYDROLOGY

There are no streams on the property, however the development is adjacent to Chartiers Creek.

FULL-SERVICE CIVIL ENGINEERING

ASSET MANAGEMENT • ENVIRONMENTAL • GEOTECHNICAL

LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • SURVEYING • TRANSPORTATION

## **FLOODWAY/FLOODPLAIN**

The project site is located outside of the FEMA delineated flood zone, as shown on FEMA Map Panel Number 42003C0453H dated September 26, 2014.

## **UTILITY**

Utility service in the form of gas, water, electric, telephone, gas, sanitary sewer and cable are all available at the site with capacity to service the development; therefore, there will be no impacts created.

## **WELLS / MINES**

There are no known wells or mines within the subject property.

## **VEGETATION**

The parcel was mass graded as part of Phase 1 development and was seeded for stabilization.

## **STEEP SLOPES**

There are no steep slopes within the project limits.

## **WETLANDS**

There are no wetlands found on the subject property.

## **WILDLIFE / HABITATS**

The parcel is currently stabilized with native grass.

## **HISTORIC ASSETS**

No historic assets have been identified on the proposed parcel.

February 9, 2026

Board of Commissioners  
South Fayette Township  
100 Township Drive  
South Fayette, PA 15107

Re: Hastings Phase 1.9.4 – Modification Requests

Dear Board of Commissioners,

On behalf of Hastings Properties II, LP, the applicant for subdivision and land development approval for Phase 1.9.4 of Hastings, we are requesting the following two (2) modifications related to the plan prepared by Gateway Engineers:

MODIFICATION #1

A modification is requested to Section 215-74, subsection E, to allow a cul-de-sac street that exceeds 500-ft in length, as shown on the plan. This section provides in part:

§215-74

E. Cul-de-sac. A cul-de-sac shall not be approved when a through street is practical and shall not be more than 500 feet in length, unless an intermediate turnaround is provided at a distance of every 500 feet and a modification or exception to the maximum five-hundred-foot length of the cul-de-sac is granted in accordance with the requirements of Article IX of this chapter.

Justification: A through street connection from Phase 1.9.4 to the other phases of Hastings is not practical because of limited space to make the connection and change in grade through this area. In lieu of a street connection, a cul-de-sac is proposed and a trail connection is shown from Phase 1.9.4 into the broader Hastings neighborhood. The length of the cul-de-sac street shown on the plan is approximately 680-ft. The horizontal and vertical geometry of Mayview Road restricts site distance along the property frontage. The safest access to the site is to push the entrance further south along Mayview Road, which results in a slightly longer cul-de-sac design.

MODIFICATION #2

A modification is requested to Section 215-78.C(5), subsection c, to allow a portion of the new street and retaining wall at the entrance to Phase 1.9.4 to encroach into the riparian buffer by approximately 15-ft, as shown on the plan. This section provides:

§215-78.C(5)

(c) Minimum management requirements for riparian buffers.

(1) No use or construction within the riparian buffer shall be permitted that is inconsistent with the intent of the riparian buffer as described in subsection C(5)(a).

Justification: As discussed in the first modification request, because of limited points of connection that meet site distance requirements along Mayview Road, the street into Phase 1.9.4 must occur further south along the frontage. Due to the grade transition through this area, a retaining wall is needed to hold up the new street. Approximately 15-feet of the new street and retaining wall are within the 35-foot riparian buffer, as measured from the adjacent Chartiers Creek. The site was previously developed when the prior hospital use existed and, from a practical standpoint, installation of the portion of the street and retaining wall shown on the plan will not result in the removal of any mature vegetation within the riparian buffer.

Thank you for your consideration of these modification requests.

Sincerely,

HASTINGS PROPERTIES II, LP

A handwritten signature in black ink, appearing to read "Antony Faranda-Diedrich". The signature is written in a cursive, flowing style.

Antony Faranda-Diedrich

**NOTE:**

1. THESE PLANS AS SUBMITTED ARE INTENDED TO COMPLY WITH ALL REGULATIONS, STANDARDS, AND ORDINANCES OF THE SOUTH FAYETTE TOWNSHIP. ANY DEVIATION FROM THOSE REGULATIONS, STANDARDS AND ORDINANCES IS UNINTENTIONAL AND AS SUCH, IN THE EVENT THAT A CONFLICT IS DISCOVERED, IT IS UNDERSTOOD AND AGREED THAT THE SOUTH FAYETTE TOWNSHIP'S REGULATIONS, STANDARDS AND ORDINANCES WILL APPLY.

**ADD WAIVERS AND MODIFICATIONS FROM CHARTER**

**APPROVED MODIFICATIONS:**

1. MODIFICATION TO ZONING ORDINANCE SECTION § 240-75.20 B.1. MODIFICATION GRANTED FROM SECTION § 240-75.20 B.1 TO PERMIT LOT AREAS OF LESS THAN 4,000 SQUARE FEET FOR SINGLE FAMILY HOMES WHEN THE HOME IS SERVED BY AN ALLEY. THIS MODIFICATION PERTAINS TO 12 OF THE 20 PROPOSED SINGLE FAMILY LOTS.
2. MODIFICATION TO ZONING ORDINANCE SECTION § 240-75.20 B.2. MODIFICATION GRANTED FROM SECTION 240-75.20 B.2 TO PERMIT LOT AREA MINIMUMS OF LESS THAN 1,400 SQUARE FEET FOR TOWNHOUSE UNITS 513, 514, 517, 518, 519, 522, 523, 529, 528, 534, 535, 536, 539, 540, 543, 544, 545, 570, 571, 572, 583, 584, AND 587 AS SHOWN ON THE PLANS. THIS MODIFICATION PERTAINS TO 23 OF THE 87 PROPOSED TOWNHOUSE LOTS.

**REQUESTED MODIFICATIONS:**

1. A MODIFICATION IS REQUESTED TO SECTION § 215-74 TO ALLOW A CUL-DE-SAC STREET THAT EXCEEDS 500 FEET IN LENGTH, AS SHOWN ON THE PLAN. THIS SECTION PROVIDES IN PART: "A CUL-DE-SAC SHALL NOT BE APPROVED WHEN A THROUGH STREET IS PRACTICAL AND SHALL NOT BE MORE THAN 500 FEET IN LENGTH, UNLESS AN INTERMEDIATE TURN AROUND IS PROVIDED AT A DISTANCE OF EVERY 300 FEET AND A MODIFICATION OR EXCEPTION TO THE MAXIMUM FIVE-HUNDRED-FOOT LENGTH OF THE CUL-DE-SAC IS GRANTED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE IX OF THIS CHARTER."
2. A MODIFICATION IS REQUESTED TO SECTION 215-74.C(5), SUBSECTION C, TO ALLOW A PORTION OF THE NEW STREET AND RETAINING WALL AT THE ENTRANCE TO PHASE 1.9.4 TO ENCRoACH INTO THE RIPARIAN BUFFER BY APPROXIMATELY 15-FT, AS SHOWN ON THE PLAN. THIS SECTION PROVIDES: (C) MINIMUM MANAGEMENT REQUIREMENTS FOR RIPARIAN BUFFERS; (1) NO USE OR CONSTRUCTION WITHIN THE RIPARIAN BUFFER SHALL BE PERMITTED THAT IS INCONSISTENT WITH THE INTENT OF THE RIPARIAN BUFFER AS DESCRIBED IN SUBSECTION C(5)(a).

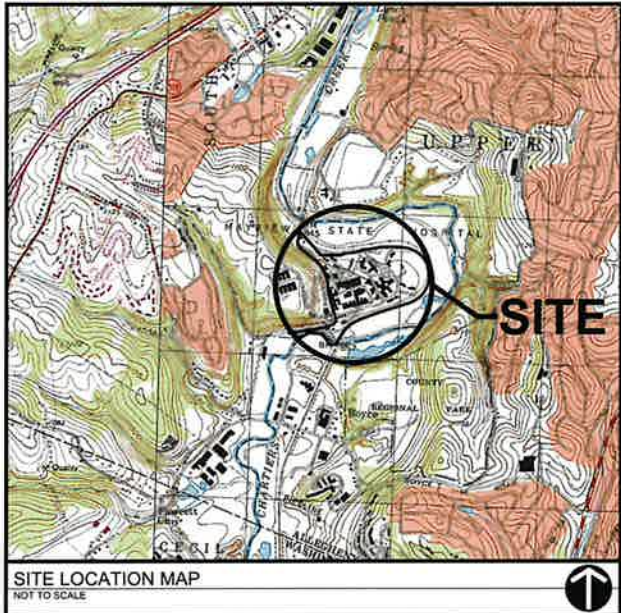
SURVEYOR	TOWNSHIP OF SOUTH FAYETTE ENGINEER	TOWNSHIP OF SOUTH FAYETTE PLANNING COMMISSION	TOWNSHIP OF SOUTH FAYETTE BOARD OF COMMISSIONERS
○	○	○	○

# PRELIMINARY/FINAL PLAN LAND DEVELOPMENT APPLICATION

## FOR HASTINGS PHASE 5

MAYVIEW ROAD  
PITTSBURGH, PA 15102

PREPARED FOR:  
CHARTER HOMES AT HASTINGS, INC  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603



I CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

DATE \_\_\_\_\_ NAME \_\_\_\_\_ REGISTRATION NO. \_\_\_\_\_

\_\_\_\_\_, A REGISTERED PROFESSIONAL ENGINEER FOR THE TOWNSHIP OF SOUTH FAYETTE DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE, EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

DATE \_\_\_\_\_ NAME \_\_\_\_\_ REGISTRATION NO. \_\_\_\_\_

REVIEWED BY THE TOWNSHIP OF SOUTH FAYETTE PLANNING COMMISSION, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

SECRETARY \_\_\_\_\_ (SEAL) CHAIRPERSON \_\_\_\_\_

THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SOUTH FAYETTE HEREBY GIVES PUBLIC NOTICE IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF SOUTH FAYETTE ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

THE TOWNSHIP OF SOUTH FAYETTE AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

APPROVED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SOUTH FAYETTE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

ATTEST:

SECRETARY \_\_\_\_\_ (SEAL) PRESIDENT OF THE BOARD OF COMMISSIONERS \_\_\_\_\_

**LAND USE BY AREA**

SITE ZONING: ND (NEIGHBORHOOD DESIGN)	AREA(SF)	PHASE
NON-RESIDENTIAL BUILDING SOFT		
CROSSROADS	10,115	1
RETIREMENT LIVING	68,300	1
VETERINARIAN CENTER	5,535	1
OTB	5,944	1
OFFICE BUILDING	8,040	1
<b>TOTAL*</b>	<b>98,935</b>	
RESERVED COMMON OPEN SPACE FAIRVIEW PARK**	69,98AC	1

**REQUIRED MIX OF RESIDENTIAL USES**

TOWNSHIP STANDARD	PHASE 1	RETIREMENT LIVING	PHASE 2	PHASE 3	PHASE 4	PHASE 5	TOTALS	% OF TOTAL*
RESIDENTIAL MIX SINGLE FAMILY	42	0	45	45	20	14	166	28.2%
RESIDENTIAL MIX TOWNHOUSE, LOFTS & CROSS ROADS	77	0	55	83	67	10	292	49.7%
RESIDENTIAL MIX MULTI-FAMILY	0	130	0	0	0	0	130	22.1%
<b>*MIN - 15%, MAX - 50%</b>							<b>TOTAL</b>	<b>588</b>
<b>MAXIMUM DWELLING DENSITY(8.5 PER AC X 81.33 ACRES)</b>								<b>100.0%</b>
<b>ACTUAL DWELLING DENSITY</b>	<b>7.23</b>							

**ZONING REQUIREMENTS**

PHASE 1	AREA	FRONTAGE	SETBACKS		
			FRONT	SIDE	REAR
NON-RESIDENTIAL	70,000 SF TOTAL	40'	VARIABLE*	5' MIN.	5' MIN.
RESIDENTIAL	4,000 SF	20'	5' MIN.	5' MIN.	20' MIN. OR 5' MIN. **
	1,400 SF	20'	5' MIN.	5' MIN. (UNATTACHED)	20' MIN. OR 5' MIN. **
RESERVED COMMON OPEN SPACE	25% OF TOTAL (37,58AC)	NA	NA	NA	NA

\*MINIMUM FRONT YARD VARIES BY USE.  
\*\* IF THE BUILDING IS SERVED BY REAR ALLEY ACCESS

NON-RESIDENTIAL BUILDING SQFT	70,000 SF TOTAL
-------------------------------	-----------------

**LIST OF UTILITIES**

- ELECTRIC SERVICE**  
WEST PENN POWER  
1879 JEFFERSON ROAD  
RICES LANDING, PA 15357  
CONTACT: WILLIAM FISHER  
PHONE: (724) 743-2026
- GAS SERVICE**  
PEOPLES NATURAL GAS COMPANY, LLC  
375 NORTH SHORE DRIVE, SUITE 600  
PITTSBURGH, PA 15212  
CONTACT: BETH REICHERTER  
PHONE: (856) 654-4660
- COMMUNICATION SERVICE**  
COMCAST  
1530 CHARTIERS AVE.  
PITTSBURGH, PA 15204  
CONTACT: CRAIG TACY  
PHONE: (412) 503-4362
- COMMUNICATION SERVICE**  
VERIZON  
41 EAST BEAU STREET  
WASHINGTON, PA 15301  
CONTACT: KEITH FOWLER  
PHONE: (724) 229-0695
- WATER SERVICE**  
PENNSYLVANIA AMERICAN WATER  
300 GALLEY ROAD  
McMURRAY, PA, 15317  
CONTACT: LUCIAN CAPPETTA  
PHONE: (412) 401-1871
- SEWER SERVICE**  
MUNICIPAL AUTHORITY OF THE TOWNSHIP OF SOUTH FAYETTE  
900 PRESTO SYGAN ROAD  
BRIDGEVILLE, PA 15017  
CONTACT: NICK GOETTMAN  
PHONE: (412) 257-5100

**SHEET INDEX**

NO.	TITLE
C000	COVER SHEET
C050	DEMO PLAN
C100	SITE PLAN
C100A	REVISED PRELIMINARY MASTER PLAN
C110	TRUCK TURNING TEMPLATE
C200	GRADING PLAN
C300	UTILITY PLAN
C310	PA AMERICAN WATERLINE PLAN
C311	PA AMERICAN WATERLINE PLAN
C312	PAWC DETAILS
C330	STORM PROFILES
C340	SANITARY PROFILES
C341	SANITARY PROFILES
C342	MATSF DETAILS
C343	MATSF DETAILS
C344	MATSF DETAILS
C400	EROSION & SEDIMENT CONTROL PLANS
C401	EROSION & SEDIMENT CONTROL NOTES
C402	EROSION & SEDIMENT CONTROL DETAILS
C500	ROAD PROFILES
C501	ROAD PROFILES
C600	CONSTRUCTION DETAILS
C601	CONSTRUCTION DETAILS
C602	CONSTRUCTION DETAILS
L100	LANDSCAPE PLAN
L101	LANDSCAPE DETAILS
L110	LIGHTING PLAN
PCSM1	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
PCSM2	PCSM DETAILS
PCSM3	PCSM DETAILS

PARKING TABLE	UNIT COUNT	CRITERIA	REQUIRED	PROVIDED
PHASE 5 RESIDENTIAL	*SINGLE FAMILY	2 SPACES / UNIT	28	28
	*TOWNHOMES/LOFT	2 SPACES / UNIT	20	20
	COMMUNITY PARKING	N/A	0	0
	<b>TOTAL</b>		<b>48</b>	<b>48</b>

\*EACH SINGLE FAMILY, TOWNHOME BUILDING, AND CROSSROADS UNITS INCLUDE 2 INTERNAL PARKING SPACES

STREET TABLE		
ROAD NAMES	PERMITTED STREET SECTIONS	PUBLIC/PRIVATE
BRAEBANK ROAD	F	PUBLIC
ARGYLL ALLEY	A	PRIVATE
CANOPY WAY		PRIVATE
OAK STREET		PRIVATE
STATION STREET		PRIVATE
CREEKSTONE ALLEY		PRIVATE
GLENBURN WAY		PRIVATE



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**REVISION RECORD**

No.	Date	Description
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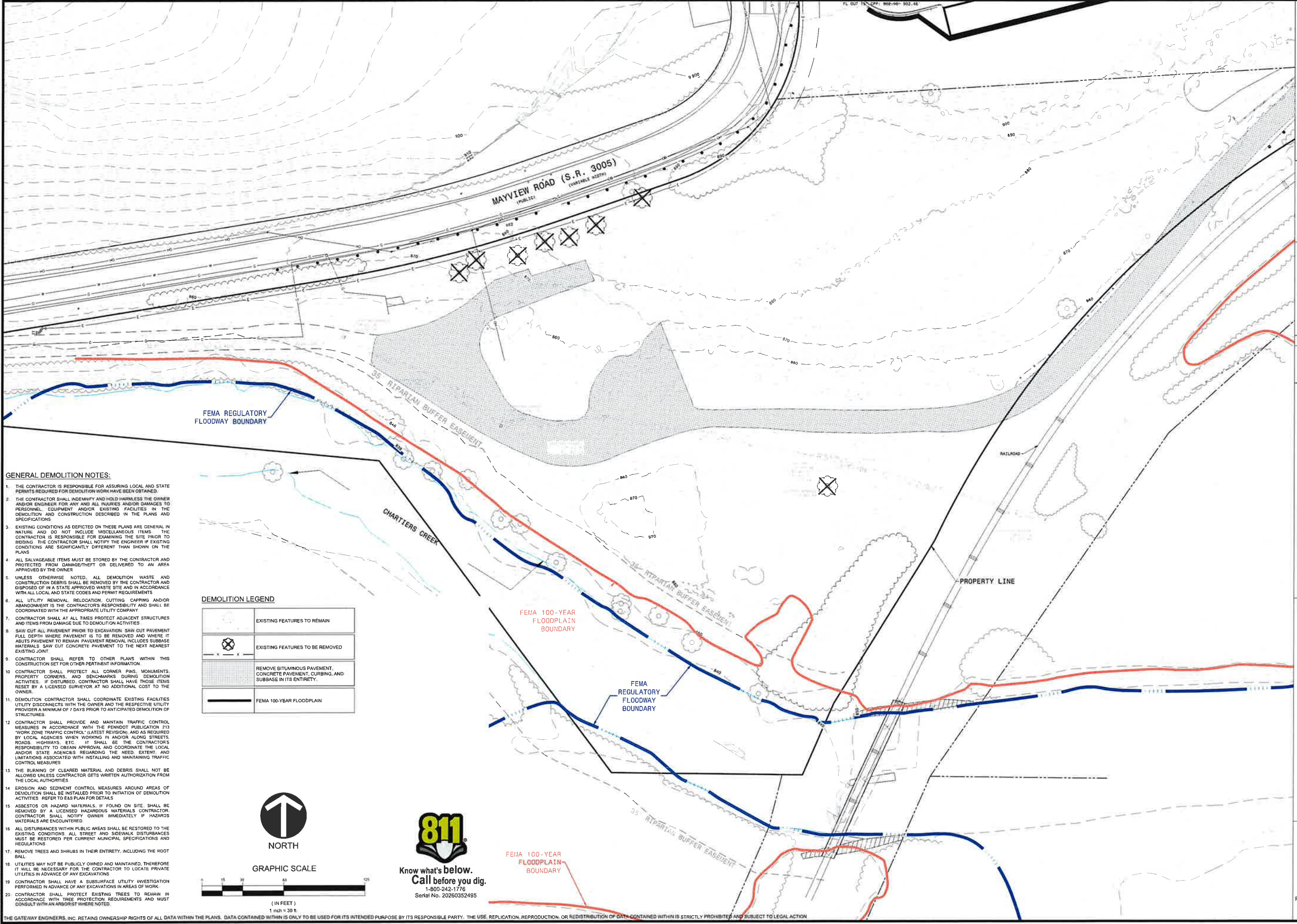
**HASTINGS**  
South Fayette Township/Pittsburgh, PA

HASTINGS PHASE 5  
MAYVIEW ROAD  
PITTSBURGH, PA 15102  
PREPARED FOR:  
CHARTER HOMES AT HASTINGS, INC  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

COVER SHEET

Project Number: 18927-0096  
Drawing Scale: NTS  
Date Issued: FEB. 2026  
Index Number:  
Drawn By: CRS  
Checked By: DMH  
Project Manager: DMH

**C000**



**GENERAL DEMOLITION NOTES:**

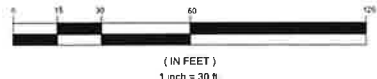
1. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK HAVE BEEN OBTAINED.
2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
3. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL IN NATURE AND DO NOT INCLUDE MISCELLANEOUS ITEMS. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING THE SITE PRIOR TO BIDDING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF EXISTING CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN SHOWN ON THE PLANS.
4. ALL SALVAGEABLE ITEMS MUST BE STORED BY THE CONTRACTOR AND PROTECTED FROM DAMAGE/THEFT OR DELIVERED TO AN AREA APPROVED BY THE OWNER.
5. UNLESS OTHERWISE NOTED, ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
7. CONTRACTOR SHALL AT ALL TIMES PROTECT ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
8. SAW CUT ALL PAVEMENT PRIOR TO EXCAVATION. SAW CUT PAVEMENT FULL DEPTH WHERE PAVEMENT IS TO BE REMOVED AND WHERE IT ABUTS PAVEMENT TO REMAIN. PAVEMENT REMOVAL INCLUDES SUBBASE MATERIALS. SAW CUT CONCRETE PAVEMENT TO THE NEXT NEAREST EXISTING JOINT.
9. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
10. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE THOSE ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
11. DEMOLITION CONTRACTOR SHALL COORDINATE EXISTING FACILITIES UTILITY DISCONNECTS WITH THE OWNER AND THE RESPECTIVE UTILITY PROVIDER A MINIMUM OF 7 DAYS PRIOR TO ANTICIPATED DEMOLITION OF STRUCTURES.
12. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE PENNDOT PUBLICATION 213 "WORK ZONE TRAFFIC CONTROL" (LATEST REVISION) AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE THE LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
13. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
14. EROSION AND SEDIMENT CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO EAS PLAN FOR DETAILS.
15. ASBESTOS OR HAZARD MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
16. ALL DISTURBANCES WITHIN PUBLIC AREAS SHALL BE RESTORED TO THE EXISTING CONDITIONS. ALL STREET AND SIDEWALK DISTURBANCES MUST BE RESTORED PER CURRENT MUNICIPAL SPECIFICATIONS AND REGULATIONS.
17. REMOVE TREES AND SHRUBS IN THEIR ENTIRETY, INCLUDING THE ROOT BALL.
18. UTILITIES MAY NOT BE PUBLICLY OWNED AND MAINTAINED, THEREFORE IT WILL BE NECESSARY FOR THE CONTRACTOR TO LOCATE PRIVATE UTILITIES IN ADVANCE OF ANY EXCAVATIONS.
19. CONTRACTOR SHALL HAVE A SUBSURFACE UTILITY INVESTIGATION PERFORMED IN ADVANCE OF ANY EXCAVATIONS IN AREAS OF WORK.
20. CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN IN ACCORDANCE WITH TREE PROTECTION REQUIREMENTS AND MUST CONSULT WITH AN ARBORIST WHERE NOTED.

**DEMOLITION LEGEND**

	EXISTING FEATURES TO REMAIN
	EXISTING FEATURES TO BE REMOVED
	REMOVE BITUMINOUS PAVEMENT, CONCRETE PAVEMENT, CURBING, AND SUBBASE IN ITS ENTIRETY.
	FEMA 100-YEAR FLOODPLAIN



GRAPHIC SCALE



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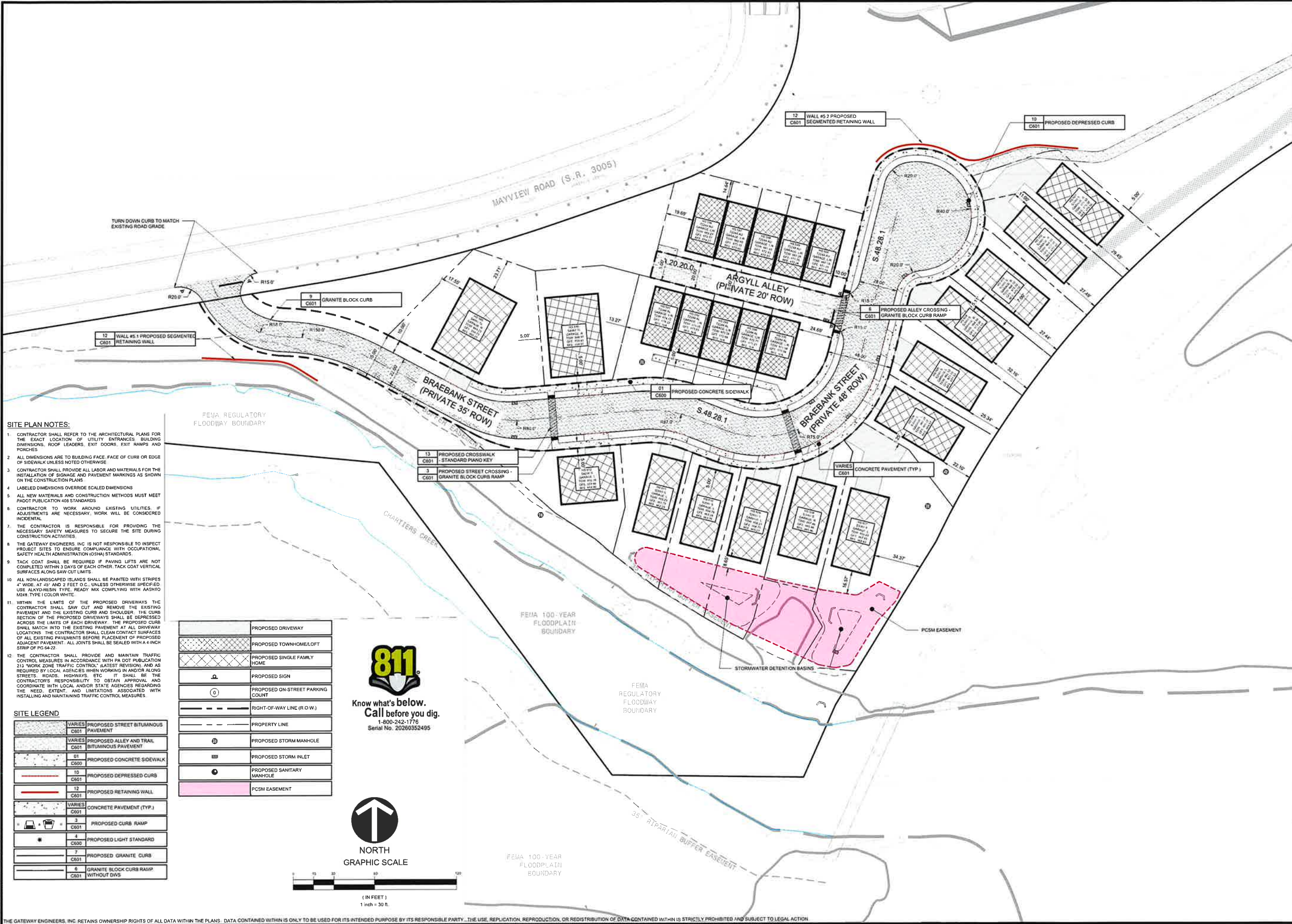
**HASTINGS**  
South Fayette Township/Pittsburgh, PA

**HASTINGS PHASE 5**  
MAYVIEW ROAD  
PITTSBURGH, PA 15102  
PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

SITE PLAN

Project Number: 19927-0096  
Drawing Scale: 1" = 30'  
Date Issued: FEB 2026  
Index Number: -  
Drawn By: CRS  
Checked By: DMH  
Project Manager: DMH

**C100**



**SITE PLAN NOTES:**

- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
- ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- LABELLED DIMENSIONS OVERRIDE SCALED DIMENSIONS.
- ALL NEW MATERIALS AND CONSTRUCTION METHODS MUST MEET PDOT PUBLICATION 408 STANDARDS.
- CONTRACTOR TO WORK AROUND EXISTING UTILITIES. IF ADJUSTMENTS ARE NECESSARY, WORK WILL BE CONSIDERED INCIDENTAL.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE NECESSARY SAFETY MEASURES TO SECURE THE SITE DURING CONSTRUCTION ACTIVITIES.
- THE GATEWAY ENGINEERS, INC IS NOT RESPONSIBLE TO INSPECT PROJECT SITES TO ENSURE COMPLIANCE WITH OCCUPATIONAL SAFETY HEALTH ADMINISTRATION (OSHA) STANDARDS.
- TACK COAT SHALL BE REQUIRED IF PAVING LIFTS ARE NOT COMPLETED WITHIN 3 DAYS OF EACH OTHER. TACK COAT VERTICAL SURFACES ALONG SAW CUT LIMITS.
- ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE AT 45' AND 2 FEET O.C. UNLESS OTHERWISE SPECIFIED. USE ALKYLID-RESIN TYPE, READY MIX COMPLYING WITH AASHTO M248 TYPE I COLOR WHITE.
- WITHIN THE LIMITS OF THE PROPOSED DRIVEWAYS THE CONTRACTOR SHALL SAW CUT AND REMOVE THE EXISTING PAVEMENT AND THE EXISTING CURB AND SHOULDER. THE CURB SECTION OF THE PROPOSED DRIVEWAYS SHALL BE DEPRESSIONED ACROSS THE LIMITS OF EACH DRIVEWAY. THE PROPOSED CURB SHALL MATCH INTO THE EXISTING PAVEMENT AT ALL DRIVEWAY LOCATIONS. THE CONTRACTOR SHALL CLEAN CONTACT SURFACES OF ALL EXISTING PAVEMENTS BEFORE PLACEMENT OF PROPOSED ADJACENT PAVEMENT. ALL JOINTS SHALL BE SEALED WITH A 4-INCH STRIP OF PG 54-22.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PA DOT PUBLICATION 213 "WORK ZONE TRAFFIC CONTROL" (LATEST REVISION) AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.

**SITE LEGEND**

VARIES C601	PROPOSED STREET BITUMINOUS PAVEMENT
VARIES C601	PROPOSED ALLEY AND TRAIL BITUMINOUS PAVEMENT
01 C600	PROPOSED CONCRETE SIDEWALK
10 C601	PROPOSED DEPRESSIONED CURB
12 C601	PROPOSED RETAINING WALL
VARIES C601	CONCRETE PAVEMENT (TYP.)
3 C601	PROPOSED CURB RAMP
4 C600	PROPOSED LIGHT STANDARD
7 C601	PROPOSED GRANITE CURB
6 C601	GRANITE BLOCK CURB RAMP WITHOUT DIVS

[Pattern]	PROPOSED DRIVEWAY
[Pattern]	PROPOSED TOWNHOME/LOFT
[Pattern]	PROPOSED SINGLE FAMILY HOME
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED ON-STREET PARKING COUNT
[Line]	RIGHT-OF-WAY LINE (R.O.W.)
[Line]	PROPERTY LINE
[Symbol]	PROPOSED STORM MANHOLE
[Symbol]	PROPOSED STORM INLET
[Symbol]	PROPOSED SANITARY MANHOLE
[Color]	PCSM EASEMENT

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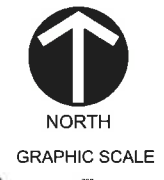
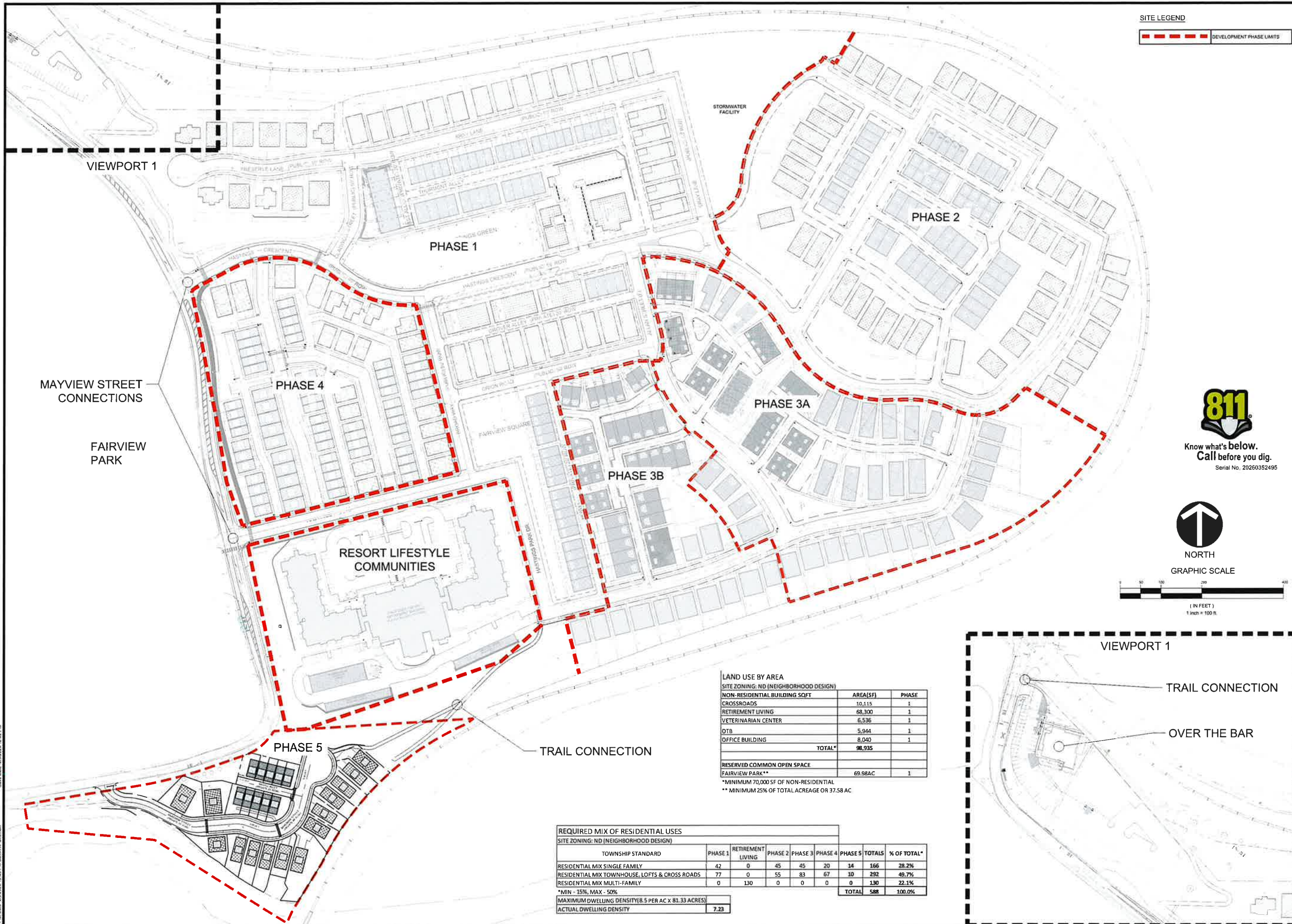
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03/29/2024	02 REVISED PLAN SET
04/09/2024	03 REVISED PLAN SET
05/14/2024	04 REVISED PLAN SET
05/21/2024	05 REVISED PLAN SET
	06
	07
	08

**HASTINGS**  
South Fayette Township/Pittsburgh, PA

**HASTINGS PHASE 5**  
MAYVIEW ROAD, 15102  
PITTSBURGH, PA  
PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

REVISED PRELIMINARY MASTER PLAN  
Project Number: 18927-0096  
Drawing Scale: 1" = 100'  
Date Issued: FEB 2026  
Index Number:  
Drawn By: CDS  
Checked By: DMH  
Project Manager: DMH

SITE LEGEND  
--- DEVELOPMENT PHASE LIMITS



**LAND USE BY AREA**  
SITE ZONING: ND (NEIGHBORHOOD DESIGN)

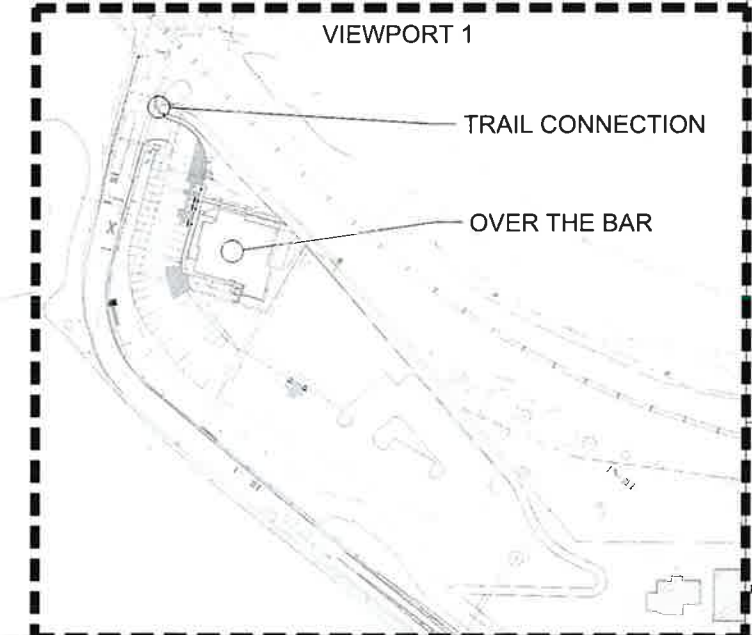
NON-RESIDENTIAL BUILDING SQFT	AREA(SF)	PHASE
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RETIREMENT LIVING	68,300	1
VETERINARIAN CENTER	6,536	1
OTB	5,944	1
OFFICE BUILDING	8,040	1
<b>TOTAL*</b>	<b>98,935</b>	

RESERVED COMMON OPEN SPACE  
FAIRVIEW PARK\*\* 69,98AC 1

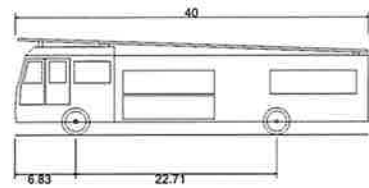
\*MINIMUM 70,000 SF OF NON-RESIDENTIAL  
\*\* MINIMUM 25% OF TOTAL ACREAGE OR 37.58 AC

**REQUIRED MIX OF RESIDENTIAL USES**  
SITE ZONING: ND (NEIGHBORHOOD DESIGN)

TOWNSHIP STANDARD	PHASE 1	RETIREMENT LIVING	PHASE 2	PHASE 3	PHASE 4	PHASE 5	TOTALS	% OF TOTAL*	
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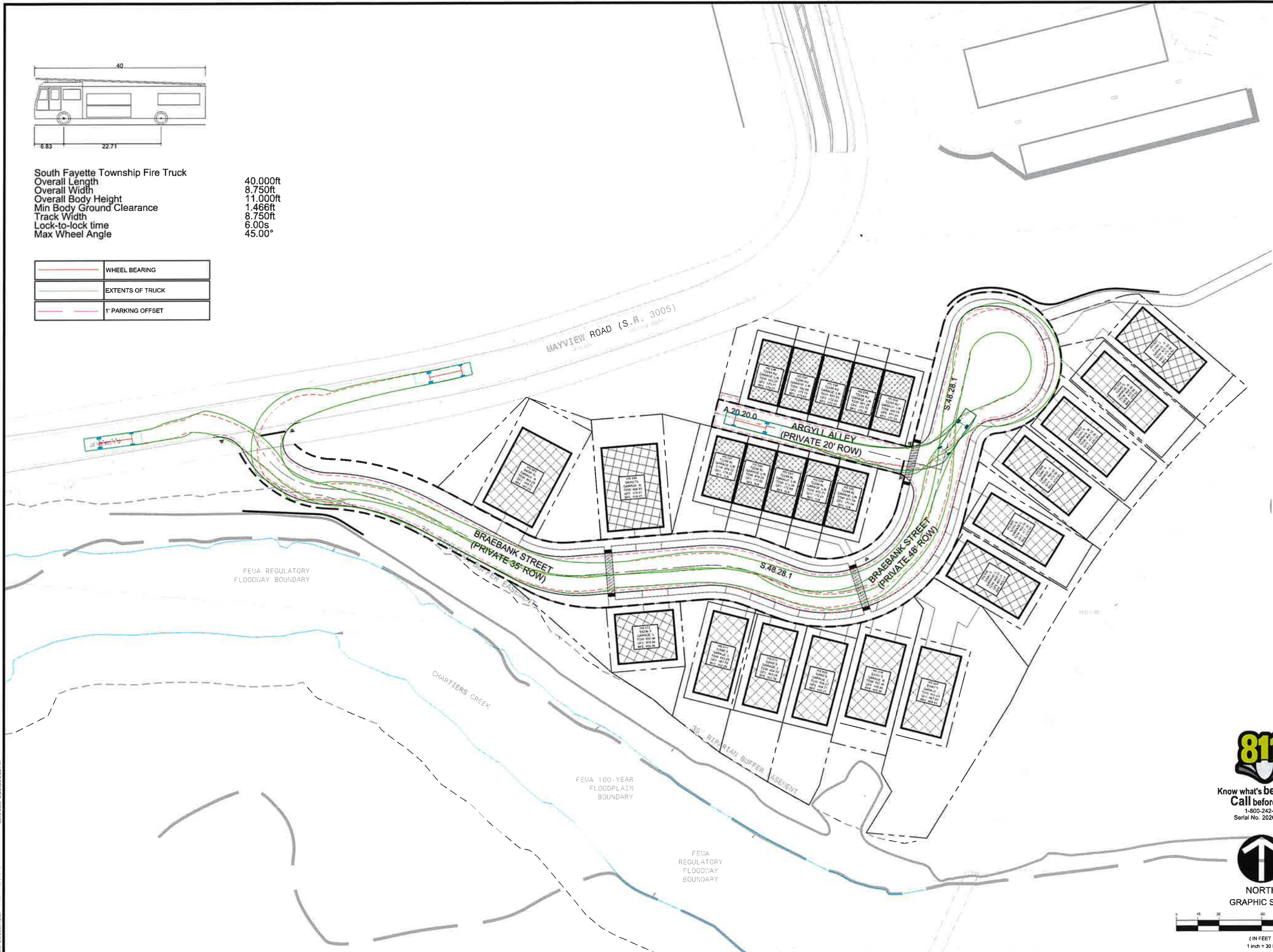


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 Plot Date: 2/26/2026 12:38 PM  
 User: C:\Users\B.Simon



South Fayette Township Fire Truck  
 Overall Length 40.000ft  
 Overall Width 8.750ft  
 Overall Body Height 11.000ft  
 Min Body Ground Clearance 1.466ft  
 Track Width 8.750ft  
 Lock-to-lock time 6.00s  
 Max Wheel Angle 45.00°

	WHEEL BEARING
	EXTENTS OF TRUCK
	1' PARKING OFFSET



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**HASTINGS**  
 South Fayette Township/Pittsburgh, PA

**HASTINGS PHASE 5**  
 MAYVIEW ROAD  
 PITTSBURGH, PA 15102  
 PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA 17603

TRUCK TURNING TEMPLATE  
 Project Number: 18927-0096  
 Drawing Scale: 1" = 30'  
 Date Issued: FEB 2028  
 Index Number:  
 Drawn By: CRS  
 Checked By: DMH  
 Project Manager: DMH



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**NORTH**  
 GRAPHIC SCALE



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 Date: 2/2/2028 12:37 PM  
 Author: R. Seaman

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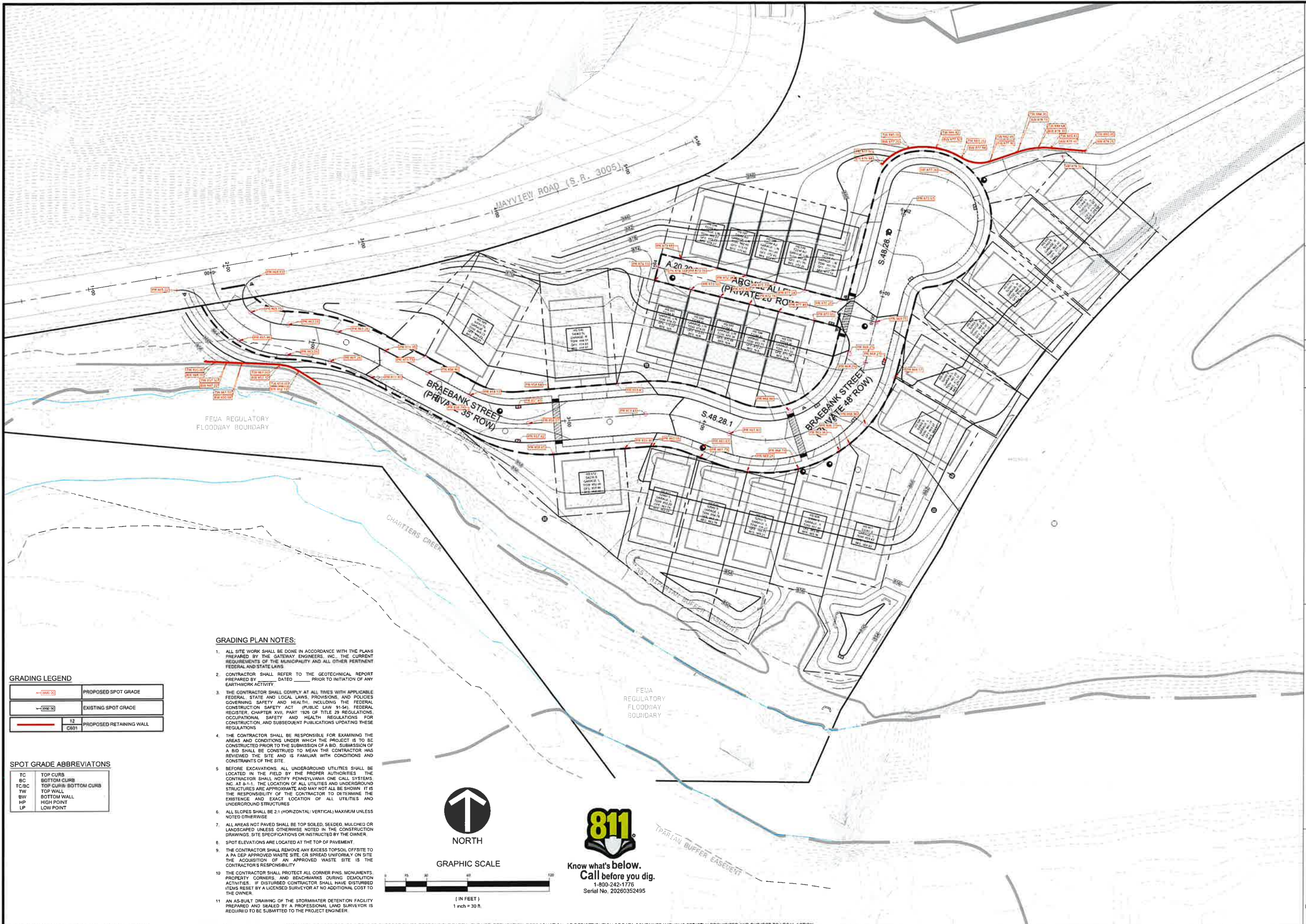
**HASTINGS**  
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MAYVIEW ROAD  
PITTSBURGH, PA 15102  
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**CHARTER HOMES AT HASTINGS, INC**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

**GRADING PLAN**

Project Number: 18927-0096  
Drawing Scale: 1" = 30'  
Date Issued: FEB 2026  
Index Number:  
Drawn By: CRS  
Checked By: DMH  
Project Manager: DMH

**C200**



**GRADING PLAN NOTES:**

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY THE GATEWAY ENGINEERS, INC., THE CURRENT REQUIREMENTS OF THE MUNICIPALITY AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PREPARED BY \_\_\_\_\_ DATED \_\_\_\_\_ PRIOR TO INITIATION OF ANY EARTHWORK ACTIVITY.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATIONS, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEMS, INC. AT 811. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- ALL SLOPES SHALL BE 2:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
- ALL AREAS NOT PAVED SHALL BE TOP SOLED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS. SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
- SPOT ELEVATIONS ARE LOCATED AT THE TOP OF PAVEMENT.
- THE CONTRACTOR SHALL REMOVE ANY EXCESS TOPSOIL OFFSITE TO A PA DEP APPROVED WASTE SITE, OR SPREAD UNIFORMLY ON SITE. THE ACQUISITION OF AN APPROVED WASTE SITE IS THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- AN AS-BUILT DRAWING OF THE STORMWATER DETENTION FACILITY PREPARED AND SEALED BY A PROFESSIONAL LAND SURVEYOR IS REQUIRED TO BE SUBMITTED TO THE PROJECT ENGINEER.

**GRADING LEGEND**

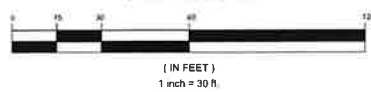
	PROPOSED SPOT GRADE
	EXISTING SPOT GRADE
	PROPOSED RETAINING WALL

**SPOT GRADE ABBREVIATIONS**

TC	TOP CURB
BC	BOTTOM CURB
TC/BC	TOP CURB/ BOTTOM CURB
TW	TOP WALL
BW	BOTTOM WALL
HP	HIGH POINT
LP	LOW POINT



**GRAPHIC SCALE**



**811**  
Know what's below.  
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1-800-242-1776  
Serial No. 20260352495

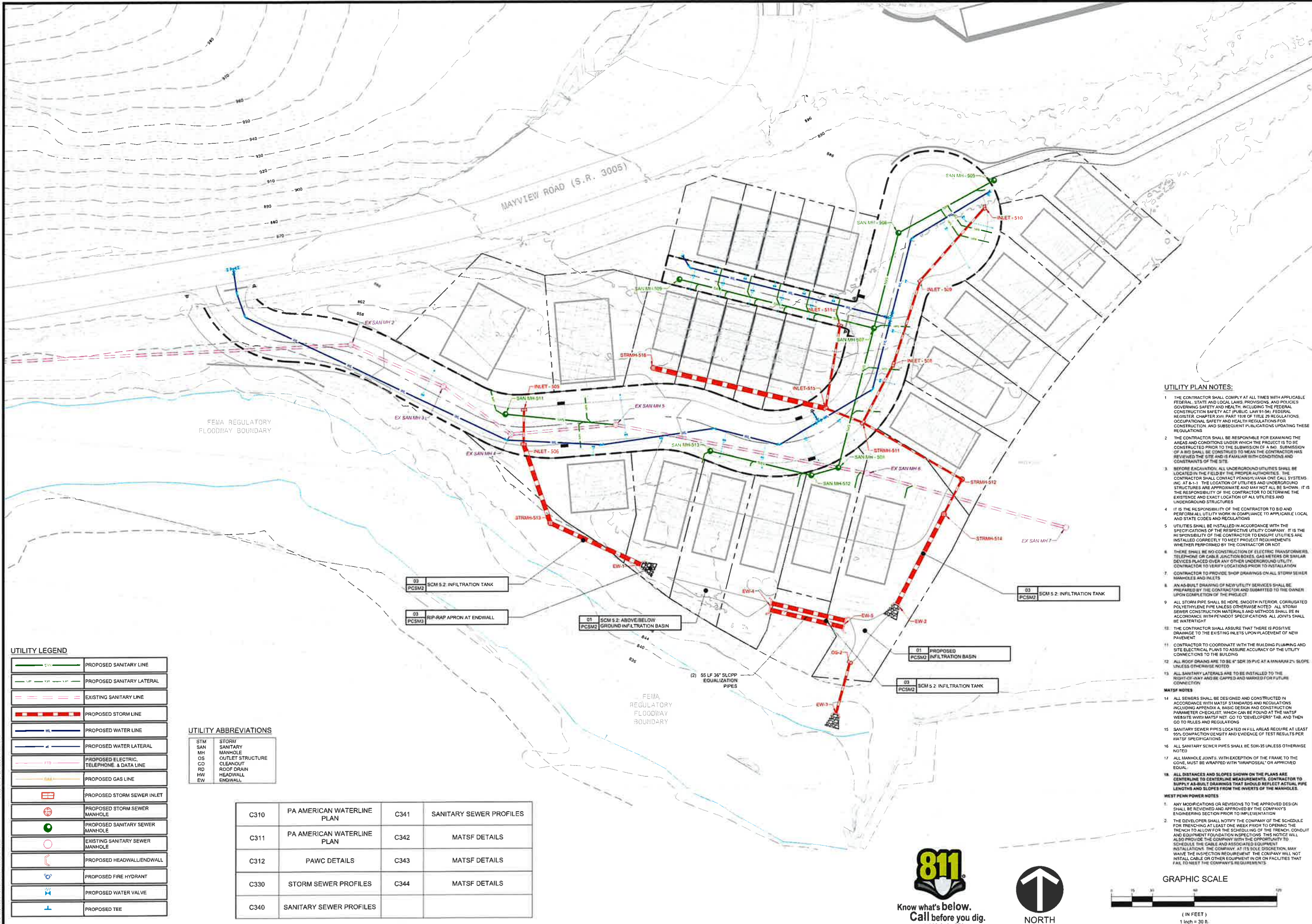
**REVISION RECORD**

No.	Date	By	Check	Reason

**HASTINGS**  
South Fayette Township/Pittsburgh, PA

**HASTINGS PHASE 5**  
PREPARED FOR:  
CHARTER HOMES AT HASTINGS, INC  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

**UTILITY PLAN**  
Project Number: 18927-0096  
Drawing Scale: 1" = 30'  
Date Issued: FEB 2028  
Index Number:  
Drawn By: CRS  
Checked By: DMH  
Project Manager: ###  
**C300**



- UTILITY PLAN NOTES:**
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-594) FEDERAL REGISTER, CHAPTER XVII, PART 1928 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
  - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL CONTACT PENNSYLVANIA ONE CALL SYSTEMS INC. AT 8-1-1. THE LOCATION OF UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
  - UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
  - THERE SHALL BE NO CONSTRUCTION OF ELECTRIC TRANSFORMERS, TELEPHONE OR CABLE JUNCTION BOXES, GAS METERS OR SIMILAR DEVICES PLACED OVER ANY OTHER UNDERGROUND UTILITY. CONTRACTOR TO VERIFY LOCATIONS PRIOR TO INSTALLATION.
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES AND INLETS.
  - AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
  - ALL STORM PIPES SHALL BE HDPE, SMOOTH INTERIOR, CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATERTIGHT.
  - THE CONTRACTOR SHALL ASSURE THAT THERE IS POSITIVE DRAINAGE TO THE EXISTING INLETS UPON PLACEMENT OF NEW PAVEMENT.
  - CONTRACTOR TO COORDINATE WITH THE BUILDING PLUMBER AND SITE ELECTRICAL PLANS TO ASSURE ACCURACY OF THE UTILITY CONNECTIONS TO THE BUILDING.
  - ALL ROOF DRAINS ARE TO BE 4" SDR 35 PVC AT A MINIMUM 2% SLOPE, UNLESS OTHERWISE NOTED.
  - ALL SANITARY LATERALS ARE TO BE INSTALLED TO THE RIGHT-OF-WAY AND BE CAPPED AND MARKED FOR FUTURE CONNECTION.
- MATSF NOTES**
- ALL SEWERS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH MATSF STANDARDS AND REGULATIONS INCLUDING APPENDIX A, BASIC DESIGN AND CONSTRUCTION PARAMETER CHECKLIST WHICH CAN BE FOUND AT THE MATSF WEBSITE WWW.MATSF.NET. GO TO "DEVELOPERS" TAB AND THEN GO TO RULES AND REGULATIONS.
  - SANITARY SEWER PIPES LOCATED IN FILL AREAS REQUIRE AT LEAST 95% COMPACTION DENSITY AND EVIDENCE OF TEST RESULTS PER MATSF SPECIFICATIONS.
  - ALL SANITARY SEWER PIPES SHALL BE SDR-35 UNLESS OTHERWISE NOTED.
  - ALL MANHOLE JOINTS, WITH EXCEPTION OF THE FRAME TO THE CONE, MUST BE WRAPPED WITH "WRAPOSEAL" OR APPROVED EQUAL.
  - ALL DISTANCES AND SLOPES SHOWN ON THE PLANS ARE CENTERLINE TO CENTERLINE MEASUREMENTS. CONTRACTOR TO SUPPLY AS-BUILT DRAWINGS THAT SHOULD REFLECT ACTUAL PIPE LENGTHS AND SLOPES FROM THE INVERTS OF THE MANHOLES.
- WEST PENN POWER NOTES**
- ANY MODIFICATIONS OR REVISIONS TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE COMPANY'S ENGINEERING SECTION PRIOR TO IMPLEMENTATION.
  - THE DEVELOPER SHALL NOTIFY THE COMPANY OF THE SCHEDULE FOR TRENCHING AT LEAST ONE WEEK PRIOR TO OPENING THE TRENCH TO ALLOW FOR THE SCHEDULING OF THE TRENCH, CONDUIT AND EQUIPMENT FOUNDATION INSPECTIONS. THIS NOTICE WILL ALSO PROVIDE THE COMPANY WITH THE OPPORTUNITY TO SCHEDULE THE CABLE AND ASSOCIATED EQUIPMENT INSTALLATION. THE COMPANY, AT ITS SOLE DISCRETION, MAY WAIVE THE INSPECTION REQUIREMENT. THE COMPANY WILL NOT INSTALL CABLE OR OTHER EQUIPMENT IN OR ON FACILITIES THAT FAIL TO MEET THE COMPANY'S REQUIREMENTS.

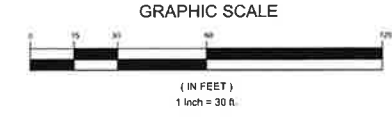
**UTILITY LEGEND**

	PROPOSED SANITARY LINE
	PROPOSED SANITARY LATERAL
	EXISTING SANITARY LINE
	PROPOSED STORM LINE
	PROPOSED WATER LINE
	PROPOSED WATER LATERAL
	PROPOSED ELECTRIC, TELEPHONE, & DATA LINE
	PROPOSED GAS LINE
	PROPOSED STORM SEWER INLET
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED HEADWALL/ENDWALL
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPOSED TEE

**UTILITY ABBREVIATIONS**

STM	STORM
SAN	SANITARY
MH	MANHOLE
OS	OUTLET STRUCTURE
CO	CLEANOUT
RD	ROOF DRAIN
HW	HEADWALL
EW	ENDWALL

C310	PA AMERICAN WATERLINE PLAN	C341	SANITARY SEWER PROFILES
C311	PA AMERICAN WATERLINE PLAN	C342	MATSF DETAILS
C312	PAWC DETAILS	C343	MATSF DETAILS
C330	STORM SEWER PROFILES	C344	MATSF DETAILS
C340	SANITARY SEWER PROFILES		

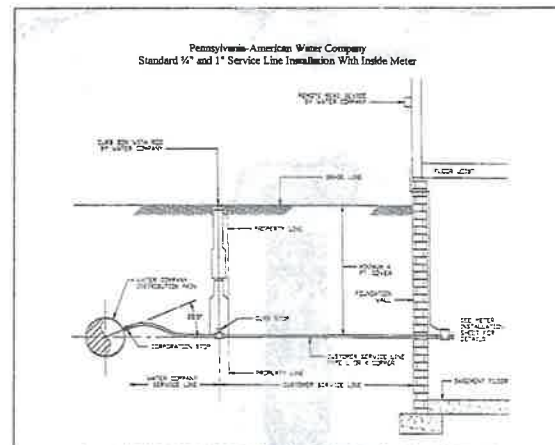
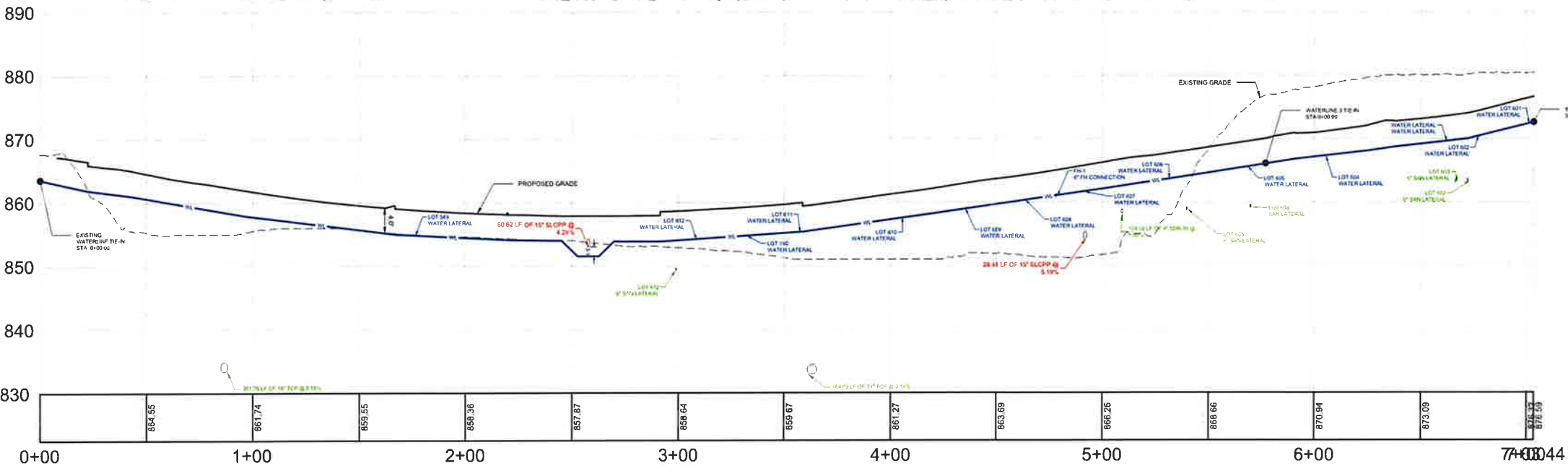




**UTILITY LEGEND**

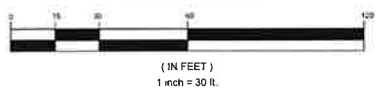
	PROPOSED SANITARY LINE
	PROPOSED SANITARY LATERAL
	PROPOSED STORM LINE
	ROOF-FOUNDATION DRAIN
	PROPOSED WATER LINE
	PROPOSED WATER LATERAL
	PROPOSED WEST PENN ELECTRIC LINES (SIZE VARIES)
	PROPOSED GAS LINE
	PROPOSED EASEMENT
	PROPOSED FIRE HYDRANT
	PROPOSED GAS VALVE
	PROPOSED WATER VALVE
	PROPOSED TEE
	WATER EASEMENT

- PA AMERICAN NOTES:**
- MINIMUM 18" VERTICAL CLEARANCE WITH ALL UTILITIES.
  - MINIMUM 7" HORIZONTAL CLEARANCE WITH ALL UTILITIES. SHARING OF TRENCHES WITH GAS, ELECTRIC, ETC. WILL NOT BE ACCEPTED.
  - MINIMUM 18" HORIZONTAL CLEARANCE WITH UTILITY SERVICE LINES.
  - CURB BOXES TO BE LOCATED AT THE PROPERTY OR EASEMENT LINE. METER PITS TO BE INSTALLED APPROXIMATELY 5 FEET FROM CURB BOX. FINAL LOCATION OF CURB BOXES SHALL BE DETERMINED BY THE PA AMERICAN WATER INSPECTOR AND FIELD ADJUSTED AS NECESSARY DEPENDING ON ACTUAL LOCATION OF OTHER UTILITIES. CURB BOXES AND METER PITS CANNOT BE LOCATED IN DRIVEWAYS.
  - SERVICE LINES TO BE TYPE K COPPER. SINGLE FAMILY HOME SERVICE LINES SHALL BE 2" COPPER LINES AND TOWNHOME AND LOFT SERVICE LINES SHALL BE 1" COPPER LINES BOTH PER PAWC SPECIFICATIONS.
  - CONTRACTOR TO INSTALL TEMPORARY WATERLINE MARKER POSTS PERIODICALLY ALONG MAIN LINE TO ASSIST OTHER UTILITIES TO MEET MINIMUM CLEARANCE REQUIREMENTS.
  - COORDINATE CONNECTIONS TO EXISTING LINES WITH PAWC.
  - LONG SERVICE LINES SHALL BE INSTALLED IN CONDUIT SEALED WITH FERRICONS.
  - IT IS THE RESPONSIBILITY OF THE DEVELOPER TO MAINTAIN ALL STREET VALVE BOXES UNTIL THE FINAL WEARING SURFACE IS IN PLACE. IN ADDITION, THE DEVELOPER MUST RAISE OR LOWER ALL CURB BOXES, VALVE BOXES, HYDRANTS, AND ANY OTHER WATERLINE FACILITIES AFFECTED BY THE DEVELOPMENT AS REQUIRED UPON COMPLETION OF FINAL GRADING AND RESTORATION OF THE PROJECT.
  - THE WATER MAINLINE MAY HAVE LESS THAN 4" OF COVER IN AREAS WHERE IT WOULD OTHERWISE BE EXCESSIVELY DEEP. THE CONTRACTORS MUST CONSULT WITH PAWC IN THESE LOCATIONS PRIOR TO INSTALLATION OF THE WATERLINE.
  - CONTRACTOR TO NOTIFY PA AMERICAN WATER COMPANY FOR TIE-IN TO EXISTING WATERLINE. CONTRACTOR WILL COMPLETE PHYSICAL CONNECTION. VALVE OPERATION AND WATER SERVICE SHUT OFF ON SHALL BE PERFORMED BY PA AMERICAN WATER. TYPICAL OF ALL CONNECTIONS.
  - FIELD LOCK GASKETS REQUIRED FOR ALL WATER CONNECTIONS.
  - ADD TRACER WIRE TO ALL NEW MAINLINE WATERLINES.



- An inside meter will only be installed at properties where the distance from the municipal right-of-way to the building is less than 150 ft. and where the service line enters through the basement wall. If the distance is greater or the service line enters up through the basement floor slab, an outside meter pit is required. Refer to the "Standard 1" and 1" Service Line Installation With Outside Meter Pit" sheet if an outside meter pit is required.
- The Water Company will locate the water main and mark the location where your service line should end. You are responsible for installing and maintaining all service materials after the curb slip except for the meter & meter coverings. Leave three feet of copper extended out of the ground where your service line ends.
- The Water Company will install its service connection and connect your service after your service line is installed. Please notify the Water Company at least two weeks prior to the date that you will require water service.
- Your service line must be 1/2" or 1" type L or K copper and installed as detailed in the sketch above. Flared or compression couplings must be used for all underground connections.
- Your service line cannot be installed in the same trench with any other public utility or within three feet of any excavation or vault.
- A separate service line is required for each evaluated connection.
- Service cannot be provided if the foregoing requirements are not met.

**WATERLINE 2 PROFILE**  
 HORIZONTAL SCALE: 1" = 30'  
 VERTICAL SCALE: 1" = 10'



- PROFILE NOTES:**
- THE LENGTHS (LF) SHOWN ON THIS PLAN ARE CENTERLINE STRUCTURE TO CENTERLINE STRUCTURE AND DO NOT ACCOUNT FOR SLOPES OR DEFINE ACTUAL LENGTHS OF PIPE.
  - DEPTH OF WATERLINE TO BE FIELD DETERMINED BASED ON ACTUAL DEPTHS OF STORM AND SANITARY SEWERS.
  - WATERLINE SHALL HAVE A MINIMUM DEPTH OF 4' AND A MAXIMUM DEPTH OF 9', UNLESS OTHERWISE NOTED.

**PROFILE STRUCTURE ABBREVIATIONS**

STM	STORM
SAN	SANITARY
MH	MANHOLE
OS	OUTLET STRUCTURE
CO	CLEANOUT
HW	HEADWALL
EW	ENDWALL

PLAN VIEW WATERLINE 2

P:\Projects\1800018827\Mayview\0906\Phase 5\DWG\10-2026\Waterline Profiles.dwg  
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 User: J. Bennett



**REVISION RECORD**

No.	Date	Description
01		
02		
03		
04		
05		
06		
07		
08		

**HASTINGS**  
 South Fayette Township/Pittsburgh, PA

**HASTINGS PHASE 5**  
 MAYVIEW ROAD  
 PITTSBURGH, PA 15102  
 PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA 17603

**PA AMERICAN WATERLINE PLAN**  
 Project Number: 18927-0096  
 Drawing Scale: AS NOTED  
 Date Issued: FEB 2026  
 Index Number:  
 Drawn By: CRS  
 Checked By: DMH  
 Project Manager: DMH  
**C310**



**UTILITY LEGEND**

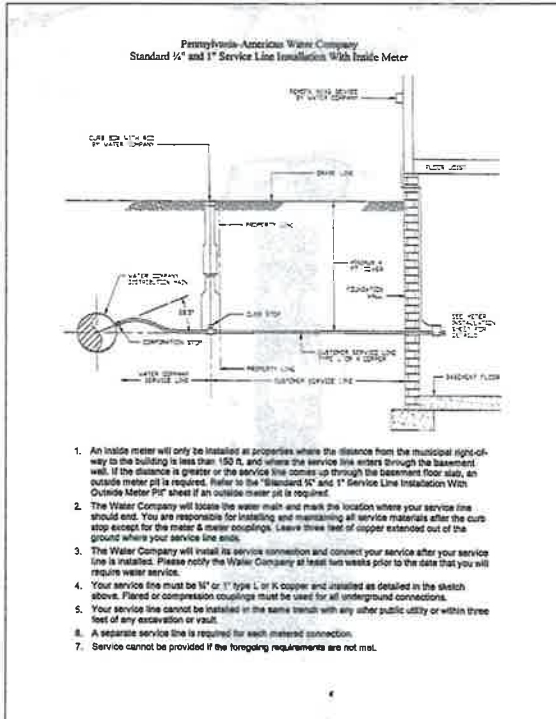
	PROPOSED SANITARY LINE
	PROPOSED SANITARY LATERAL
	PROPOSED STORM LINE
	ROOF-FOUNDATION DRAIN
	PROPOSED WATER LINE
	PROPOSED WATER LATERAL
	PROPOSED WEST PENN ELECTRIC LINES (SIZE VARIES)
	PROPOSED GAS LINE
	PROPOSED EASEMENT
	PROPOSED FIRE HYDRANT
	PROPOSED GAS VALVE
	PROPOSED WATER VALVE
	PROPOSED TEE
	WATER EASEMENT

- PROFILE STRUCTURE ABBREVIATIONS**
- |     |                  |
|-----|------------------|
| STM | STORM            |
| SAN | SANITARY         |
| MH  | MANHOLE          |
| OS  | OUTLET STRUCTURE |
| CO  | CLEANOUT         |
| HW  | HEADWALL         |
| EW  | ENDWALL          |
- PROFILE NOTES:**
- THE LENGTHS (L) SHOWN ON THIS PLAN ARE CENTERLINE STRUCTURE TO CENTERLINE STRUCTURE, AND DO NOT ACCOUNT FOR SLOPES OR DEFINE ACTUAL LENGTHS OF PIPE.
  - DEPTH OF WATERLINE TO BE FIELD DETERMINED BASED ON ACTUAL DEPTHS OF STORM AND SANITARY SERVICES.
  - WATERLINE SHALL HAVE A MINIMUM DEPTH OF 4' AND A MAXIMUM DEPTH OF 5', UNLESS OTHERWISE NOTED.

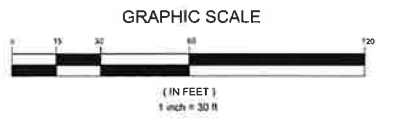


Know what's below.  
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1-800-242-1776  
Serial No. 20260352495

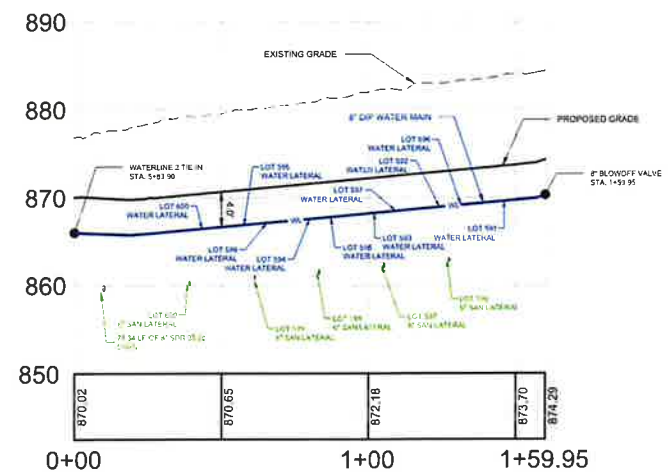
- PA AMERICAN NOTES:**
- MINIMUM 18" VERTICAL CLEARANCE WITH ALL UTILITIES.
  - MINIMUM 3' HORIZONTAL CLEARANCE WITH ALL UTILITIES. SHARING OF TRENCHES WITH GAS, ELECTRIC, ETC. WILL NOT BE ACCEPTED.
  - MINIMUM 18" HORIZONTAL CLEARANCE WITH UTILITY SERVICE LINES.
  - CURB BOXES TO BE LOCATED AT THE PROPERTY OR EASEMENT LINE. METER PITS TO BE INSTALLED APPROXIMATELY 5 FEET FROM CURB BOX. FINAL LOCATION OF CURB BOXES SHALL BE DETERMINED BY THE PA AMERICAN WATER INSPECTOR AND FIELD ADJUSTED AS NECESSARY DEPENDING ON ACTUAL LOCATION OF OTHER UTILITIES. CURB BOXES AND METER PITS CANNOT BE LOCATED IN DRIVEWAYS.
  - SERVICE LINES TO BE TYPE K COPPER. SINGLE FAMILY HOME SERVICE LINES SHALL BE 1" COPPER LINES AND TOWNHOME AND LOFT SERVICE LINES SHALL BE 1" COPPER LINES BOTH PER PAWC SPECIFICATIONS.
  - CONTRACTOR TO INSTALL TEMPORARY WATERLINE MARKER POSTS PERIODICALLY ALONG MAIN LINE TO ASSIST OTHER UTILITIES TO MEET MINIMUM CLEARANCE REQUIREMENTS.
  - COORDINATE CONNECTIONS TO EXISTING LINES WITH PAWC.
  - LONG SERVICE LINES SHALL BE INSTALLED IN CONDUIT SEALED WITH FERNOCOS.
  - IT IS THE RESPONSIBILITY OF THE DEVELOPER TO MAINTAIN ALL STREET VALVE BOXES UNTIL THE FINAL WEARING SURFACE IS IN PLACE. IN ADDITION, THE DEVELOPER MUST RAISE OR LOWER ALL CURB BOXES, VALVE BOXES, HYDRANTS, AND ANY OTHER WATERLINE FACILITIES AFFECTED BY THE DEVELOPMENT AS REQUIRED UPON COMPLETION OF FINAL GRADING AND RESTORATION OF THE PROJECT.
  - THE WATER MAINLINE MAY HAVE LESS THAN 6" OF COVER IN AREAS WHERE IT WOULD OTHERWISE BE EXCESSIVELY DEEP. THE CONTRACTORS MUST CONSULT WITH PAWC IN THESE LOCATIONS PRIOR TO INSTALLATION OF THE WATERLINE.
  - CONTRACTOR TO NOTIFY PA AMERICAN WATER COMPANY FOR THE 4" TO EXISTING WATERLINE. CONTRACTOR WILL COMPLETE PHYSICAL CONNECTION, VALVE OPERATION AND WATER SERVICE SHUT OFF ON SHALL BE PERFORMED BY PA AMERICAN WATER. TYPICAL OF ALL CONNECTIONS.
  - FIELD LOCK GADGETS REQUIRED FOR ALL WATER CONNECTIONS.
  - ADD TRACER WIRE TO ALL NEW MAINLINE WATERLINES.



- An inside meter will only be installed at properties where the distance from the municipal right-of-way to the building is less than 150 ft, and where the service line enters through the basement wall. If the distance is greater or the service line comes up through the basement floor slab, an outside meter pit is required. Refer to the 'Standard 1/2" and 1" Service Line Installation With Outside Meter Pit' sheet if an outside meter pit is required.
- The Water Company will locate the water main and mark the location where your service line should end. You are responsible for installing and maintaining all service materials after the curb stop except for the meter & meter couplings. Leave three feet of copper extended out of the ground where your service line ends.
- The Water Company will install its service connection and connect your service after your service line is installed. Please notify the Water Company at least two weeks prior to the date that you will require water service.
- Your service line must be 1/2" or 1" type L or K copper and installed as detailed in the sketch above. Flared or compression couplings must be used for all underground connections.
- Your service line cannot be installed in the same trench with any other public utility or within three feet of any excavation or vault.
- A separate service line is required for each material connection.
- Service cannot be provided if the foregoing requirements are not met.



HOMESITE	SIZE (IN)	LENGTH (FT)	WATERLINE	STA	ALIGNMENT DIRECTION
588	1	23.3	WATERLINE 2	1+76.47	L
590	1	34.0	WATERLINE 2	3+32.67	L
591	1	15.0	WATERLINE 3	1+46.02	L
592	1	15.0	WATERLINE 3	1+24.02	L
593	1	15.0	WATERLINE 3	1+02.02	L
594	1	15.0	WATERLINE 3	0+80.02	L
595	1	15.0	WATERLINE 3	0+57.69	L
596	1	5.0	WATERLINE 3	1+31.33	R
597	1	5.0	WATERLINE 3	1+09.33	R
598	1	5.0	WATERLINE 3	0+87.33	R
599	1	5.0	WATERLINE 3	0+65.33	R
600	1	5.0	WATERLINE 3	0+43.33	R
601	1	1.9	WATERLINE 2	7+07.60	R
602	1	24.9	WATERLINE 2	6+88.05	R
603	1	36.7	WATERLINE 2	6+68.96	R
604	1	15.2	WATERLINE 2	6+12.16	R
605	1	15.0	WATERLINE 2	5+75.24	R
606	1	14.5	WATERLINE 2	5+37.97	R
607	1	25.0	WATERLINE 2	4+93.71	R
608	1	24.2	WATERLINE 2	4+63.94	R
609	1	19.2	WATERLINE 2	4+37.14	R
610	1	19.0	WATERLINE 2	4+06.70	R
611	1	3.9	WATERLINE 2	3+57.47	R
612	1	7.8	WATERLINE 2	3+08.51	R
FH-1	6	8.4	WATERLINE 2	4+78.29	L



**WATERLINE 3 PROFILE**  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 10'

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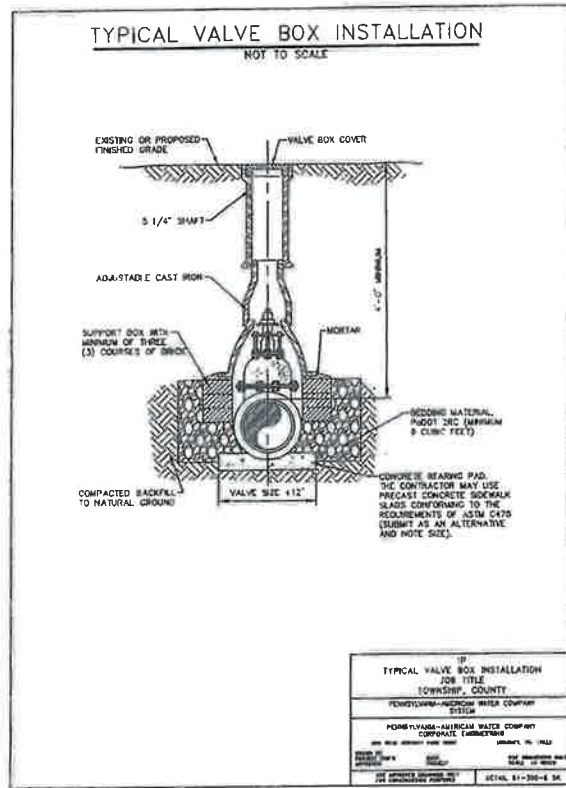
**REVISION RECORD**

No.	Date	Description
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**HASTINGS**  
South Fayette Township/Pittsburgh, PA

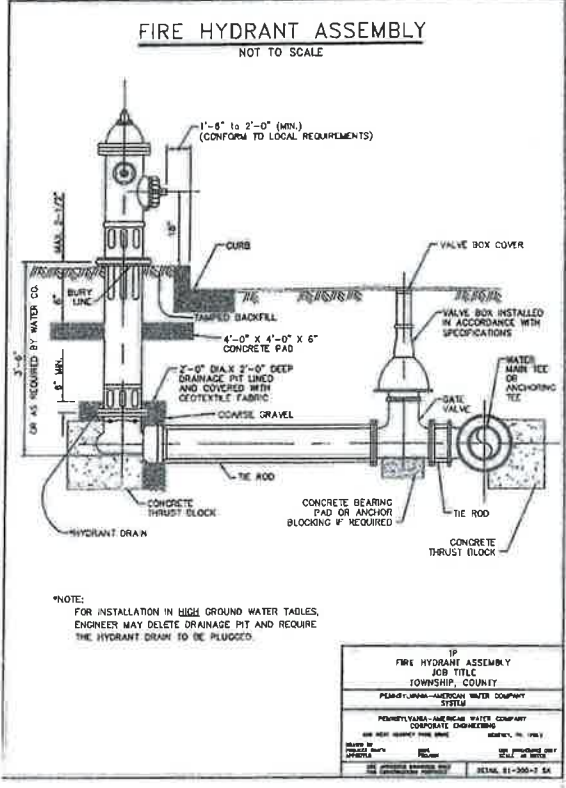
**HASTINGS PHASE 5**  
MAYVIEW ROAD  
PITTSBURGH, PA 15102  
PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

PA AMERICAN WATERLINE PLAN  
Project Number: 19927-0098  
Drawing Scale: AS NOTED  
Date Issued: FEB 2024  
Index Number: -  
Drawn By: CRS  
Checked By: DMH  
Project Manager: DMH  
**C311**



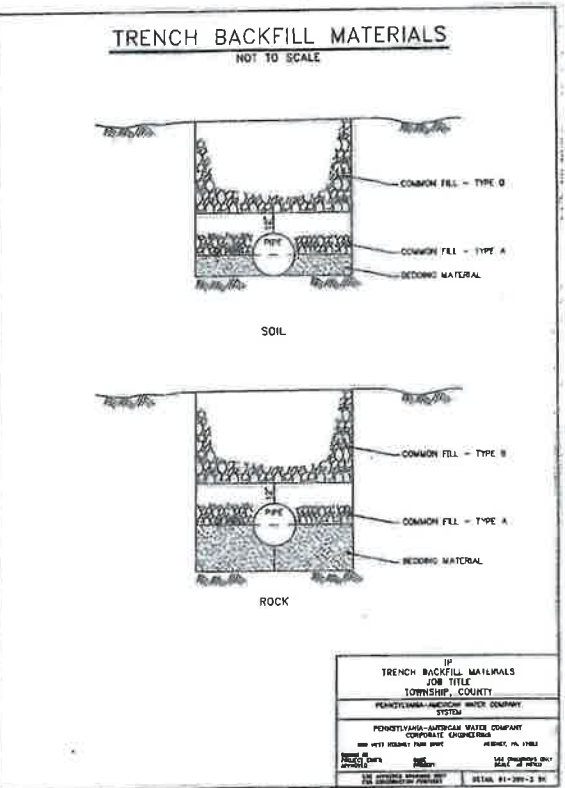
TYPICAL VALVE BOX INSTALLATION	
JOB TITLE	TOWNSHIP, COUNTY
DESIGNED BY	PENNSYLVANIA-WESTERN WATER COMPANY
CHECKED BY	PENNSYLVANIA-WESTERN WATER COMPANY
DATE	01/20/2024
SCALE	DETAIL 61-300-8 3/4

1 TYPICAL VALVE BOX INSTALLATION C606



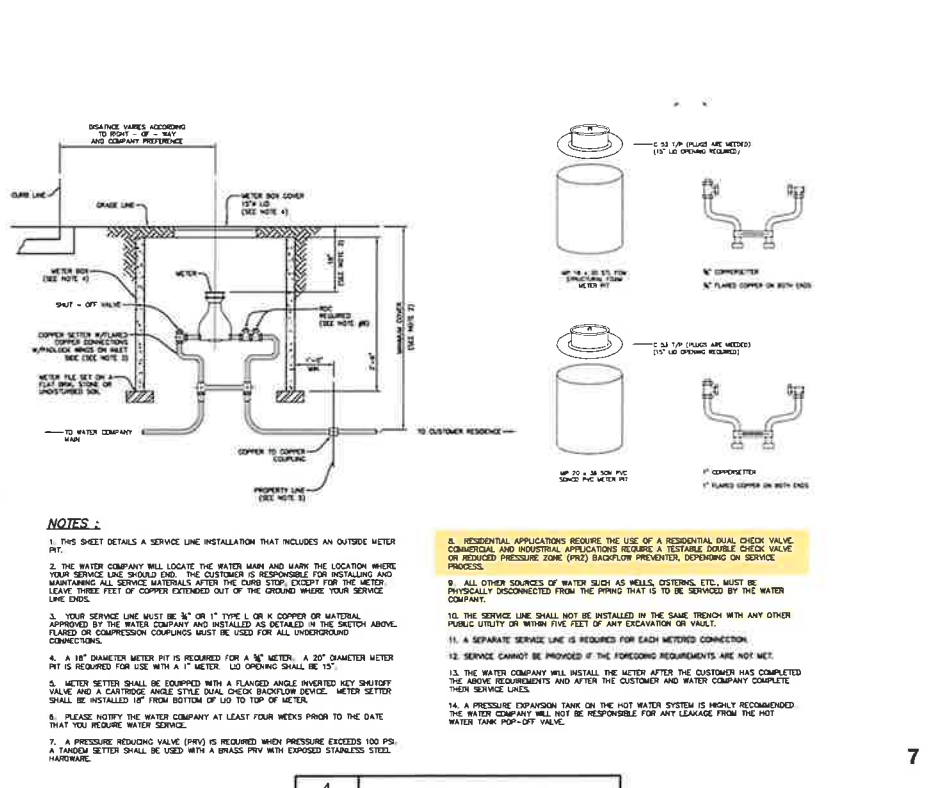
FIRE HYDRANT ASSEMBLY	
JOB TITLE	TOWNSHIP, COUNTY
DESIGNED BY	PENNSYLVANIA-WESTERN WATER COMPANY
CHECKED BY	PENNSYLVANIA-WESTERN WATER COMPANY
DATE	01/20/2024
SCALE	DETAIL 61-300-9 3/4

2 FIRE HYDRANT ASSEMBLY C606



TRENCH BACKFILL MATERIALS	
JOB TITLE	TOWNSHIP, COUNTY
DESIGNED BY	PENNSYLVANIA-WESTERN WATER COMPANY
CHECKED BY	PENNSYLVANIA-WESTERN WATER COMPANY
DATE	01/20/2024
SCALE	DETAIL 61-300-10 3/4

3 TRENCH BACKFILL MATERIALS C606

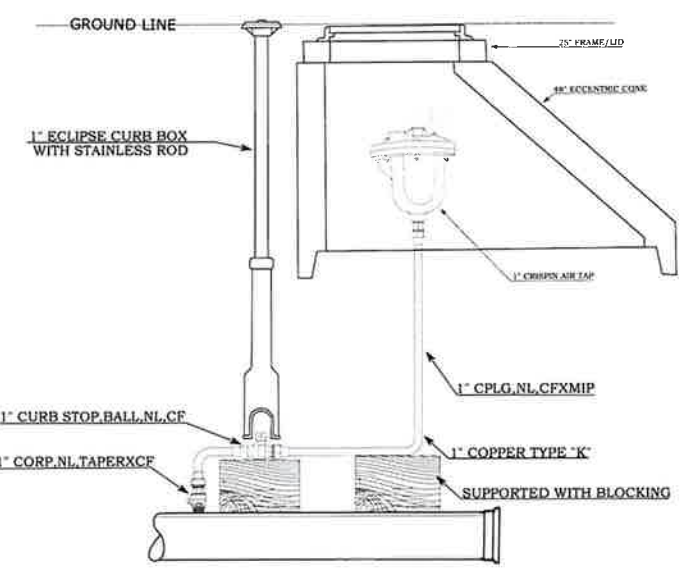


- NOTES:**
- THIS SHEET DETAILS A SERVICE LINE INSTALLATION THAT INCLUDES AN OUTSIDE METER PIT.
  - THE WATER COMPANY WILL LOCATE THE WATER MARK AND MARK THE LOCATION WHERE YOUR SERVICE LINE SHOULD END. THE CUSTOMER IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL SERVICE MATERIALS AFTER THE CURB STOP EXCEPT FOR THE METER LEAVE THREE FEET OF COPPER EXTENDED OUT OF THE GROUND WHERE YOUR SERVICE LINE ENDS.
  - YOUR SERVICE LINE MUST BE 3/4\"/>

- RESIDENTIAL APPLICATIONS REQUIRE THE USE OF A RESIDENTIAL DUAL CHECK VALVE CONDITIONAL AND INDUSTRIAL APPLICATIONS REQUIRE A TESTABLE DOUBLE CHECK VALVE OR REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTER, DEPENDING ON SERVICE PROCESS.
- ALL OTHER SOURCES OF WATER SUCH AS WELLS, CISTERNS, ETC., MUST BE PHYSICALLY DISCONNECTED FROM THE PIPING THAT IS TO BE SERVED BY THE WATER COMPANY.
- THE SERVICE LINE SHALL NOT BE INSTALLED IN THE SAME TRENCH WITH ANY OTHER PUBLIC UTILITY OR WITHIN FIVE FEET OF ANY EXCAVATION OR VAULT.
- A SEPARATE SERVICE LINE IS REQUIRED FOR EACH METERED CONNECTION.
- SERVICE CANNOT BE PROVIDED IF THE FOREGOING REQUIREMENTS ARE NOT MET.
- THE WATER COMPANY WILL INSTALL THE METER AFTER THE CUSTOMER HAS COMPLETED THE ABOVE REQUIREMENTS AND AFTER THE CUSTOMER AND WATER COMPANY COMPLETE THEIR SERVICE LINES.
- A PRESSURE EXPANSION TANK ON THE HOT WATER SYSTEM IS HIGHLY RECOMMENDED. THE WATER COMPANY WILL NOT BE RESPONSIBLE FOR ANY LEAKAGE FROM THE HOT WATER TANK POP-OFF VALVE.

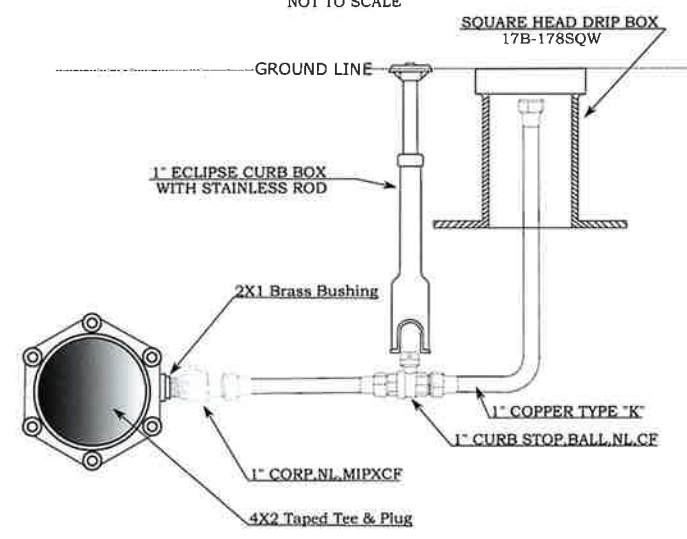
4 METER BOX INSTALLATION C606

TYPICAL 1" AIR RELEASE DETAIL NOT TO SCALE

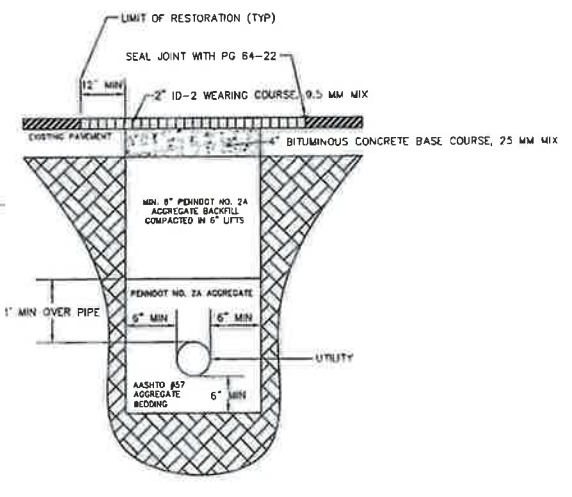


5 TYPICAL AIR RELEASE DETAIL C606

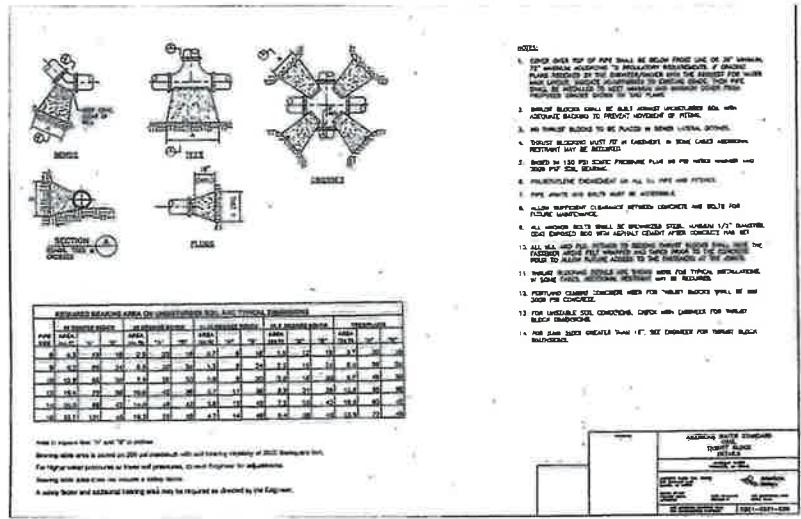
TYPICAL 1" BLOW-OFF DETAIL NOT TO SCALE



6 TYPICAL BLOW OFF DETAIL C606

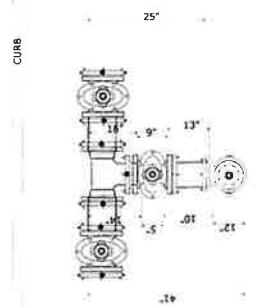


7 LATERAL TRENCH RESTORATION C606



8 THRUST BLOCKING DETAIL C606

MINIMUM DISTANCE HYDRANT



9 MINIMUM DISTANCE HYDRANT C606

DETAIL 61-300-9

DETAIL 61-300-8A  
DETAIL 61-300-8

REVISION RECORD	
DATE	DESCRIPTION
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REVISION RECORD

No.	Date	Description
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**HASTINGS**  
South Fayette Township/Pittsburgh, PA

**HASTINGS PHASE 5**  
MAYVIEW ROAD  
PITTSBURGH, PA 15102  
PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

STORM PROFILES

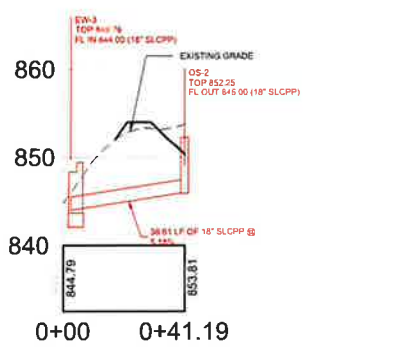
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Drawing Scale: Various/Scale  
Date Issued: FEB 2026  
Index Number: -  
Drawn By: CRS  
Checked By: DMH  
Project Manager: DMH

**C330**

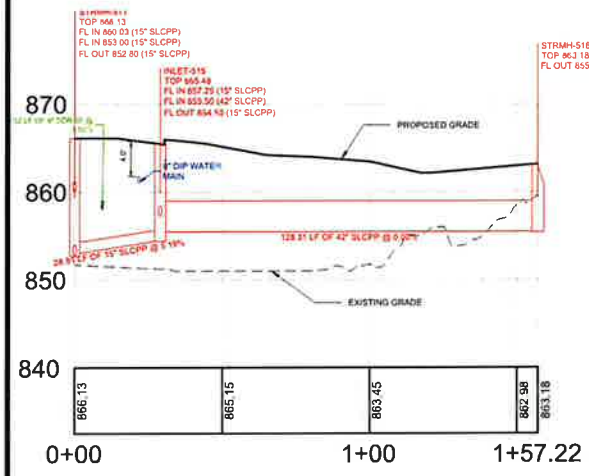
UTILITY LEGEND

	PROPOSED SANITARY LINE
	PROPOSED SANITARY LATERAL
	PROPOSED STORM LINE
	PROPOSED WATER LINE
	PROPOSED WATER LATERAL
	PROPOSED ELECTRIC, TELEPHONE & DATA LINE
	PROPOSED GAS LINE
	PROPOSED STORM SEWER INLET MANHOLE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED HEADWALL/ENDWALL
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPOSED TEE

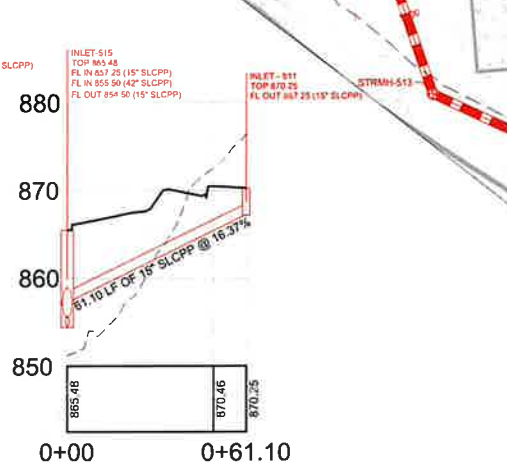
- UTILITY PLAN NOTES:
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  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
  - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL CONTACT PENNSYLVANIA ONE CALL SYSTEMS, INC. AT 8-1-1. THE LOCATION OF UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
  - UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
  - THERE SHALL BE NO CONSTRUCTION OF ELECTRIC TRANSFORMERS, TELEPHONE OR CABLE JUNCTION BOXES, GAS METERS OR SIMILAR DEVICES PLACED OVER ANY OTHER UNDERGROUND UTILITY. CONTRACTOR TO VERIFY LOCATIONS PRIOR TO INSTALLATION.
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES AND INLETS.
  - AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
  - ALL STORM PIPES SHALL BE HDPE SMOOTH INTERIOR, CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATER TIGHT.
  - THE CONTRACTOR SHALL ASSURE THAT THERE IS POSITIVE DRAINAGE TO THE EXISTING INLETS UPON PLACEMENT OF NEW PAVEMENT.
  - CONTRACTOR TO COORDINATE WITH THE BUILDING PLUMBING AND SITE ELECTRICAL PLANS TO ASSURE ACCURACY OF THE UTILITY CONNECTIONS TO THE BUILDING.
  - ALL ROOF DRAINS ARE TO BE 8" SDR 35 PVC AT A MINIMUM 2% SLOPE UNLESS OTHERWISE NOTED.
  - ALL SANITARY LATERALS ARE TO BE INSTALLED TO THE RIGHT-OF-WAY AND BE CAPPED AND MARKED FOR FUTURE CONNECTION.
- MATSF NOTES
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  - SANITARY SEWER PIPES LOCATED IN FILL AREAS REQUIRE AT LEAST 95% COMPACTION DENSITY AND EVIDENCE OF TEST RESULTS PER MATSF SPECIFICATIONS.
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  - ALL MANHOLE JOINTS, WITH EXCEPTION OF THE FRAME TO THE CONE, MUST BE WRAPPED WITH "WRAPDISEAL" OR APPROVED EQUAL.
  - ALL DISTANCES AND SLOPES SHOWN ON THE PLANS ARE CENTERLINE TO CENTERLINE MEASUREMENTS. CONTRACTOR TO SUPPLY AS-BUILT DRAWINGS THAT SHOULD REFLECT ACTUAL PIPE LENGTHS AND SLOPES FROM THE INVERTS OF THE MANHOLES.



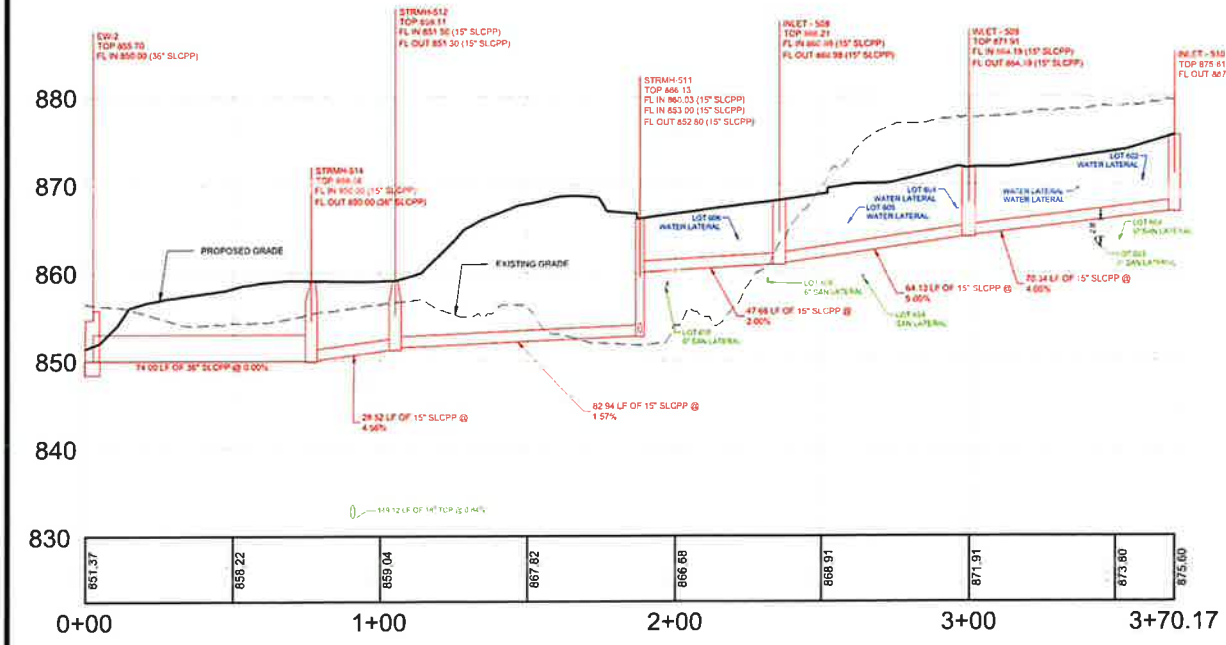
OS-2 TO EW-3 PROFILE  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 10'



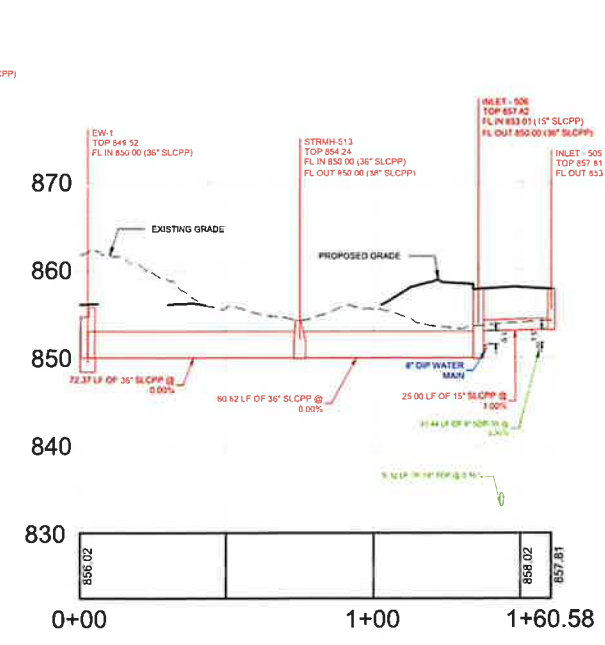
STRMH-516 TO STRMH-511 PROFILE  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 10'



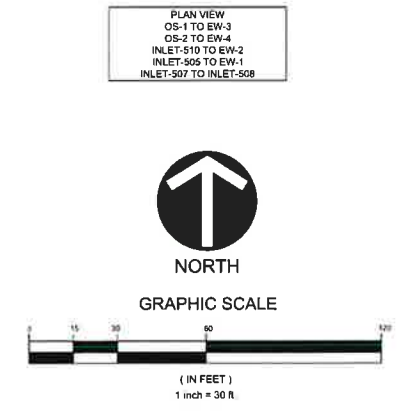
STRMH-515 TO INLET-511 PROFILE  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 10'



INLET-510 TO EW-2 PROFILE  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 10'



INLET-505 TO EW-1 PROFILE  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 10'



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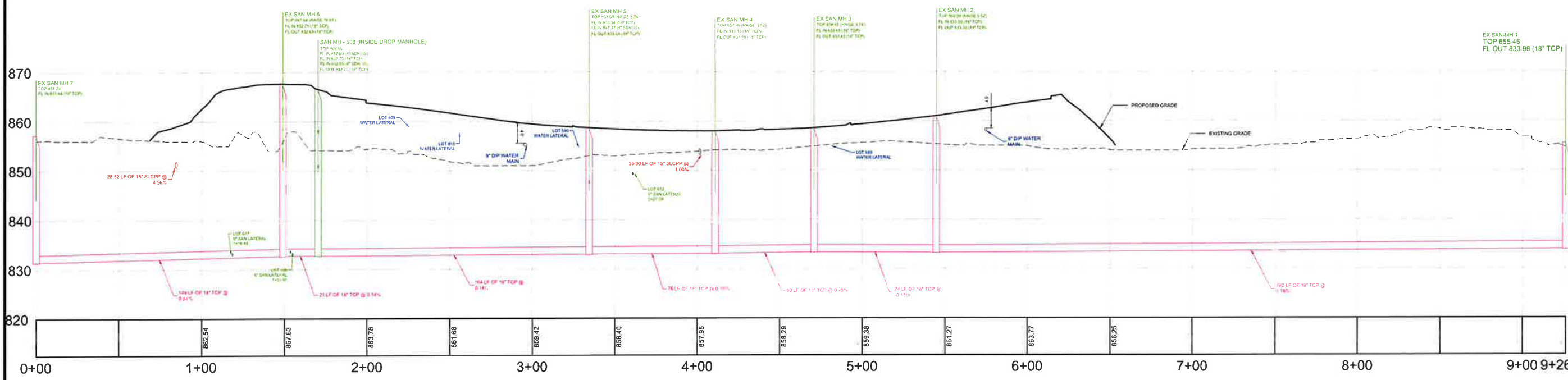
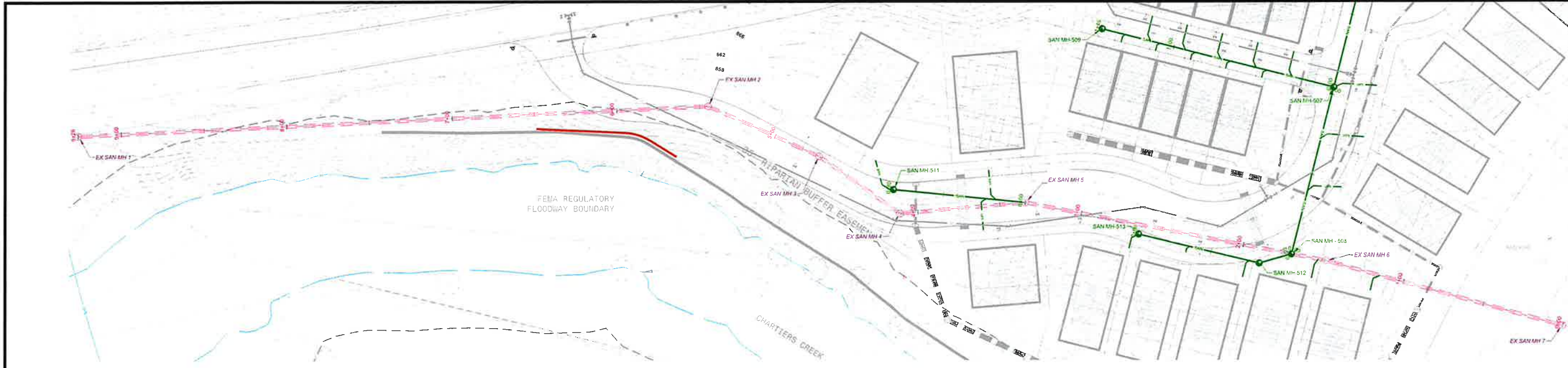
REVISION RECORD

No.	Date	Description
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**HASTINGS**  
South Fayette Township/Pittsburgh, PA

**HASTINGS PHASE 5**  
MAYVIEW ROAD  
PITTSBURGH, PA 15102  
PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

SANITARY PROFILES  
Project Number: 18927-0096  
Drawing Scale: AS NOTED  
Date Issued: FEB 2026  
Index Number: -  
Drawn By: CRS  
Checked By: DMH  
Project Manager: DMH  
**C340**



**EXISTING SAN RUN PROFILE**  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 10'

**UTILITY LEGEND**

	PROPOSED SANITARY LINE		PROPOSED STORM SEWER INLET
	PROPOSED SANITARY LATERAL		PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM LINE		PROPOSED SANITARY SEWER MANHOLE
	PROPOSED WATER LINE		PROPOSED HEADWALL/ENDWALL
	PROPOSED WATER LATERAL		PROPOSED FIRE HYDRANT
	PROPOSED ELECTRIC, TELEPHONE, & DATA LINE		PROPOSED WATER VALVE
	PROPOSED GAS LINE		PROPOSED TEE
	EXISTING SANITARY LINE		EXISTING SANITARY SEWER MANHOLE

**UTILITY PLAN NOTES:**

- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVI, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
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- ALL SANITARY LATERALS ARE TO BE INSTALLED TO THE RIGHT-OF-WAY AND BE CARPED AND MARKED FOR FUTURE CONNECTION.

**MATSF NOTES**

- ALL SEWERS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH MATSF STANDARDS AND REGULATIONS, INCLUDING APPENDIX A, BASIC DESIGN AND CONSTRUCTION PARAMETER CHECKLIST, WHICH CAN BE FOUND AT THE MATSF WEBSITE WWW.MATSF.NET. GO TO "DEVELOPERS" TAB AND THEN GO TO RULES AND REGULATIONS.
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- ALL MANHOLE JOINTS WITH EXCEPTION OF THE FRAME TO THE CONE, MUST BE WRAPPED WITH "WRAPSEAL" OR APPROVED EQUAL.
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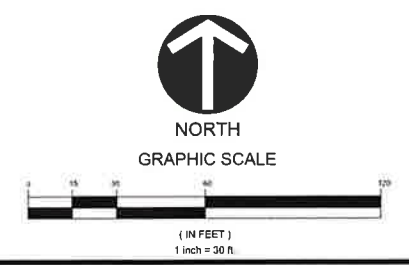
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607	1+14	EX SAN MH 7
608	0+03	EX SAN MH 6

**PROFILE NOTES:**

- THE LENGTHS (LF) SHOWN ON THIS PLAN ARE CENTERLINE STRUCTURE TO CENTERLINE STRUCTURE AND DO NOT ACCOUNT FOR SLOPES OR DEFINE ACTUAL LENGTHS OF PIPE.

**PROFILE STRUCTURE ABBREVIATIONS**

STM	STORM
SAN	SANITARY
MH	MANHOLE
OS	OUTLET STRUCTURE
CO	CLEANOUT
HW	HEADWALL
EW	ENDWALL



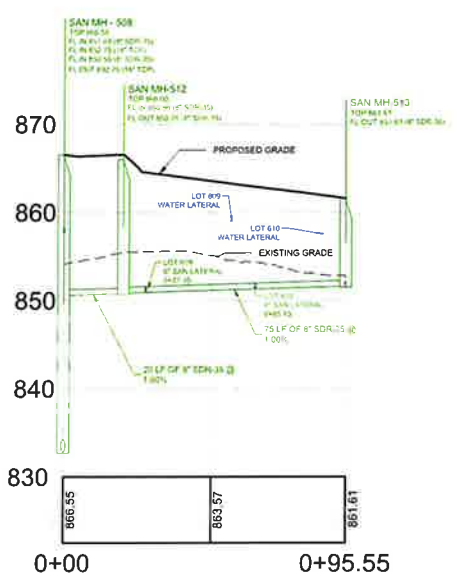
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**HASTINGS**  
South Fayette Township/Pittsburgh, PA

**HASTINGS PHASE 5**  
MAYVIEW ROAD  
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PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
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LANCASTER, PA 17603

SANITARY PROFILES  
Project Number: 18927-0096  
Drawing Scale: AS NOTED  
Date Issued: FEB 2026  
Index Number:  
Drawn By: CRS  
Checked By: DMH  
Project Manager: DMH  
**C341**



**SAN MH-512 TO SAN MH-508 PROFILE**  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 10'

**UTILITY LEGEND**

	PROPOSED SANITARY LINE
	PROPOSED SANITARY LATERAL
	PROPOSED STORM LINE
	PROPOSED WATER LINE
	PROPOSED WATER LATERAL
	PROPOSED ELECTRIC, TELEPHONE, & DATA LINE
	PROPOSED GAS LINE
	PROPOSED STORM SEWER INLET
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED HEADWALL/ENDWALL
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPOSED TEE
	EXISTING SANITARY LINE
	EXISTING SANITARY SEWER MANHOLE

**PROFILE NOTES:**  
1. THE LENGTHS (LF) SHOWN ON THIS PLAN ARE CENTERLINE STRUCTURE TO CENTERLINE STRUCTURE AND DO NOT ACCOUNT FOR SLOPES OR DEFINE ACTUAL LENGTHS OF PIPE.

**PROFILE STRUCTURE ABBREVIATIONS**

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SAN	SANITARY
MH	MANHOLE
OS	OUTLET STRUCTURE
CO	CLEANOUT
HW	HEADWALL
EW	ENDWALL

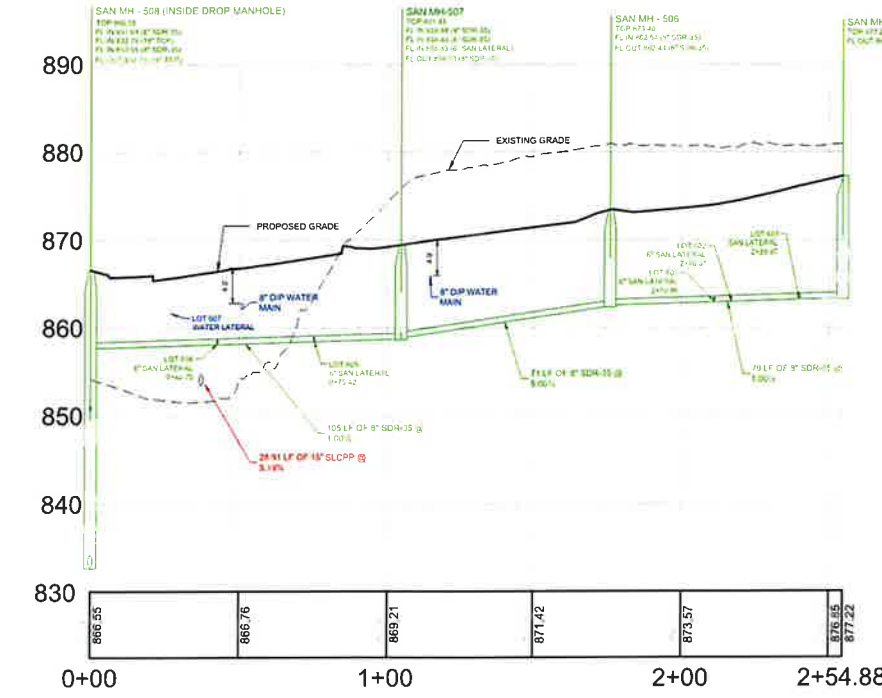
**HOMESITE**

STA FROM DS MH	DS MH
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590	0+97
591	0+00
592	1+22
593	1+00
594	0+78
595	0+50
596	1+13
597	0+91
598	0+69
599	0+47
600	0+24
601	0+00
602	0+40
603	0+35
604	0+00
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606	0+38
609	0+04
610	0+41
611	0+00
612	0+22

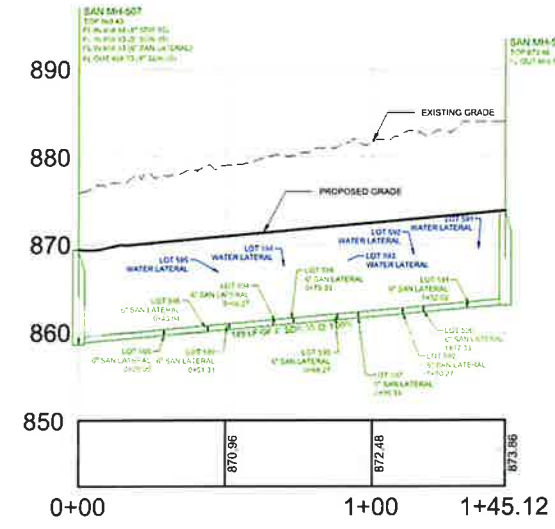


**PLAN VIEW**  
SAN MH-512 TO SAN MH-508  
SAN MH-508 TO SAN MH-505  
SAN MH-509 TO SAN MH-507  
SAN MH-511 TO EX SAN MH

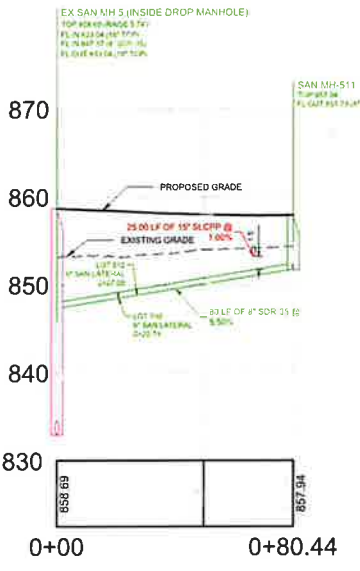
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**SAN MH-508 TO SAN MH-505 PROFILE**  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 10'



**SAN MH-509 TO SAN MH-507 PROFILE**  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 10'

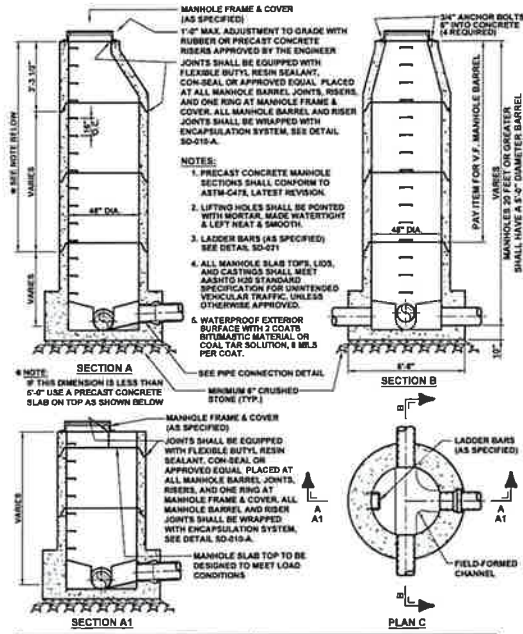


**SAN MH-511 TO EX SAN MH PROFILE**  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 10'

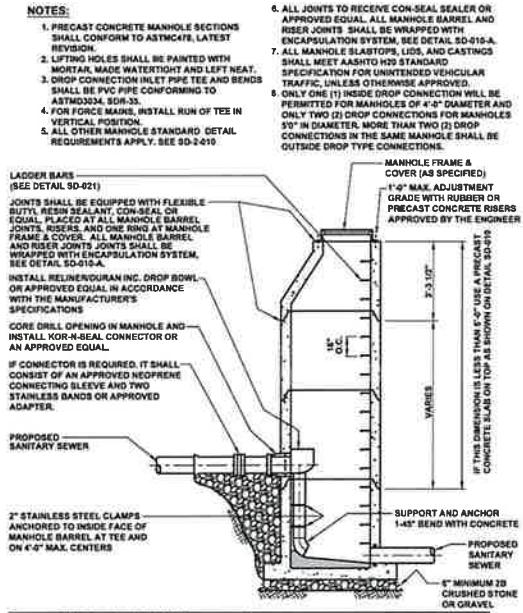
**811**  
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Serial No. 20260352495

**NORTH**  
GRAPHIC SCALE  
1" = 30.0'

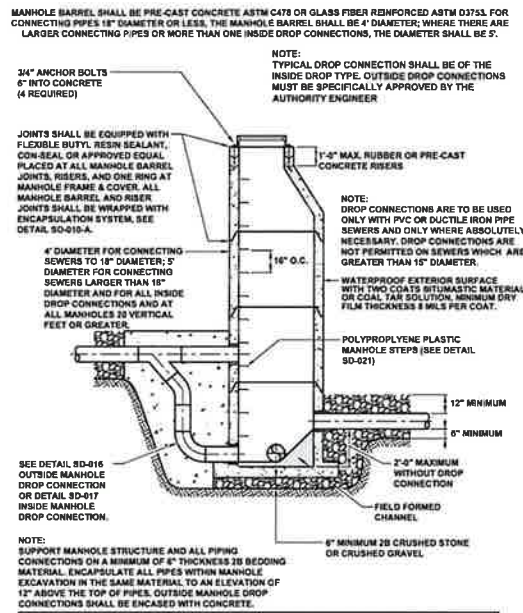
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THE GATEWAY ENGINEERS, INC. RETAINS OWNERSHIP RIGHTS OF ALL DATA WITHIN THE PLANS. DATA CONTAINED WITHIN IS ONLY TO BE USED FOR ITS INTENDED PURPOSE BY ITS RESPONSIBLE PARTY. THE USE, REPLICATION, REPRODUCTION, OR REDISTRIBUTION OF DATA CONTAINED WITHIN IS STRICTLY PROHIBITED AND SUBJECT TO LEGAL ACTION.



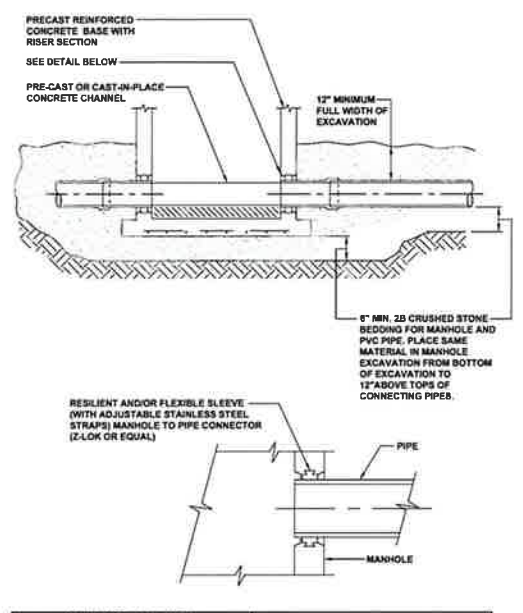
Municipal Authority Of The Township Of South Fayette  
900 Presto Sygan Road  
Bridgeville, Pa 15017  
Not to scale January 2022  
PRECAST CONCRETE MANHOLE FOR SEWERS 9" TO 18"  
Standard Detail SD-010



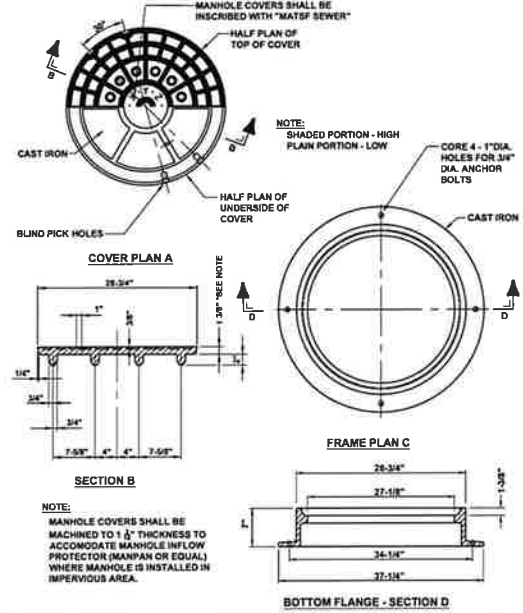
Municipal Authority Of The Township Of South Fayette  
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Bridgeville, Pa 15017  
Not to scale January 2022  
INSIDE MANHOLE BOWL DROP CONNECTION  
Standard Detail SD-017



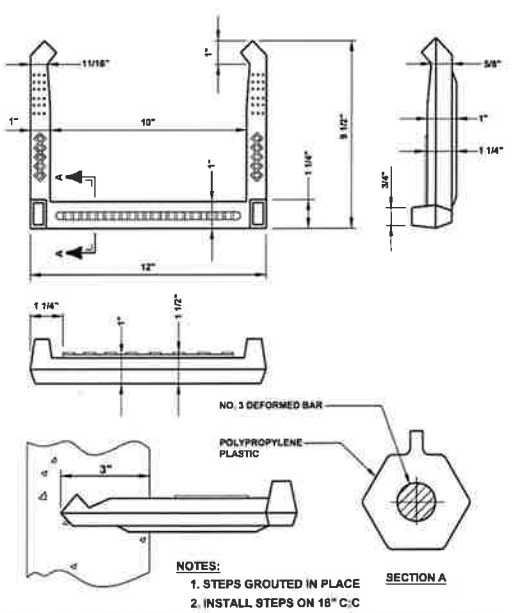
Municipal Authority Of The Township Of South Fayette  
900 Presto Sygan Road  
Bridgeville, Pa 15017  
Not to scale May 2022  
MANHOLE FOR SEWERS FOR DEPTHS GREATER THAN 5 FEET  
Standard Detail SD-013



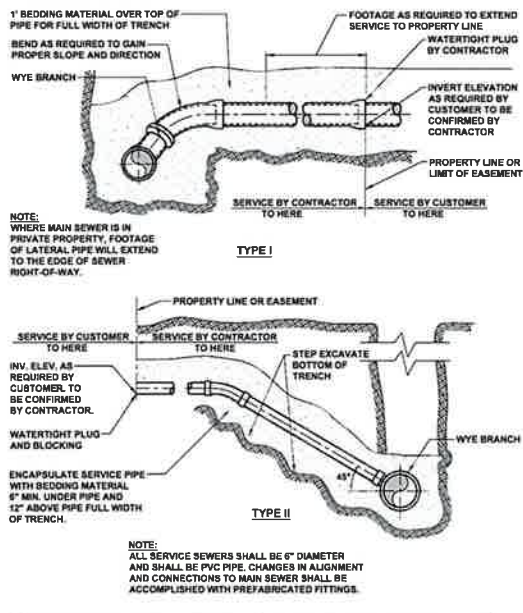
Municipal Authority Of The Township Of South Fayette  
900 Presto Sygan Road  
Bridgeville, Pa 15017  
Not to scale January 2022  
PRECAST MANHOLE BASE DETAIL  
Standard Detail SD-012



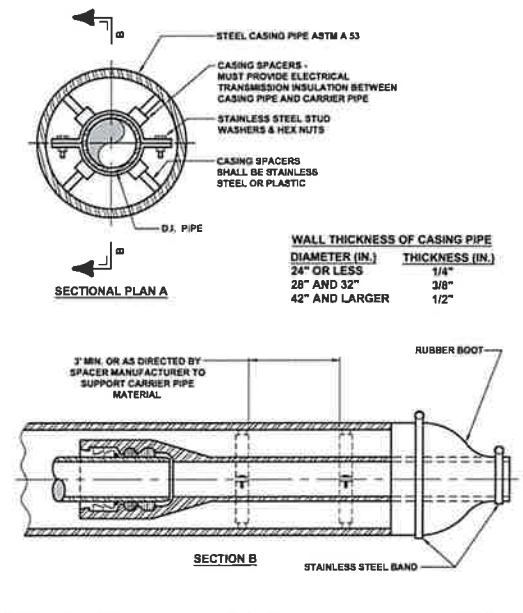
Municipal Authority Of The Township Of South Fayette  
900 Presto Sygan Road  
Bridgeville, Pa 15017  
Not to scale January 2022  
STANDARD CAST IRON MANHOLE FRAME AND COVER  
Standard Detail SD-018



Municipal Authority Of The Township Of South Fayette  
900 Presto Sygan Road  
Bridgeville, Pa 15017  
Not to scale January 2022  
POLYPROPYLENE PLASTIC MANHOLE STEP  
Standard Detail SD-021



Municipal Authority Of The Township Of South Fayette  
900 Presto Sygan Road  
Bridgeville, Pa 15017  
Not to scale January 2022  
TYPICAL SERVICE LATERAL CONNECTIONS  
Standard Detail SD-023



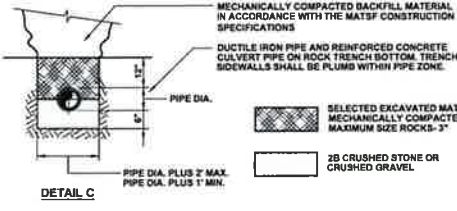
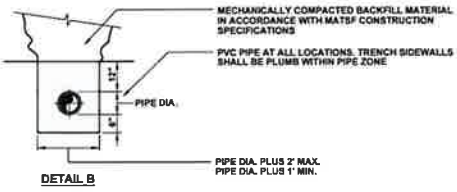
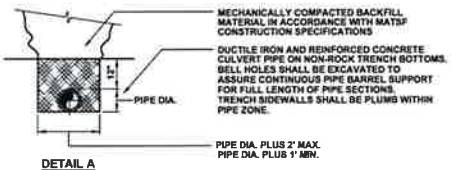
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900 Presto Sygan Road  
Bridgeville, Pa 15017  
Not to scale January 2022  
STEEL CASING AND D.I. OR PVC CARRIER PIPES INSTALLED BY BORING  
Standard Detail SD-008

REVISION RECORD	Date	By	Desc
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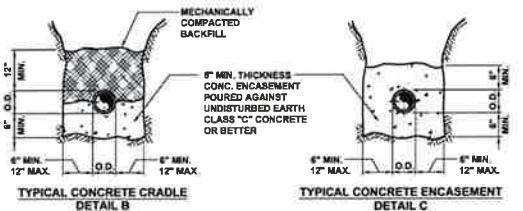
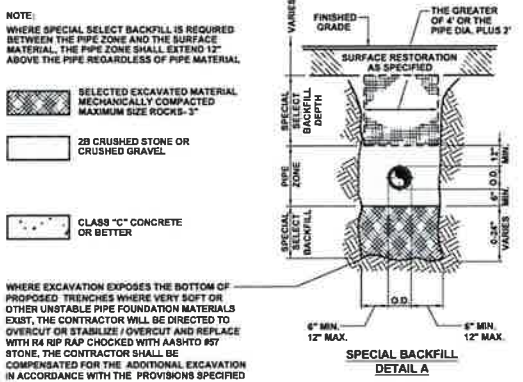
**HASTINGS**  
South Fayette Township/Pittsburgh, PA

**HASTINGS PHASE 5**  
MAYVIEW ROAD  
PITTSBURGH, PA 15102  
PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

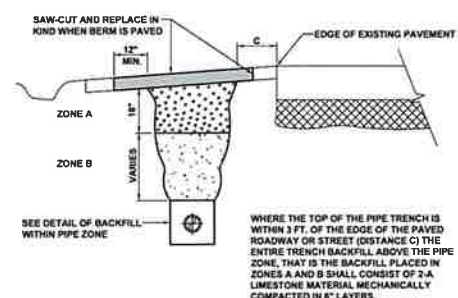
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DETAILS  
Project Number: 18927-0096  
Drawing Scale: N.T.S.  
Date Issued: FEB 2026  
Index Number:  
Drawn By: CRS  
Checked By: DMH  
Project Manager: DMH  
**C342**



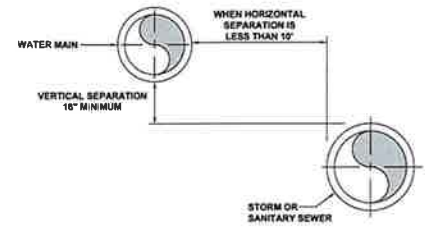
Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	TRENCH PIPE ZONE DETAILS
Not to scale	January 2022
Standard Detail SD-001	



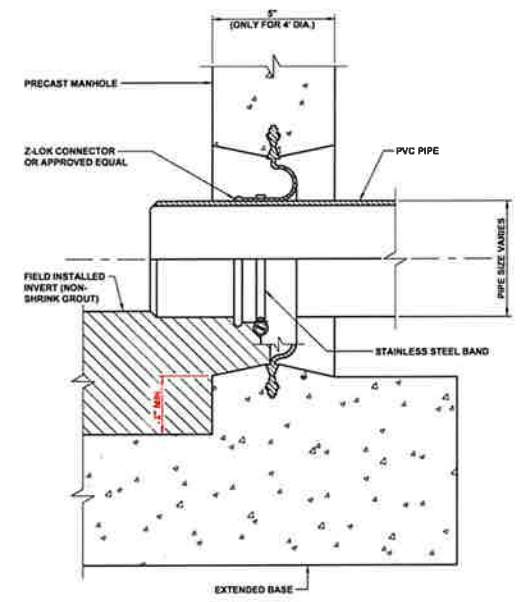
Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	PIPE BEDDING DETAILS
Not to scale	January 2022
Standard Detail SD-002	



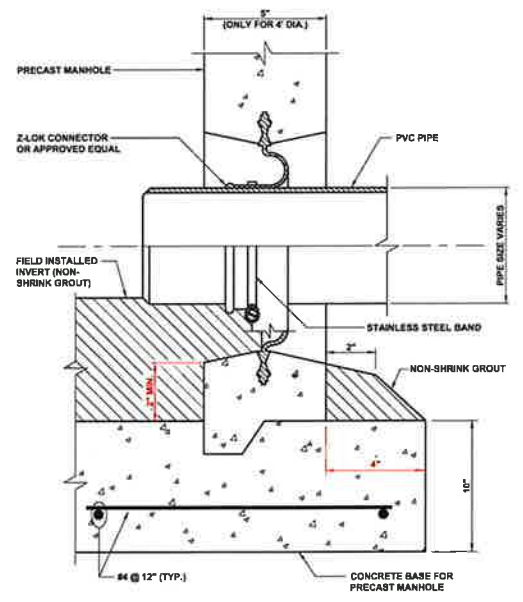
Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	TRENCH BACKFILL WITHIN ROADWAY OR STREET BERMS
Not to scale	January 2022
Standard Detail SD-004	



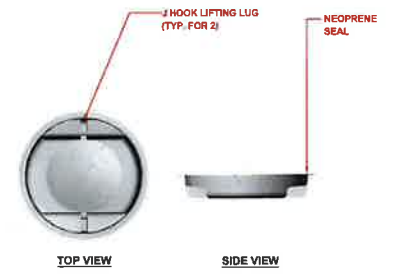
Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	DESIRED DISTANCES BETWEEN WATER AND SEWER PIPES
Not to scale	January 2022
Standard Detail SD-006	



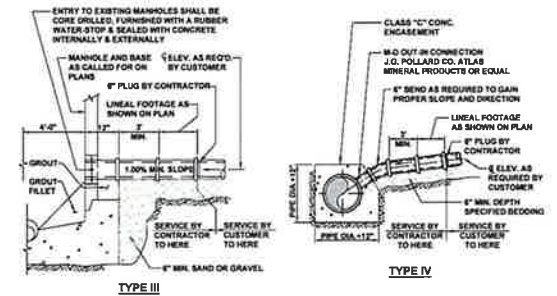
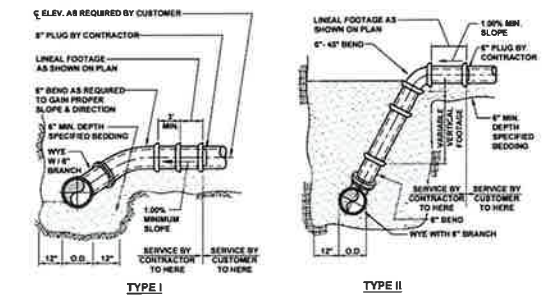
Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	MANHOLE CONNECTION FOR PVC PIPE (PRE-CAST BASE)
Not to scale	January 2022
Standard Detail SD-014	



Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	MANHOLE CONNECTION FOR PVC PIPE (CAST-IN-PLACE BASE)
Not to scale	January 2022
Standard Detail SD-015	



Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	MANHOLE INFLOW PROTECTOR
Not to scale	January 2022
Standard Detail SD-020	



Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	SERVICE CONNECTIONS
Not to scale	January 2022
Standard Detail SD-024	

REVISION RECORD	Date	By	Reason
01			
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**HASTINGS**  
South Fayette Township/Pittsburgh, PA

**HASTINGS PHASE 5**  
MAYVIEW ROAD  
PITTSBURGH, PA 15102  
PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

MATSF DETAILS  
Project Number: 19927-0096  
Drawing Scale: N.T.S.  
Date Issued: FEB 2026  
Index Number: -  
Drawn By: CRS  
Checked By: DMH  
Project Manager: DMH  
**C343**

REVISION RECORD

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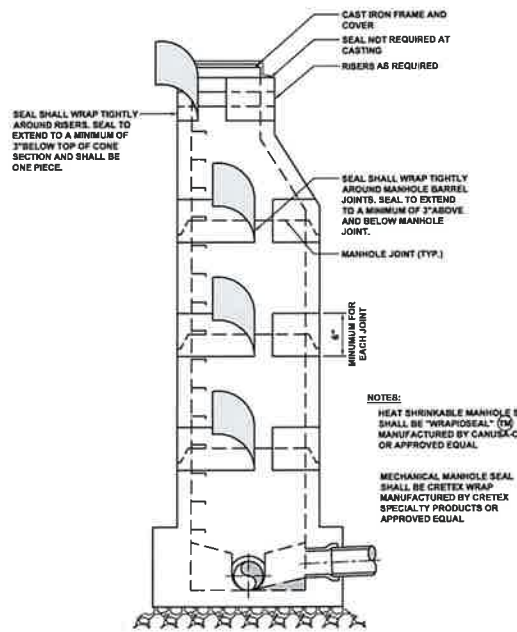
**HASTINGS**  
South Fayette Township/Pittsburgh, PA

**HASTINGS PHASE 5**  
HAYVIEW ROAD  
PITTSBURGH, PA 15102  
PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

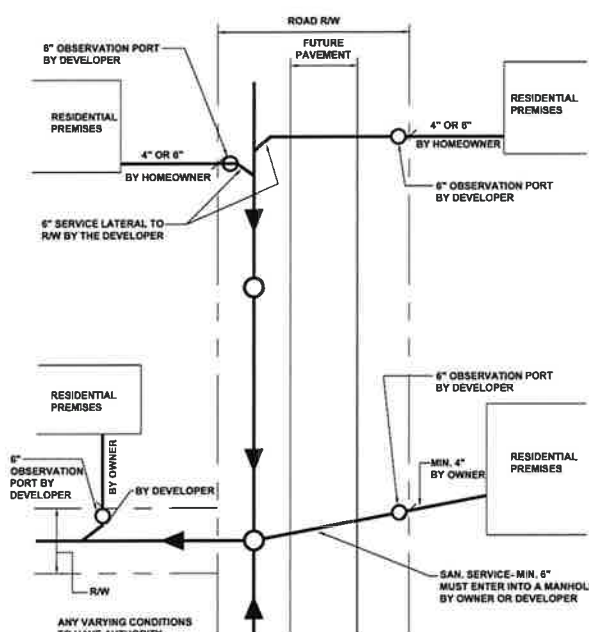
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DETAILS

Project Number: 18927-0096  
Drawing Scale: N.T.S.  
Date Issued: FEB 2026  
Index Number:  
Drawn By: CRS  
Checked By: DMH  
Project Manager: DMH

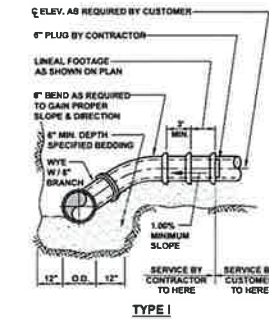
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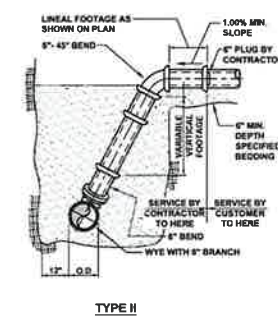
Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	MANHOLE JOINT ENCAPSULATION SYSTEM
Not to scale	January 2022
	Standard Detail SD-010-A



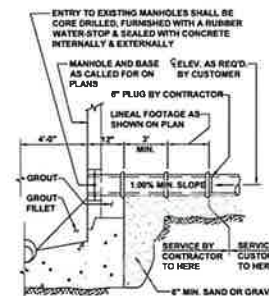
Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	SERVICE LINE CONNECTIONS
Not to scale	January 2022
	Standard Detail SD-022



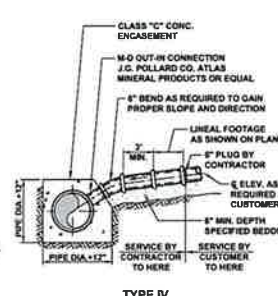
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TYPE II

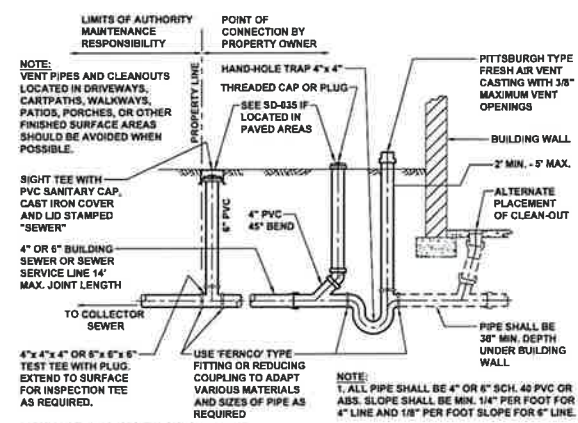


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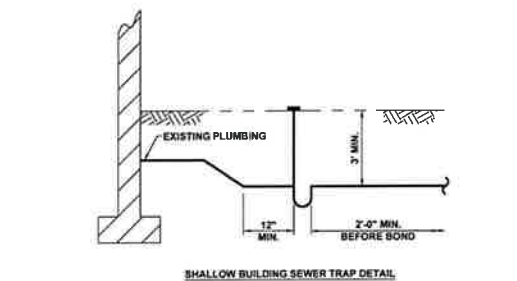


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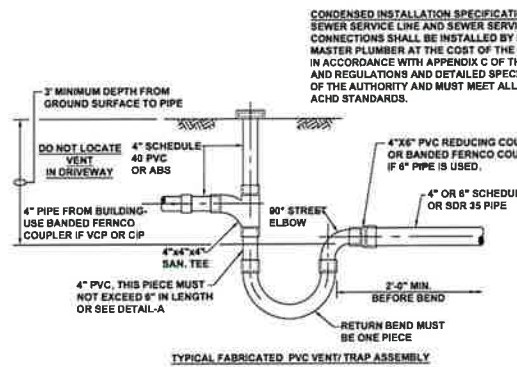
Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	SERVICE CONNECTIONS
Not to scale	January 2022
	Standard Detail SD-024



Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	SERVICE CONNECTION TO SANITARY SEWER FROM A NEW INSTALLATION
Not to scale	January 2022
	Standard Detail SD-025

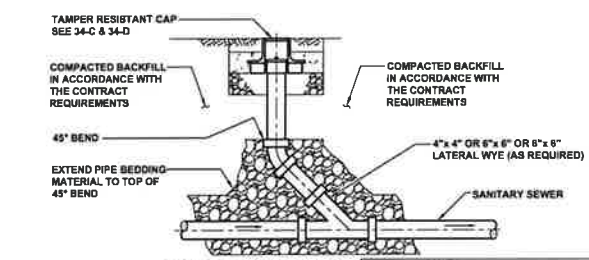


SHALLOW BUILDING SEWER TRAP DETAIL

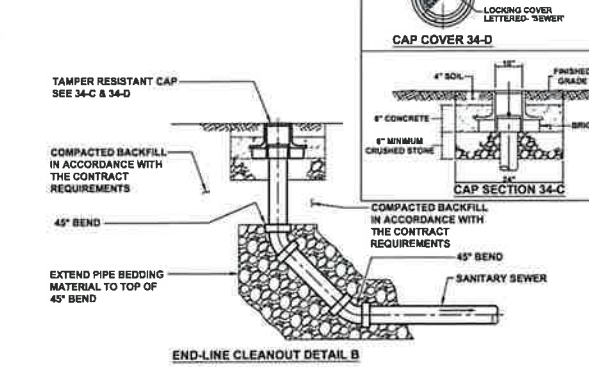


TYPICAL FABRICATED PVC VENT/ TRAP ASSEMBLY

Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	BUILDING SEWER TRAP DETAILS
Not to scale	January 2022
	Standard Detail SD-026

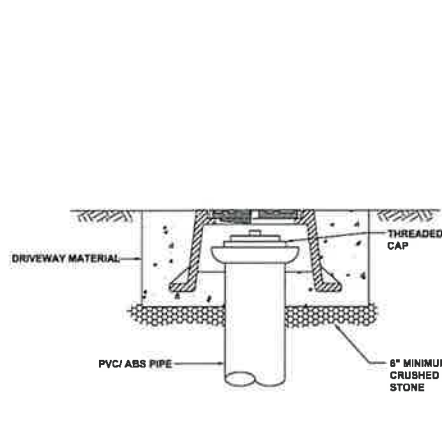


IN-LINE CLEANOUT DETAIL A



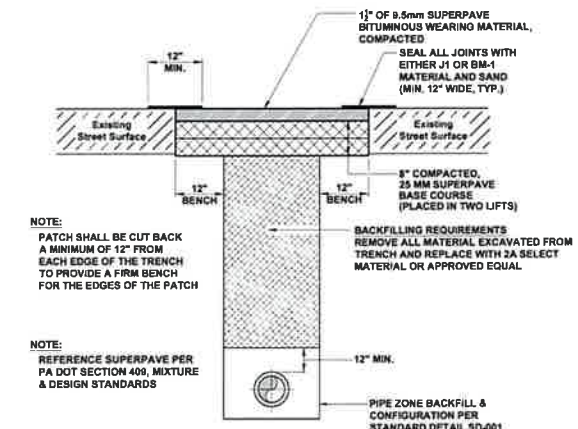
END-LINE CLEANOUT DETAIL B

Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	MAIN LINE, IN-LINE, AND END LINE CLEANOUT FOR 6\"/>
Not to scale	January 2022
	Standard Detail SD-034



NOTE:  
FRAME & COVER SHALL BE VALVCO INC. #668 OR APPROVED EQUAL.

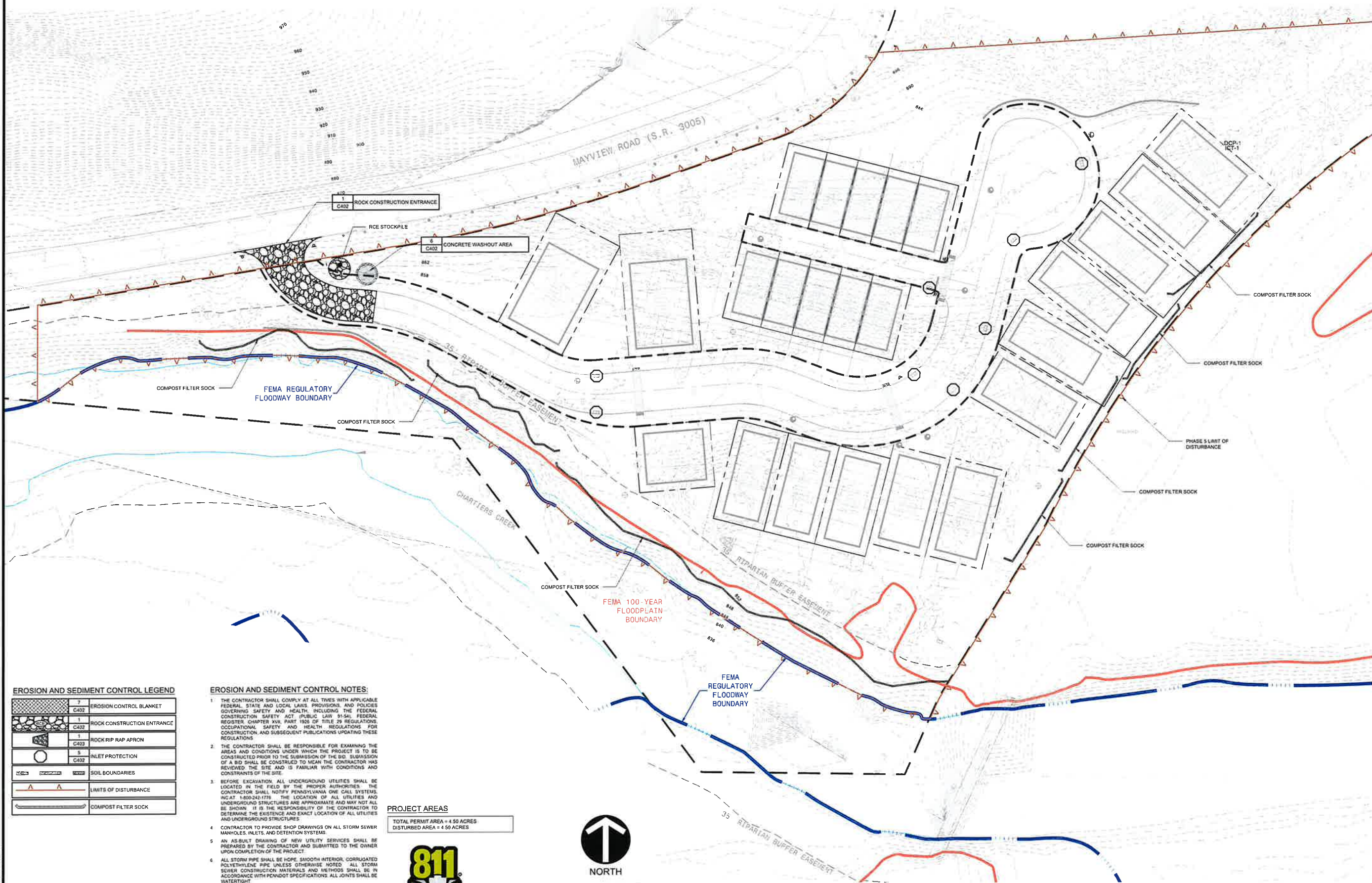
Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	LATERAL SITE TEE/CLEANOUT IN PAVED AREAS
Not to scale	January 2022
	Standard Detail SD-035



NOTE:  
DURING COLD WEATHER WHEN SUPERPAVE MATERIAL IS NOT AVAILABLE FROM THE ASPHALT PLANTS THE TRENCH SHALL BE BACKFILLED WITH BEDDING MATERIAL TO AN ELEVATION WITHIN 3\"/>

Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	TRENCH BACKFILL AND PAVEMENT REQUIREMENTS FOR TOWNSHIP ROADS
Not to scale	January 2022
	Standard Detail SD-005

# THIS PLAN IS FOR EROSION AND SEDIMENT CONTROL PURPOSES ONLY

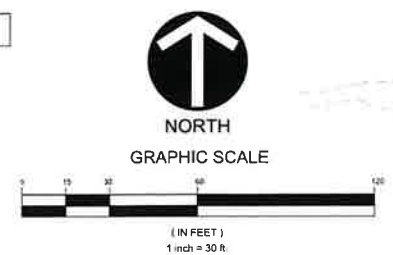


**EROSION AND SEDIMENT CONTROL LEGEND**

	7 C402	EROSION CONTROL BLANKET
	1 C402	ROCK CONSTRUCTION ENTRANCE
	1 C403	ROCK RIP RAP APRON
	5 C402	INLET PROTECTION
		SOIL BOUNDARIES
		LIMITS OF DISTURBANCE
		COMPOST FILTER SOCK

- EROSION AND SEDIMENT CONTROL NOTES:**
1. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER VII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF THE BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
  3. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
  4. CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES, INLETS, AND DETENTION SYSTEMS.
  5. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
  6. ALL STORM PIPE SHALL BE HDPE, SMOOTH INTERIOR, CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATER TIGHT.
  7. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
  8. THE CONTRACTOR SHALL ASSURE THAT THERE IS POSITIVE DRAINAGE TO THE INLETS UPON PLACEMENT OF NEW PAVEMENT.

**PROJECT AREAS**  
 TOTAL PERMIT AREA = 4.50 ACRES  
 DISTURBED AREA = 4.50 ACRES



**REVISION RECORD**

No.	Date
01	
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**HASTINGS**  
 South Fayette Township/Pittsburgh, PA  
 CHARTER HOMES AT HASTINGS, INC.

**HASTINGS PHASE 5**  
 MAYVIEW ROAD  
 PITTSBURGH, PA 15102  
 PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA 17603

**EROSION & SEDIMENT CONTROL PLANS**  
 Project Number: 18927-0096  
 Drawing Scale: 1" = 30'  
 Date Issued: FEB 2026  
 Index Number:  
 Drawn By: CRS  
 Checked By: DMH  
 Project Manager: DMH  
**C400**

THE GATEWAY ENGINEERS, INC. RETAINS OWNERSHIP RIGHTS OF ALL DATA WITHIN THE PLANS. DATA CONTAINED WITHIN IS ONLY TO BE USED FOR ITS INTENDED PURPOSE BY ITS RESPONSIBLE PARTY. THE USE, REPLICATION, REPRODUCTION, OR REDISTRIBUTION OF DATA CONTAINED WITHIN IS STRICTLY PROHIBITED AND SUBJECT TO LEGAL ACTION.

STANDARD EROSION AND SEDIMENT CONTROL PLAN NOTES

- 1. ALL EARTH DISTURBANCES INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED EAS PLAN... 2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES... 3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES... 4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS... 5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL... 6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE... 7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS... 8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S)... 9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POISING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION... 10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS... 11. ALL OFF-SITE WASTE AND HAZARDOUS AREAS MUST HAVE AN EAS PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED... 12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL... 13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN... 14. VEHICLES AND EQUIPMENT MAY NEVER ENTER DIRECTLY NOR EXIT DIRECTLY FROM THE PROJECT SITE ONTO PUBLIC ROADS... 15. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY... 16. A LOG SHOWING DATES THAT EAS BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE PROVIDED UPON REQUEST OF THE REGULATORY AGENCY... 17. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY... 18. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS... 19. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES... 20. TOPSOIL IN PLACE PRIOR TO PLACEMENT OF TOPSOIL AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL... 21. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS... 22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS... 23. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS... 24. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES... 25. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD... 26. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE... 27. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT... 28. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM PERENNIAL 70% VEGETATIVE COVER... 29. EAS BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED... 30. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS... 31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED... 32. FAILURE TO CORRECTLY INSTALL EAS BMPs... 33. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS... 34. UNDERGROUND UTILITIES CUTTING THROUGH ANY ACTIVE CHANNEL SHALL BE IMMEDIATELY BACKFILLED... 35. FILL MATERIAL FOR OBJECTIONABLE AREAS SHALL BE FREE OF ROOTS OR OTHER HOUSING VEGETATION...

PERMANENT SEEDING SPECIFICATIONS:

MATERIALS: TOP SOIL - 4" (MINIMUM) TOPSOIL SHALL BE REQUIRED ON ALL LAWN AREAS. LIMESTONE: RAW, GROUND AGRICULTURAL LIMESTONE CONTAINING MORE THAN 90 PERCENT CALCIUM CARBONATES... COMMERCIAL FERTILIZER: IN THE ABSENCE OF A SOIL TEST, USE 1000 LB/AC OF 19-20-20 (23 LB/1000 SF) MIXED INTO SEEDBED PRIOR TO SEEDING...

MULCH: CLEAN OAT OR WHEAT STRAW SHALL BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT 1947... PRECAUTION SHALL BE TAKEN TO STABILIZE MULCH UNTIL THE VEGETATIVE COVER IS ESTABLISHED.

SEED MIXTURE: SEED MIXTURE SHALL BEAR A GUARANTEED STATEMENT OF ANALYSIS AND SHALL BE COMPOSED OF THE FOLLOWING VARIETIES AND MIXED IN PROPORTIONS SPECIFIED:

Table with 4 columns: PERMANENT SEEDING MIXTURE (P:ADDT FORMULA B), PROPORTION BY WEIGHT, MINIMUM PURITY, MINIMUM GERMINATION. Rows include PERENNIAL RYEGRASS MIXTURE, CREeping RED FESCUE OR CHEWINGS FESCUE, and KENTUCKY BLUEGRASS MIXTURE.

PREPARATION OF SEEDING: GRADE AS NECESSARY TO BRING SURGRADE TO A TRUE, SMOOTH SLOPE PARALLEL TO AND SIX INCHES BELOW FINISHED GRADE...

FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL BY ROTOTILLING OR OTHER METHOD TO A MINIMUM DEPTH OF FOUR (4) INCHES...

MULCH: CLEAN OAT OR WHEAT STRAW SHALL BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT 1947...

SEED MIXTURE: SEED MIXTURE SHALL BEAR A GUARANTEED STATEMENT OF ANALYSIS AND SHALL BE COMPOSED OF THE FOLLOWING VARIETIES AND MIXED IN THE PROPORTIONS SPECIFIED:

Table with 4 columns: TEMPORARY SEED MIXTURE, PROPORTION BY WEIGHT, MINIMUM PURITY, MINIMUM GERMINATION. Rows include RYEGRASS VA. KENTUCKY and THREE PERCENT REDTOP MAY BE ADDED TO THE LAWN MIXTURE...

SEEDING RATE: TEMPORARY SEEDING SHALL BE APPLIED AT THE RATE OF TEN (10) POUNDS PER ONE THOUSAND (1,000) SQUARE YARDS.

NOTE: ALL AREAS TO BE SEEDDED SHALL BE LOOSENEED TO A DEPTH OF AT LEAST TWO INCHES BY MECHANICAL MEANS, OR AS APPROVED BY THE LANDSCAPE ARCHITECT.

MULCH: SEEDDED AREAS IMMEDIATELY AFTER SEEDING. SEED ALL DISTURBED AREAS WITH THE TEMPORARY SEED MIXTURE EXCEPT THOSE AREAS SHOWN TO BE SEEDDED WITH STEEP SLOPE MIXTURE...

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEP MUNICIPAL OR RESIDUAL WASTE REGULATIONS...

CLEAN FILL IS DEFINED AS UNCONTAMINATED NON-WATER SOLUBLE, NON-DECOMPOSABLE INERT SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, BRICK, BLOCK, CONCRETE, AND ASPHALT...

REGULATED FILL IS DEFINED AS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEP MUNICIPAL OR RESIDUAL WASTE REGULATIONS...

Table with 2 columns: 01 PERMANENT SEEDING, C401

TEMPORARY SEEDING SPECIFICATIONS:

LIMESTONE: RAW, GROUND AGRICULTURAL LIMESTONE CONTAINING MORE THAN 90 PERCENT CALCIUM CARBONATES (ADJUST pH LEVELS TO 8.5 TO 7.0). APPLY AT A RATE OF 1 TON/AC... COMMERCIAL FERTILIZER: IN ABSENCE OF A SOIL TEST, USE 1000 LB/AC OF 19-20-20 (23 LB/1000 SF) MIXED INTO SEEDBED PRIOR TO SEEDING...

MULCH: CLEAN OAT OR WHEAT STRAW SHALL BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT 1947...

SEED MIXTURE: SEED MIXTURE SHALL BEAR A GUARANTEED STATEMENT OF ANALYSIS AND SHALL BE COMPOSED OF THE FOLLOWING VARIETIES AND MIXED IN THE PROPORTIONS SPECIFIED:

Table with 4 columns: TEMPORARY SEED MIXTURE, PROPORTION BY WEIGHT, MINIMUM PURITY, MINIMUM GERMINATION. Rows include RYEGRASS VA. KENTUCKY and THREE PERCENT REDTOP MAY BE ADDED TO THE LAWN MIXTURE...

SEEDING RATE: TEMPORARY SEEDING SHALL BE APPLIED AT THE RATE OF TEN (10) POUNDS PER ONE THOUSAND (1,000) SQUARE YARDS.

NOTE: ALL AREAS TO BE SEEDDED SHALL BE LOOSENEED TO A DEPTH OF AT LEAST TWO INCHES BY MECHANICAL MEANS, OR AS APPROVED BY THE LANDSCAPE ARCHITECT.

MULCH: SEEDDED AREAS IMMEDIATELY AFTER SEEDING. SEED ALL DISTURBED AREAS WITH THE TEMPORARY SEED MIXTURE EXCEPT THOSE AREAS SHOWN TO BE SEEDDED WITH STEEP SLOPE MIXTURE...

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEP MUNICIPAL OR RESIDUAL WASTE REGULATIONS...

CLEAN FILL IS DEFINED AS UNCONTAMINATED NON-WATER SOLUBLE, NON-DECOMPOSABLE INERT SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, BRICK, BLOCK, CONCRETE, AND ASPHALT...

REGULATED FILL IS DEFINED AS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEP MUNICIPAL OR RESIDUAL WASTE REGULATIONS...

Table with 2 columns: 02 TEMPORARY SEEDING, C401

CLEAN FILL AND ENVIRONMENTAL DUE DILIGENCE:

IF THE FILL WILL NEED TO BE FILLED IMPORTED FROM AN OFF-SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL WILL RESIDE WITH THE CONTRACTOR RESPONSIBLE FOR EARTHMOVING OPERATIONS...

ENVIRONMENTAL DUE DILIGENCE MEANS PERFORMING INVESTIGATIVE TECHNIQUES FOR THE IMPORTED MATERIAL. THIS INCLUDES, BUT IS NOT LIMITED TO: VISUAL PROPERTIES INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANDRIM MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, AND ENVIRONMENTAL ASSESSMENTS OR AUDITS...

INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECT TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) POLICY MANAGEMENT OF FILL...

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEP MUNICIPAL OR RESIDUAL WASTE REGULATIONS...

CLEAN FILL IS DEFINED AS UNCONTAMINATED NON-WATER SOLUBLE, NON-DECOMPOSABLE INERT SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, BRICK, BLOCK, CONCRETE, AND ASPHALT...

REGULATED FILL IS DEFINED AS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEP MUNICIPAL OR RESIDUAL WASTE REGULATIONS...

Table with 2 columns: 03 CLEAN FILL & ENVIRONMENTAL DUE DILIGENCE, C401

RECYCLING OR DISPOSAL OF MATERIALS

ALL DEVICES SHOULD BE INSPECTED WEEKLY AND AFTER EVERY RUNOFF EVENT. IF DURING THESE INSPECTIONS, ANY DEVICE IS FOUND TO BE CLOGGED, DAMAGED, HALF-FULL OF SILT OR NOT FULLY OPERATIONAL, THE DEVICE(S) SHALL BE CLEANED OF ALL DEBRIS...

ALL MAINTENANCE INSPECTIONS AND REPAIRS SHALL BE LOGGED ONTO DEP FORM #150-FM-BW-EW083, DATED FEB 2012 AND KEPT ON THE SITE AT ALL TIMES.

ALL REPAIRS TO BE COMPLETED WITHIN 24 HOURS OF DISCOVERY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL TEMPORARY CONTROL MEASURES DURING CONSTRUCTION.

IF ANY AREA IS DISTURBED WHILE REPAIRING BMPs OR ANY OTHER MAINTENANCE ACTIVITY, THE AREA MUST BE IMMEDIATELY STABILIZED AND RETURNED TO THE PRIOR CONDITION.

UPON COMPLETION OF THE PROJECT, RECYCLING OR DISPOSAL OF ALL TEMPORARY EROSION CONTROL MATERIALS SHALL BE THE RESPONSIBILITY OF THE EARTHMOVING CONTRACTOR.

CONSTRUCTION WASTE INCLUDES, BUT IS NOT LIMITED TO, EXCESS SOIL MATERIALS, SILT REMOVED FROM EROSION CONTROL FACILITIES, EXCESS BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, AND OBSOLETE EROSION CONTROL MATERIALS (SILT FENCE, SILT SACKS, ETC.).

SILT REMOVED FROM SEDIMENT CONTROL FACILITIES SHALL BE SPREAD ON THE TOPSOIL STOCKPILE, OR IN LAWN OR LANDSCAPE AREAS.

OBSOLETE EROSION CONTROL MATERIALS AND EXCESS BUILDING MATERIALS MUST BE DISPOSED OF AT A DEP APPROVED SITE.

Table with 2 columns: 04 RECYCLING OR DISPOSAL OF MATERIALS, C401

MAINTENANCE SCHEDULE

Table with 4 columns: CONTROL MEASURE, INSPECT, PROBLEMS TO LOOK FOR, POSSIBLE REMEDIES. Rows include VEGETATION, ROCK CONSTRUCTION ENTRANCES, COMPOST FILTER SOCK, INLET PROTECTION.

ALL MAINTENANCE INSPECTIONS SHALL BE LOGGED ONTO DEP FORM #150-FM-BW-EW083, DATED 2012 OR MOST CURRENT FORM, AND KEPT ON THE SITE AT ALL TIMES.

ALL REPAIRS TO BE COMPLETED WITHIN 24 HOURS OF DISCOVERY. REMOVED SEDIMENTS TO BE SPREAD OVER TOPSOIL STOCKPILE(S).

AFTER THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSPECTIONS AND MAINTENANCE OF ALL TEMPORARY CONTROL MEASURES DURING CONSTRUCTION.

ALL DEVICES SHOULD BE INSPECTED WEEKLY AND AFTER EVERY RUNOFF EVENT. IF DURING THESE INSPECTIONS, ANY DEVICE IS FOUND TO BE CLOGGED, DAMAGED, HALF-FULL OF SILT OR NOT FULLY OPERATIONAL, THE DEVICE(S) SHALL BE CLEANED OF ALL DEBRIS.

UPON COMPLETION OF THE PROJECT, RECYCLING OR DISPOSAL OF ALL TEMPORARY EROSION CONTROL MATERIALS SHALL BE THE RESPONSIBILITY OF THE EARTHMOVING CONTRACTOR.

CONSTRUCTION WASTE INCLUDES, BUT IS NOT LIMITED TO, EXCESS SOIL MATERIALS, SILT REMOVED FROM EROSION CONTROL FACILITIES, EXCESS BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, AND OBSOLETE EROSION CONTROL MATERIALS (SILT FENCE, SILT SACKS, ETC.).

SILT REMOVED FROM SEDIMENT CONTROL FACILITIES SHALL BE SPREAD ON THE TOPSOIL STOCKPILE, OR IN LAWN OR LANDSCAPE AREAS.

OBSOLETE EROSION CONTROL MATERIALS AND EXCESS BUILDING MATERIALS MUST BE DISPOSED OF AT A DEP APPROVED SITE.

ALL SITE EARTHWORK WILL BE BALANCED PER THE GRADING PLAN.

Table with 2 columns: 05 MAINTENANCE SCHEDULE, C401

CONSTRUCTION SEQUENCE

THE PROPOSED PROJECT WILL CONSIST OF THE EXCAVATION AND GRADING OF EXISTING BUILDING FOUNDATIONS AND PAVEMENT AREAS AND THE NECESSARY GRADING OPERATIONS TO CONSTRUCT LOTS FOR SINGLE FAMILY UNITS... ADDITIONALLY, THE PROJECT WILL INCLUDE INSTALLATION OF UTILITY METALLATION AND ASSOCIATED SITE WORK.

A GENERALIZED CONSTRUCTION SEQUENCE IS PROVIDED BELOW. THE CONSTRUCTION SEQUENCE IS INTENDED TO PROVIDE A GENERAL COURSE OF ACTION IN ORDER TO COMPLY WITH THE APPLICABLE REGULATORY AGENCY REQUIREMENTS FOR TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENT POLLUTION CONTROL.

UPON COMPLETION OF THE DRAWINGS AND THIS REPORT, THE CONTRACTOR SHALL CONSIDER THE FOLLOWING AS THE CONSTRUCTION SEQUENCE AND SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL TEMPORARY CONTROL MEASURES DURING CONSTRUCTION.

UPON COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY, THE SITE SHALL BE IMMEDIATELY STABILIZED OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND DISPOSITION OF SEDIMENT.

ALL DISTURBED AREAS WHICH ARE AT FINAL GRADE AND WILL NOT BE FURTHER DISTURBED SHALL BE SEEDDED PER THE PERMANENT SEEDING SPECIFICATIONS.

DISTURBED AREAS LEFT SOLE FOR MORE THAN 4 DAYS SHOULD BE TEMPORARILY SEEDDED AND MACHED.

CONTACT ALEDO-EDD COUNTY CONSERVATION DISTRICT FOR A PRE-CONSTRUCTION MEETING PRIOR TO BEGINNING SITE WORK.

HASTINGS PHASE 5 CONSTRUCTION SEQUENCE:

- 1. STAKE OUT LIMIT OF DISTURBANCE AND GRADING OPERATIONS. 2. INSTALL MAIN MAIN WOOD CONSTRUCTION ENTRANCE AND MAINTENANCE STOCKPILE OFF HASTINGS PARK DRIVE AS SHOWN ON THE INITIAL EROSION AND SEDIMENT CONTROL PLAN... 3. INSTALL MAIN MAIN INLET PROTECTION (SILT FENCE) AS INDICATED ON THE INITIAL EROSION AND SEDIMENT CONTROL PLAN... 4. INSTALL MAIN MAIN COMPOST FILTER SOCKS IN THE LOCATIONS SHOWN ON THE INITIAL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH THE CONSTRUCTION DETAILS... 5. BEGIN DEMOLITION OF FOUNDATION AREA... 6. BEGIN CONSTRUCTION OF SITE UTILITIES WORKING FROM ARCAD STREET NORTH TOWARDS MAINWAY ROAD INCLUDING SANITARY SEWER, STORM SEWER, WATER AND OTHER UTILITIES... 7. BEGIN CONSTRUCTION OF SITE UTILITIES WORKING FROM ARCAD STREET NORTH TOWARDS MAINWAY ROAD INCLUDING SANITARY SEWER, STORM SEWER, WATER AND OTHER UTILITIES... 8. INSTALL THE CONCRETE WASHOUT AREA AS SHOWN ON THE PLAN IN ACCORDANCE WITH THE CONSTRUCTION DETAIL... 9. UPON COMPLETION OF UTILITY INSTALLATION, BEGIN REPAIRING ROAD SURFACE, INSTALL CURBS, REMOVE WOOD CONSTRUCTION ENTRANCE #1 AND INSTALL PAVING SECTION AS SHOWN ON THE FINAL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH CONSTRUCTION DETAILS... 10. REPLACE TOPSOIL ON NON-PAVED AREAS FOR SEEDING, SEED AND MACH ALL DISTURBED AREAS... 11. REPAIR ROAD CONSTRUCTION IN THE ARCAD STREET W/ BRIDGE STREET, TILAM STREET, AND COTTAGE WAY AREAS... 12. BEGIN CONSTRUCTION OF SITE UTILITIES WORKING FROM ARCAD STREET NORTH TOWARDS MAINWAY ROAD INCLUDING SANITARY SEWER, STORM SEWER, WATER AND OTHER UTILITIES... 13. UPON COMPLETION OF UTILITY INSTALLATION, BEGIN REPAIRING ROAD SURFACE, INSTALL CURBS, REMOVE WOOD CONSTRUCTION ENTRANCE #2 AND INSTALL PAVING SECTION AS SHOWN ON THE FINAL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH CONSTRUCTION DETAILS... 14. REPLACE TOPSOIL ON NON-PAVED AREAS FOR SEEDING, SEED AND MACH ALL DISTURBED AREAS... 15. REPAIR ROAD CONSTRUCTION IN THE ARCAD STREET W/ BRIDGE STREET, TILAM STREET, AND COTTAGE WAY AREAS... 16. BEGIN CONSTRUCTION OF SITE UTILITIES WORKING FROM ARCAD STREET NORTH TOWARDS MAINWAY ROAD INCLUDING SANITARY SEWER, STORM SEWER, WATER AND OTHER UTILITIES... 17. UPON COMPLETION OF THE VERTICAL CONSTRUCTION OF THE HOMES, COMPLETE PAVING GRADING ACTIVITIES... 18. RESEED ALL DISTURBED AREAS WITH PERENNIAL VEGETATIVE COVER IF NOT ESTABLISHED AFTER 30 DAYS... 19. REMOVE ALL SILT PROTECTION ON ROAD NETWORK.

Table with 2 columns: 06 PHASE 5 CONSTRUCTION SEQUENCE, C401

Vertical text on the left edge of the page, likely a project or drawing identifier.

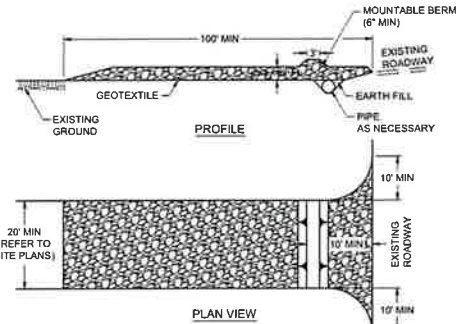


REVISION RECORD table with columns for Date, No, and Description of revisions.

HASTINGS logo and address: South Fayette Township/Pittsburgh, PA.

HASTINGS PHASE 5 address and contact information: 1415 W. MAINWAY ROAD, PITTSBURGH, PA 15102.

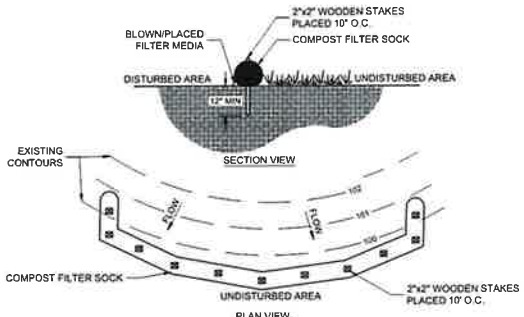
EROSION & SEDIMENT CONTROL NOTES section containing project details, drawing scale, and date.



- NOTES:**
- TOPSOIL SHALL BE REMOVED PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE.
  - EXTEND ROCK OVER WIDTH OF ENTRANCE.
  - RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
  - MOUNTABLE BERM SHOULD BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED. PIPE TO BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
  - REFER TO SITE PLANS FOR SIZE AND LOCATION. WHERE APPLICABLE, REFER TO HOP PLANS FOR SIZE AND LOCATION ON STATE ROADWAYS.

- MAINTENANCE**
- ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE.
  - ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50' INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO THE ROADWAY DITCHES, CULVERTS, OR OTHER DRAINAGE WAYS IS NOT ACCEPTABLE.

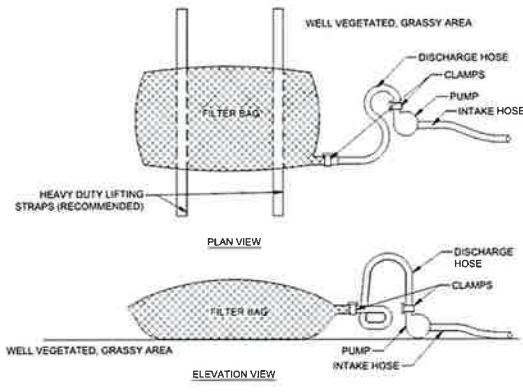
1  
C402 ROCK CONSTRUCTION ENTRANCE



- NOTES:**
- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8' UP SLOPE AT 45° TO THE MAIN SOCK ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2. SEE TABLE BELOW.
  - TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
  - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
  - SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
  - BIODEGRADABLE FILTER SOCK SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
  - UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
  - SILT SOCK FABRIC MATERIAL SHALL BE MULTI-FILAMENT POLYPROPYLENE (MFPP), MINIMUM FUNCTIONAL LONGEVITY 1 YEAR.
  - SLOPE LENGTH TABLE FROM FIGURE 4.2, PADEP BMP MANUAL:

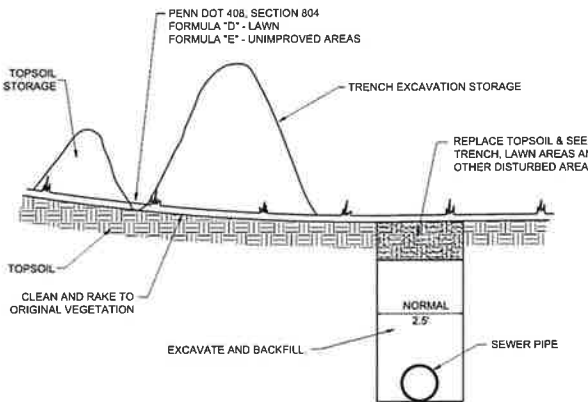
SILT SOCK DIAMETER	3:1 SLOPE	2:1 SLOPE
12"	67'	25'
18"	70'	32'
24"	90'	50'
32"	110'	65'

2  
C402 COMPOST FILTER SOCK



- NOTES:**
- LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:
- | PROPERTY                | TEST METHOD | MINIMUM STANDARD |
|-------------------------|-------------|------------------|
| AVG WIDE WIDTH STRENGTH | ASTM D-4854 | 80 LB/IN         |
| GRAB TENSILE            | ASTM D-4852 | 205 LB           |
| PUNCTURE                | ASTM D-4833 | 110 LB           |
| MULLEN BURST            | ASTM D-3786 | 390 PSI          |
| UV RESISTANCE           | ASTM D-4255 | 70%              |
| 80% RETAINED            | ASTM D-4751 | 80 SEVE          |
- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
- BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
- NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.
- THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
- THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
- FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

3  
C402 PUMPED WATER FILTER BAG



MULCHING OR PROTECTIVE NETTING REQUIRED WHERE SURFACE IS SUBJECT TO IMMEDIATE EROSION.

4  
C402 EROSION CONTROL FOR SEWER TRENCHES

**PIG Over-The-Drain Sediment Filter**  
 FT181 For Sediment, Debris, Trash For Storm Drains 24" Dia x 36" H. Magnets, Single.

Our magnetic over the drain inlet filter installs effortlessly to remove sediment and debris from stormwater runoff, even during high-flow events before it enters your drains and streets, ideal as a Best Management Practice (BMP) to help avoid violations.

Integrated magnets to pass on underside of filter allow easy installation in secondary soil with no plan or no lifting grate, no cables, no no-punch fittings.

Natural coconut fibers are densely woven and vertically oriented to maximize sediment removal and flow rate.

Designed and tested to remove 99% of particulate size 0.425mm and larger.

Built-in ports and scalloped edges help resist clogging, minimize splash and overflow protection during high flow storm events.

For curb-inlets with grate, align magnets and ports straight (perpendicular) edge against curb for best performance.

For curb-inlets without a grate, filter can be bolted in half and "bolted" into opening friction fit holds filter in place.

Reusable product can be washed and reinstalled for extended service.

**Specifications:**  
 Height: 36" (diam 24" H x 36" H)  
 Diameter: 24" Dia (H x 36" H, L x 2.25" H)  
 Application: PIG  
 Brand: PIG  
 Drum Weight: 15 lbs  
 Color: Blue  
 Max Flow Rate: 100 GPM  
 Special Feature: Magnetic Screen

**PIG Over-The-Drain Sediment Filter**

Maximum depth of concrete washout water is 50% of filter ring height.

2" x 2" x 36" wooden stakes placed 5' o.c.

24" diameter compost filter sock.

2" x 2" x 36" wooden stakes placed 5' o.c.

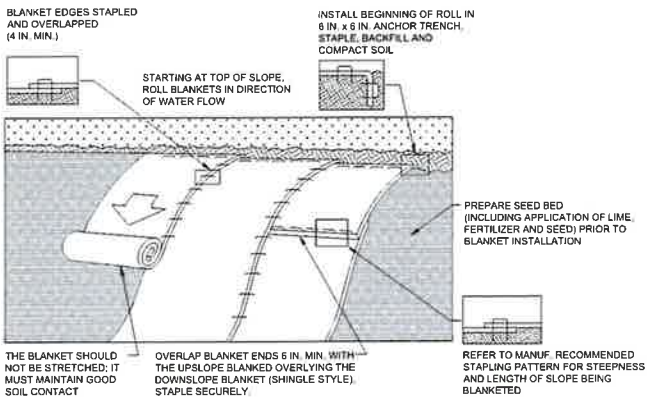
Direct concrete washout water into filter ring.

24" diameter compost filter sock, 4" min. overlap on upslope side of filter ring.

**NOTES:**

- INSTALL ON FLAT GRADE FOR OPTIMAL PERFORMANCE.
- 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
- A SUITABLE IMPERVIOUS GEOMEMBRANE LINER SHALL BE PLACED AT THE LOCATION PRIOR TO THE INSTALLING THE SOCKS.

6  
C402 CONCRETE WASHOUT AREA



7  
C402 EROSION CONTROL BLANKET

5  
C402 INLET PROTECTION

**REVISION RECORD**

No.	Date	Description
01		
02		
03		
04		
05		
06		
07		
08		

PROFILE STRUCTURE ABBREVIATIONS

STM	STORM
SAN	SANITARY
MH	MANHOLE
OS	OUTLET STRUCTURE
CO	CLEANOUT
HW	HEADWALL
EW	ENDWALL

PROFILE NOTES:

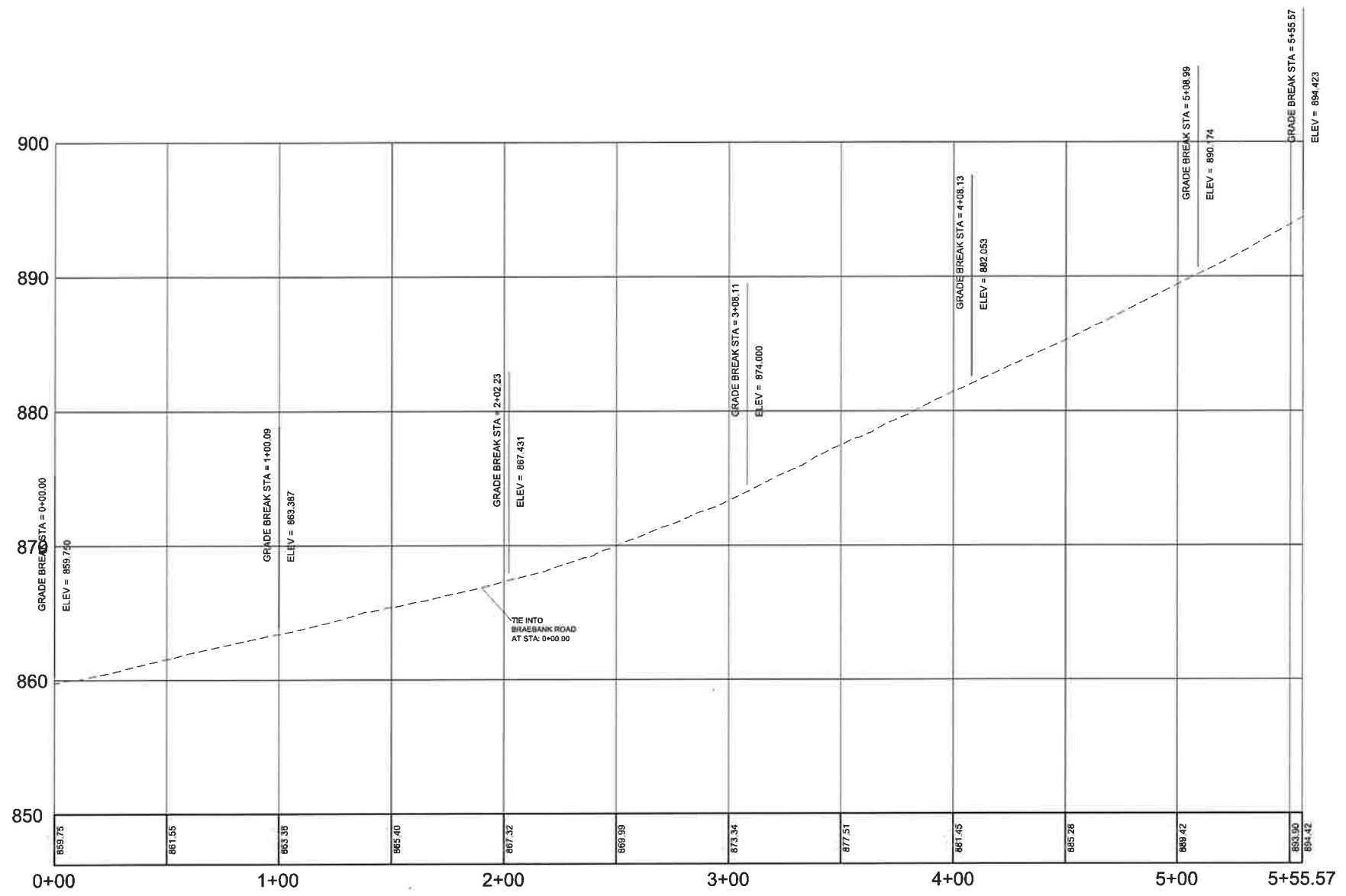
1 THE LENGTHS (LF) SHOWN ON THIS PLAN ARE CENTERLINE STRUCTURE TO CENTERLINE STRUCTURE, AND DO NOT ACCOUNT FOR SLOPES OR DEFINE ACTUAL LENGTHS OF PIPE.



Know what's below.  
Call before you dig.  
1-800-242-1776  
Serial No. 20260352495

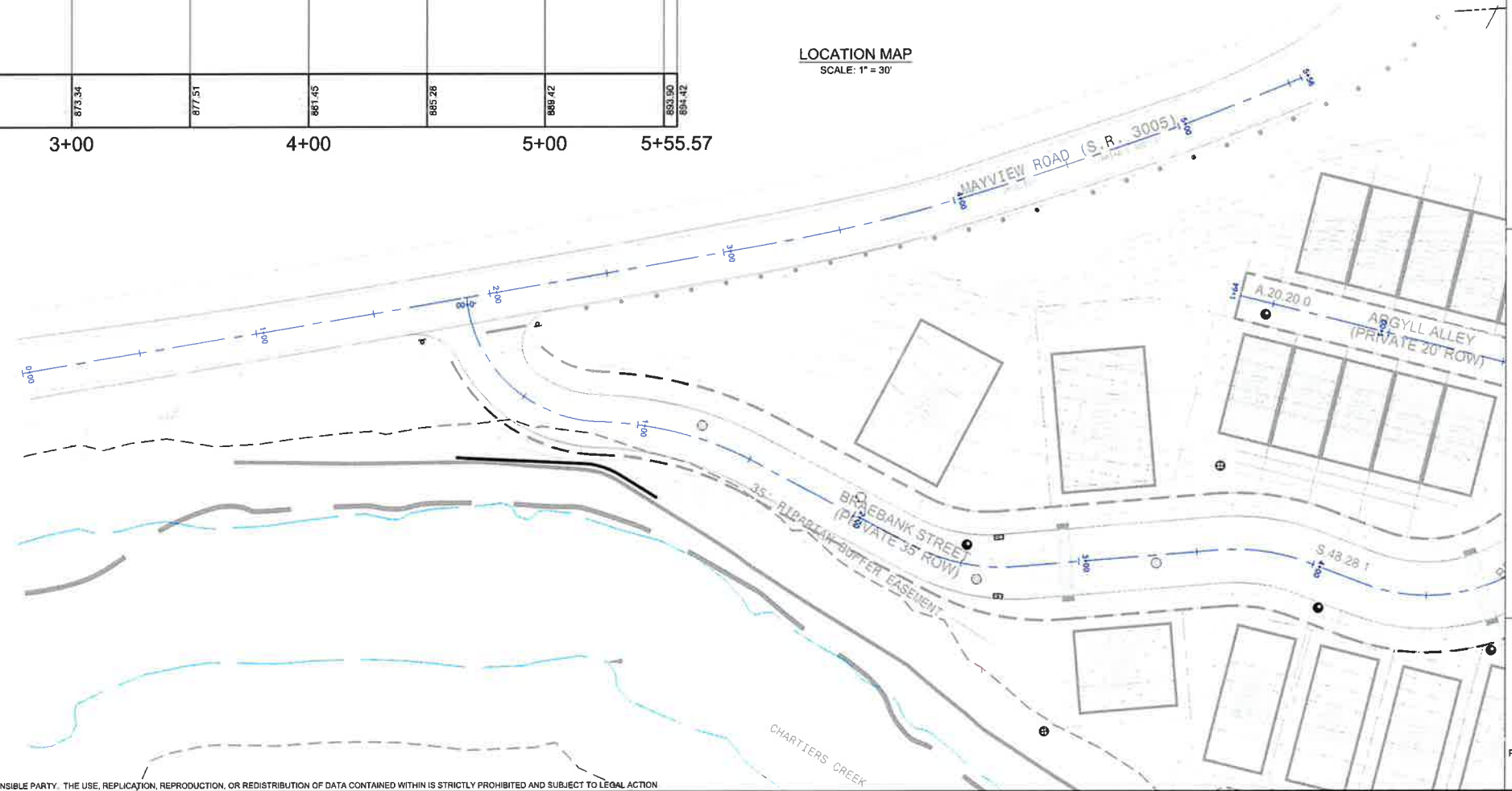


A FULL-SERVICE CIVIL ENGINEERING FIRM



MAYVIEW ROAD PROFILE  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 5'

LOCATION MAP  
SCALE: 1" = 30'



Date	No	REVISION RECORD
2025-10-02	01	REVISED SKETCH PLANS
2025-10-10	02	REVISED SKETCH PLANS
	03	
	04	
	05	
	06	
	07	
	08	

**HASTINGS**  
South Fayette Township/Pittsburgh, PA

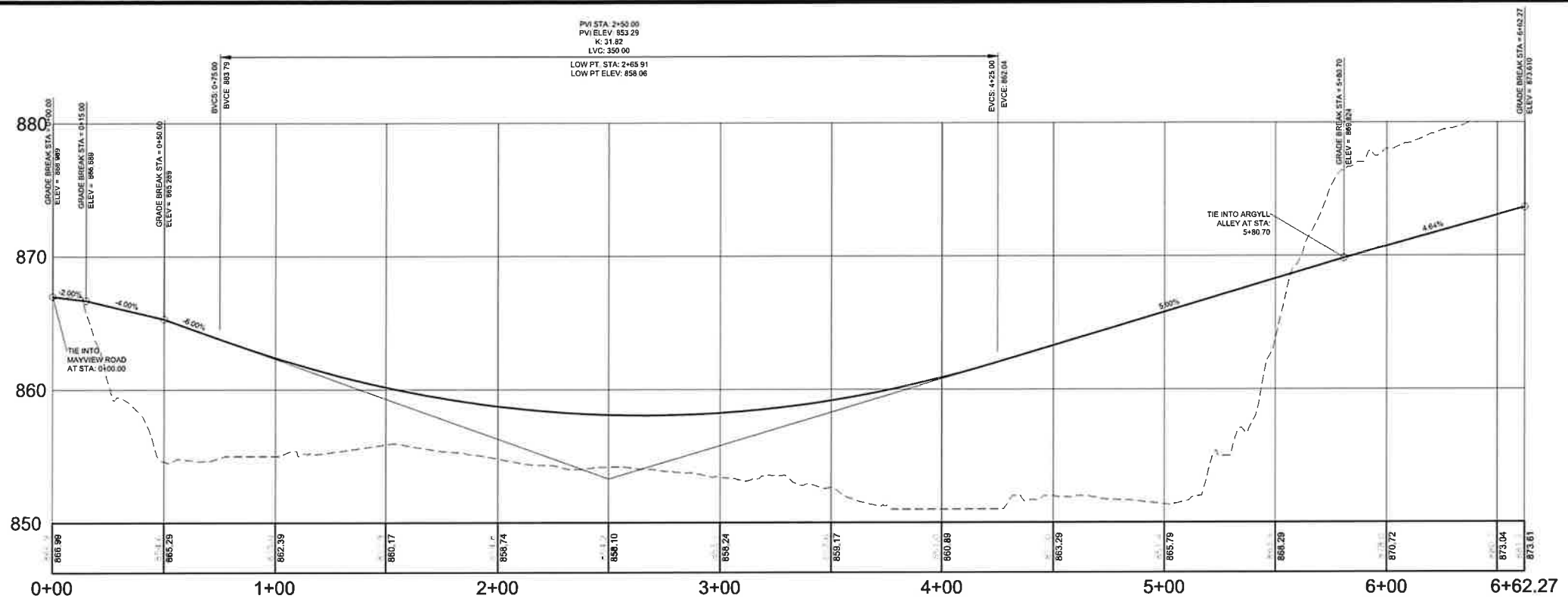
**HASTINGS PHASE 5**  
MAYVIEW ROAD  
PITTSBURGH, PA 15102  
PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

Project Number:	18927-0096
Drawing Scale:	AS NOTED
Date Issued:	FEB 2026
Index Number:	
Drawn By:	CRS
Checked By:	DMH
Project Manager:	DMH

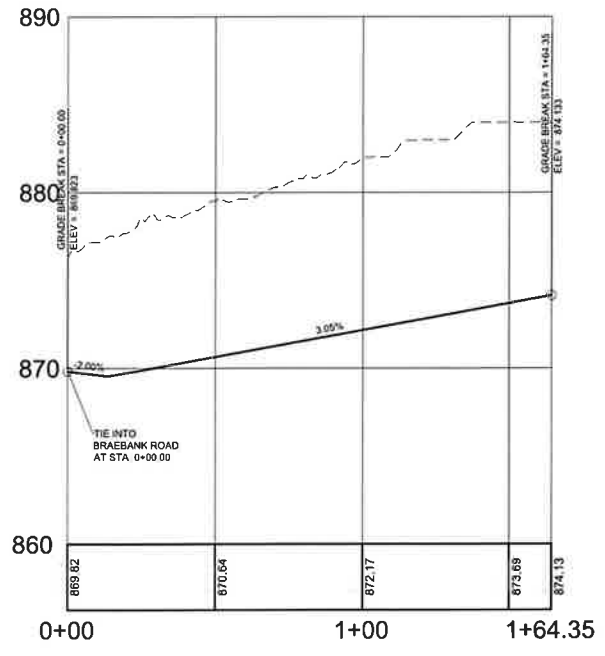
C500

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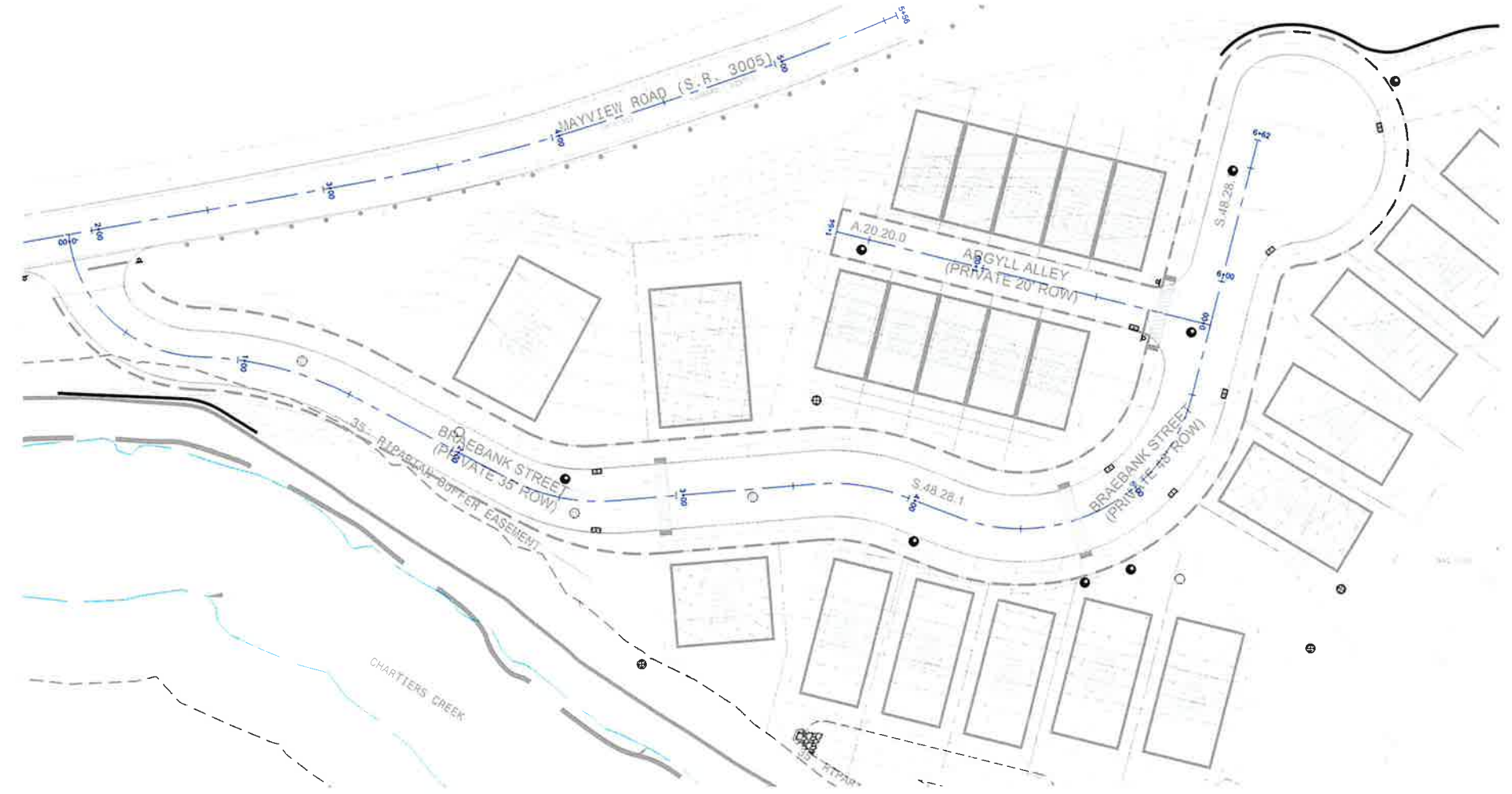
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 PVI ELEV: 853.29  
 K: 31.82  
 LVC: 350.00  
 LOW PT. STA: 2+65.91  
 LOW PT. ELEV: 858.06



**BRAEBANK ROAD PROFILE**  
 HORIZONTAL SCALE: 1" = 30'  
 VERTICAL SCALE: 1" = 5'



**ARGYLL ALLEY PROFILE**  
 HORIZONTAL SCALE: 1" = 30'  
 VERTICAL SCALE: 1" = 5'



**LOCATION MAP**  
 SCALE: 1" = 30'

**PROFILE STRUCTURE ABBREVIATIONS**

STM	STORM
SAN	SANITARY
MH	MANHOLE
OS	OUTLET STRUCTURE
CO	CLEANOUT
HW	HEADWALL
EW	ENDWALL

**PROFILE NOTES:**  
 1 THE LENGTHS (LF) SHOWN ON THIS PLAN ARE CENTERLINE STRUCTURE TO CENTERLINE STRUCTURE AND DO NOT ACCOUNT FOR SLOPES OR DEFINE ACTUAL LENGTHS OF PIPE.



**REVISION RECORD**

No.	Date	Description
01	2025-10-02	REVISED SKETCH PLANS
02	2025-10-10	REVISED SKETCH PLANS
03		
04		
05		
06		
07		
08		

**HASTINGS**  
 South Fayette Township/Pittsburgh, PA

**HASTINGS PHASE 5**  
 MAYVIEW ROAD  
 PITTSBURGH, PA 15102  
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**CHARTER HOMES AT HASTINGS, INC**  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA 17603

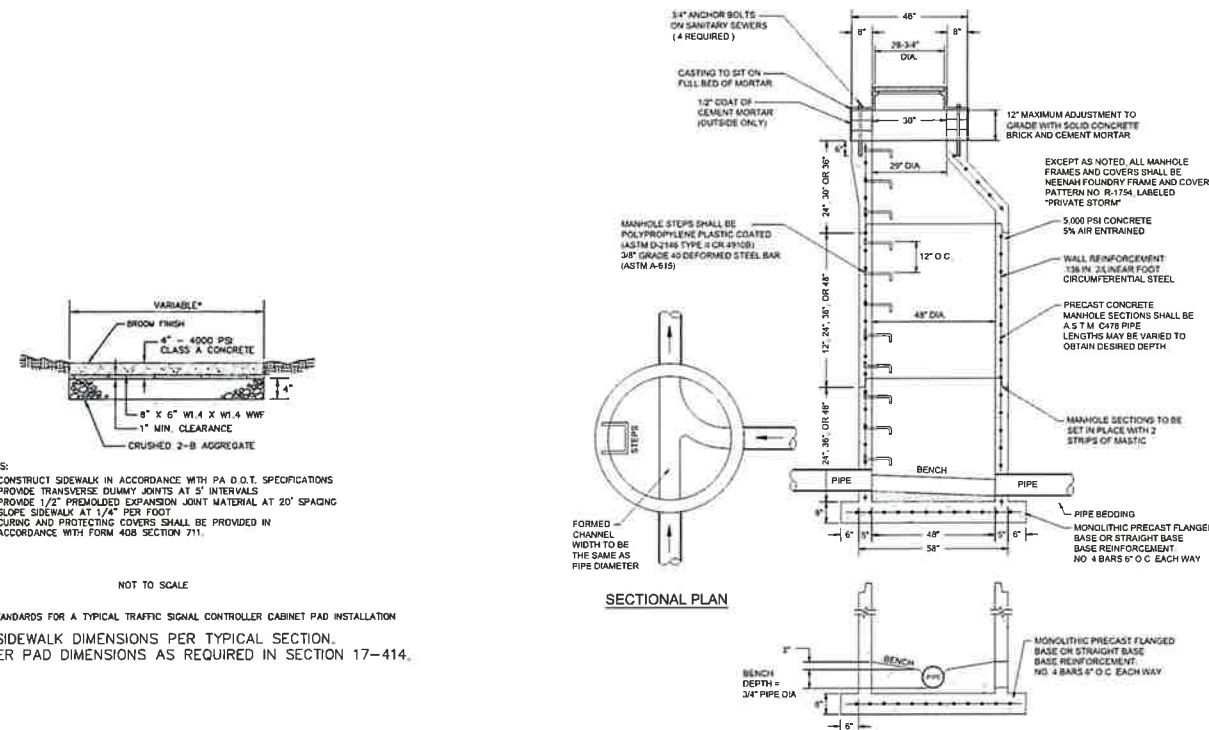
**ROAD PROFILES**

Project Number:	18927-0096
Drawing Scale:	AS NOTED
Date Issued:	FEB 2025
Index Number:	
Drawn By:	CRS
Checked By:	DMH
Project Manager:	DMH

**C501**

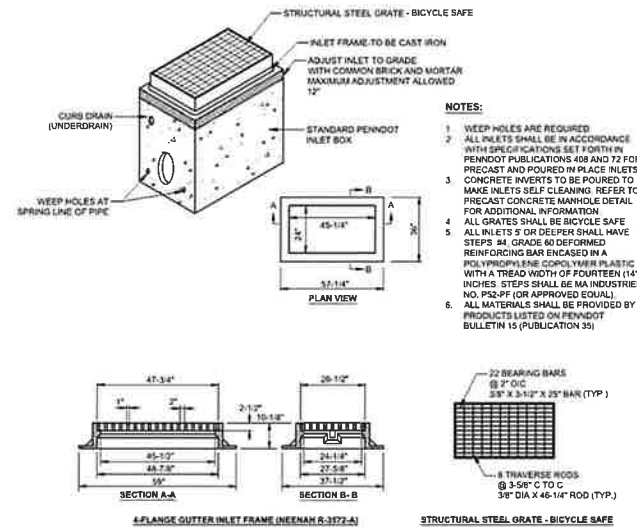


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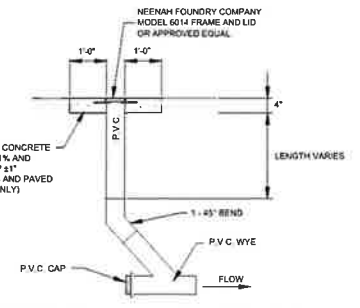


SECTIONAL PLAN

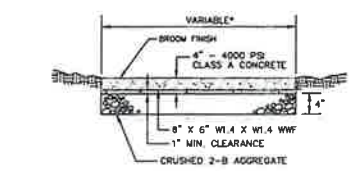
1	48" DIAMETER CONCRETE PRIVATE STORM MANHOLE
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2 PENNDOT STANDARD INLET BOX WITH TYPE M FRAME AND BIKE SAFE GRATE

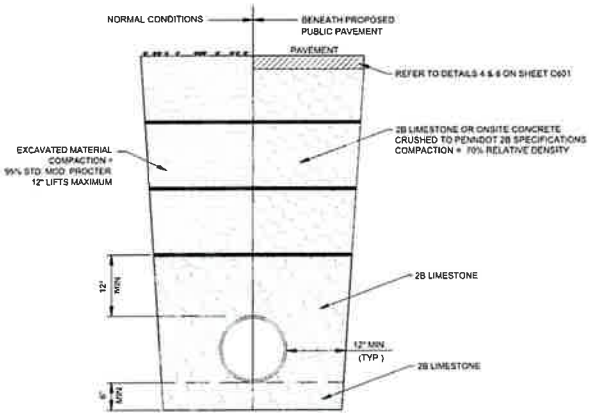


3	STORM CLEANOUT
---	----------------



- NOT TO SCALE
- NOTE: MIN. STANDARDS FOR A TYPICAL TRAFFIC SIGNAL CONTROLLER CABINET PAD INSTALLATION. \*SIDEWALK DIMENSIONS PER TYPICAL SECTION. CONTROLLER PAD DIMENSIONS AS REQUIRED IN SECTION 17-414.

1	PROPOSED CONCRETE SIDEWALK
---	----------------------------



SIZE OF MAIN	BODY COLOR	TRIM COLOR A	TRIM COLOR B
6" OR SMALLER	RED	WHITE	WHITE
10" TO 20"	YELLOW	WHITE or BLACK	WHITE
LARGER THAN 24"	GREEN	WHITE	WHITE
HYDRANTS CONNECTED TO NON POTABLE WATER		PURPLE	

5	FIRE HYDRANT INSTALLATION
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Fire Hydrant Specification

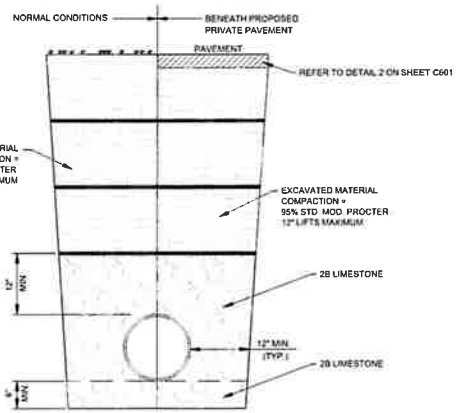
- MANUFACTURER: Mueller 350 WP 4 1/2.
- QUALITY AND STYLE: Must be a dry barrel type hydrant and meet or exceed the requirements of the American Water Works Association Specification AWWA C502. Fire Hydrant for Ordinary Water Service.
- CONSTRUCTION: Shall be a traffic model with a safety flange.
- NUMBER AND SIZE OF NOZZLES: One 4 1/2 inch pumper nozzle and two 2 1/2 inch hose nozzles. Hose nozzles shall be 180 degrees apart and each hose nozzle 90 degrees from the pumper nozzle.
- SIZE OF MAIN VALVE OPENING: Must be a minimum of a 4 1/2 inch valve and barrel size.
- TYPE OF INLET CONSTRUCTION: Flanged or Mechanical Joint.
- SIZE OF INLET CONNECTION: Minimum of 4 inch.
- DEPTH OF TRENCH OR BURY: Minimum of 3 foot 6 inches from safety flange.
- DIRECTION OF OPERATION: Open right.
- SIZE AND SHAPE OF OPERATING NUT: National Standard which is 1 1/2 inch pantagon measured from point to opposite point flat at base of nut.
- PUMPER AND HOSE NOZZLE THREADS:
  - Pumper thread shall be a 5 inch Storz type fitting with a red locking lever.
  - Hose threading shall be PCH6 "Pittsburgh 6" (3.062 x 6)
- COLOR: Fire hydrant shall be yellow in color.

6	FIRE HYDRANT SPECIFICATION
---	----------------------------



PUBLIC STREETS

4	UNDERGROUND PIPE OR CONDUIT BACKFILL (STORM SEWERS/UTILITIES)
---	---



PRIVATE STREETS / ALLEYS

DATE	REVISION RECORD
01	
02	
03	
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07	
08	

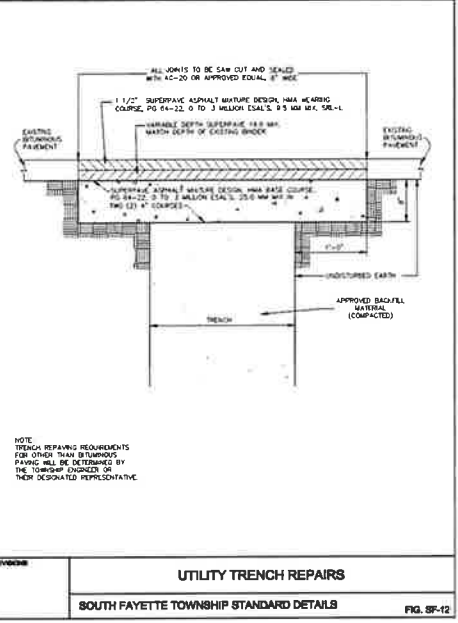
**HASTINGS**  
South Fayette Township/Pittsburgh, PA  
CHARTERED TOWNSHIP

**HASTINGS PHASE 5**  
MAYVIEW ROAD  
PITTSBURGH, PA 15102  
PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

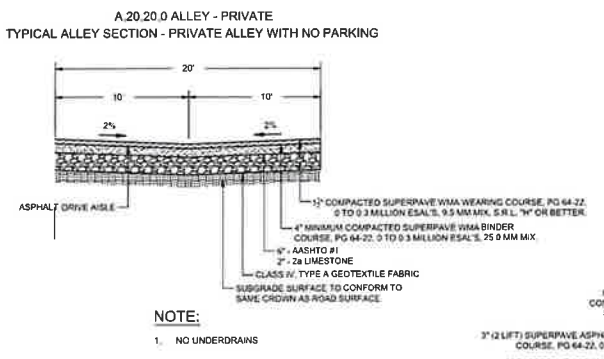
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Drawing Scale: N.T.S.  
Date Issued: FEB 2026  
Index Number: -  
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Checked By: DMH  
Project Manager: DMH

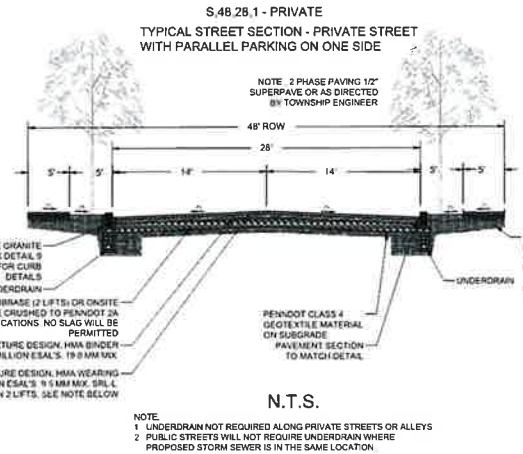
C600



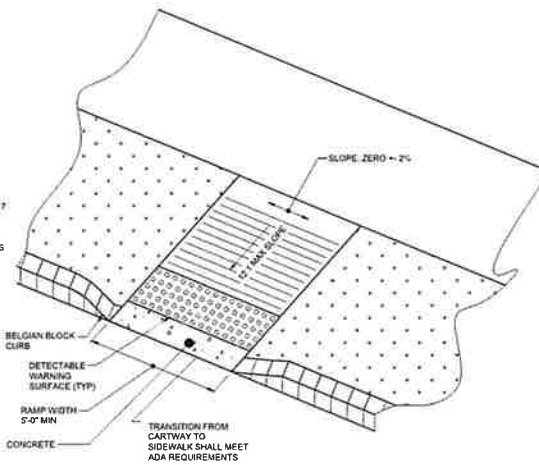
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C601 UTILITY TRENCH REPAIRS



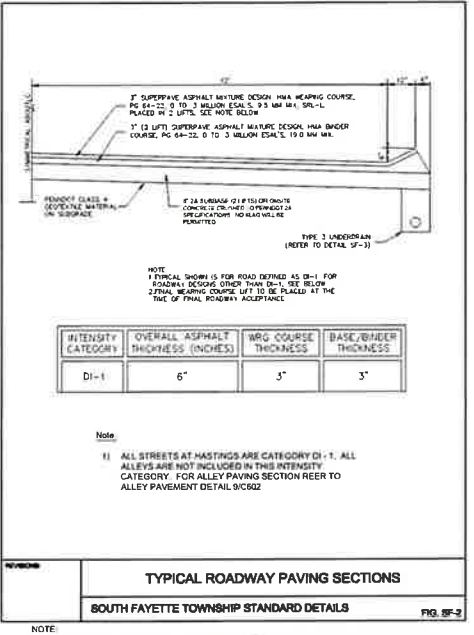
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C601 PROPOSED ALLEY CROSSING  
GRANITE BLOCK CURB RAMP



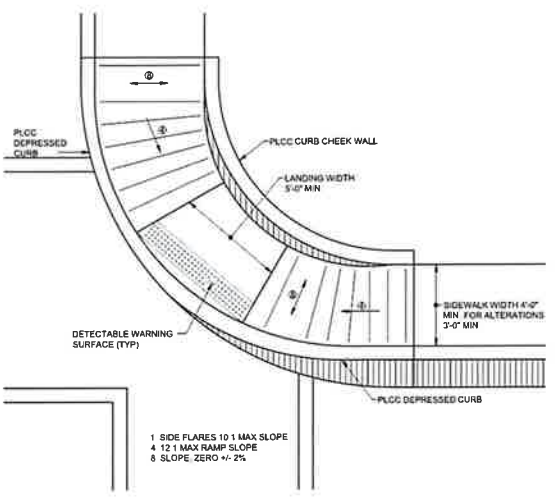
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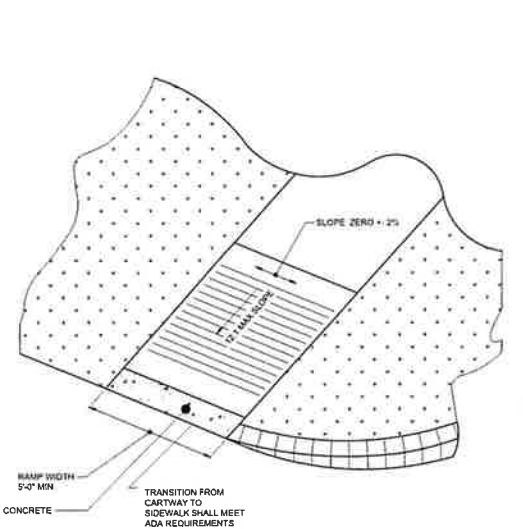
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GRANITE BLOCK CURB RAMP



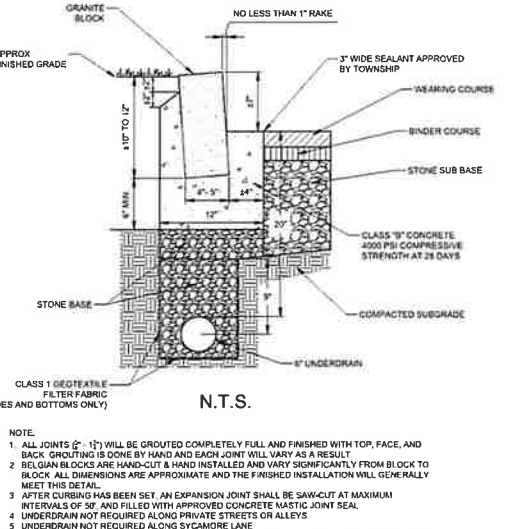
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C601 TYPICAL PAVING SECTION



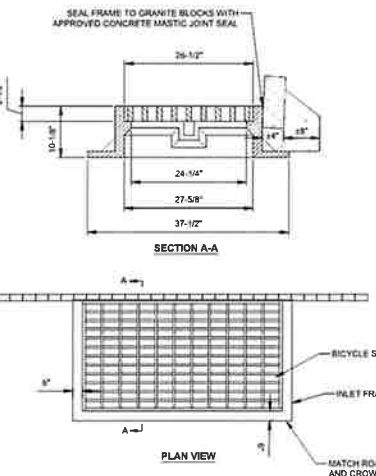
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C601 TYPE 2 CURB RAMP (DIAGONAL)  
RC-67M



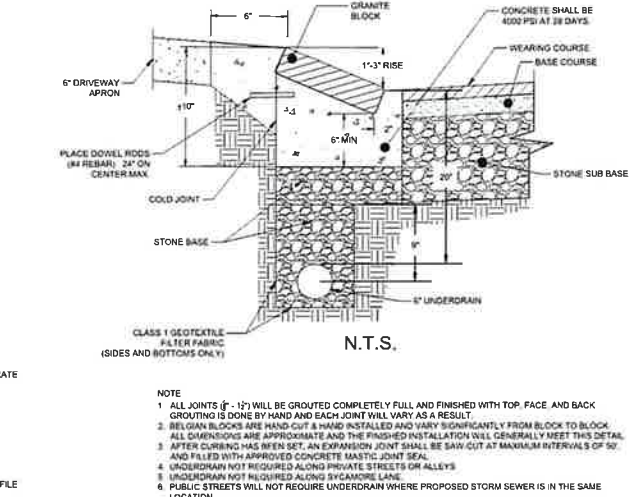
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C601 PROPOSED ALLEY CROSSING  
GRANITE BLOCK CURB RAMP



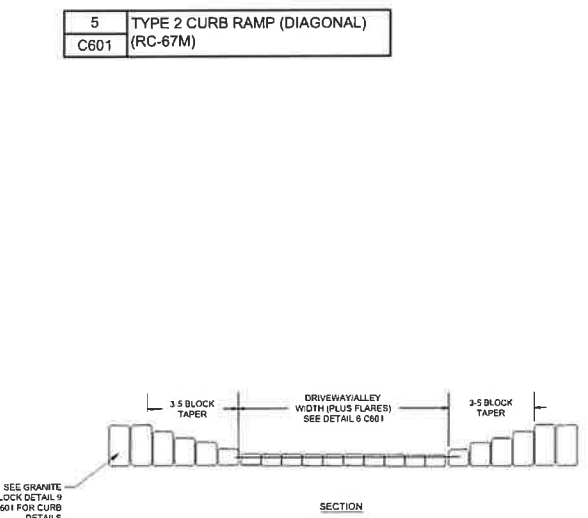
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C601 GRANITE BLOCK CURB



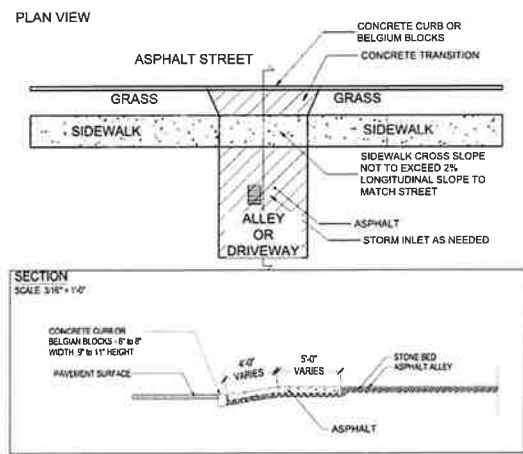
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C601 GRANITE BLOCK CURB AT INLET



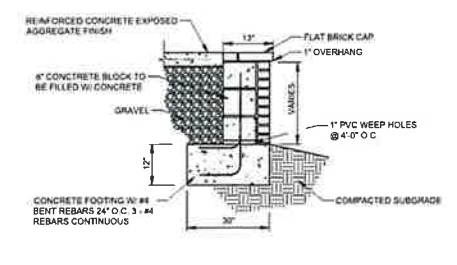
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C601 GRANITE BLOCK CURB - MOUNTABLE



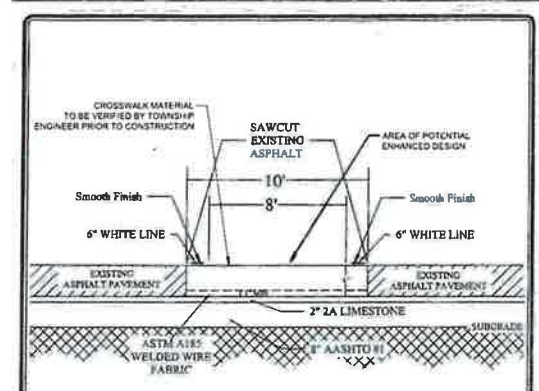
10  
C601 GRANITE BLOCK CURB - ALLEY/DRIVEWAY CONNECTIONS



11  
C601 DRIVEWAY DETAIL AND DEPRESSED CURB



12  
C601 BLOCK/BRICK RETAINING WALL



13  
C601 TYPICAL CROSS SECTION 8 FOOT CROSSWALK (RD-27)

**REVISION RECORD**

Date	01	02	03	04	05	06	07	08

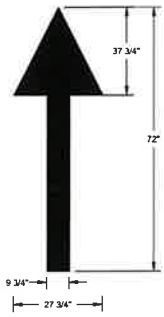
**HASTINGS**  
South Fayette Township/Pittsburgh, PA

**HASTINGS PHASE 5**  
MAYVIEW ROAD  
PITTSBURGH, PA 15102  
PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

**CONSTRUCTION DETAILS**

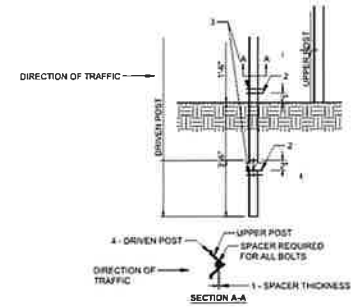
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Index Number: -  
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Checked By: DMH  
Project Manager: DMH

**C601**



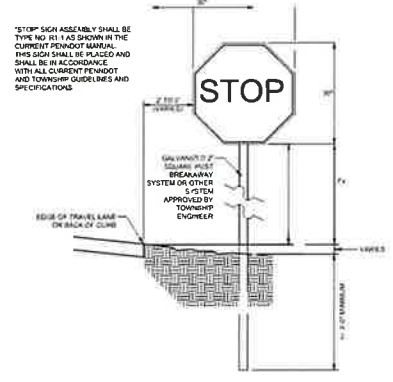
- NOTES:
- USE 6" WIDE LANE MARKING PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES
  - USE LATEX TYPE, READY MIXED COMPLYING WITH FEDERAL SPECIFICATION TT-P-1952E TYPES 1 AND 2, COLOR: WHITE
  - NEW ARROWS TO BE 15 MILS THICK
  - APPLY PER MANUFACTURERS RECOMMENDATIONS

1	PAINTED DIRECTIONAL ARROW
C602	



- GENERAL NOTES:
- THE SPACER THICKNESS SHALL BE NO LESS THAN THE GAP BETWEEN THE POSTS WHEN POSITIONED IN THE UNBOLTED CONFIGURATION
  - THE EXTERIOR BOLT, SPACER, WASHER AND NUT SHALL BE INSTALLED IN A PRE-PUNCHED HOLE WITHIN THE FIRST 2" OF THE END OF THE LAPPED POST SECTION
  - THE INTERIOR BOLT, SPACER, WASHER AND NUT SHALL BE INSTALLED IN A PRE-PUNCHED HOLE WITHIN THE FIRST 2" OF THE END OF THE LAPPED POST SECTION. THE MAXIMUM SPACING BETWEEN THE INTERIOR BOLTS SHALL BE 1'-6". IF THE LENGTH OF THE POST LAP IS INCREASED SUCH THAT THIS 1'-6" MAXIMUM IS EXCEEDED, THE ADDITIONAL INTERIOR BOLTS SHALL BE INSTALLED SUCH THAT THE MAXIMUM SPACE BETWEEN A PAIR OF INTERIOR BOLTS DOES NOT EXCEED THE 1'-6" LIMIT
  - THE DRIVEN POST SHALL ALWAYS BE MOUNTED IN FRONT OF THE UPPER POST WITH RESPECT TO ADJACENT ONCOMING TRAFFIC, REGARDLESS OF THE DIRECTION THE SIGN IS FACING
  - THE BOLTS SHOWN SHALL BE 1" X 2" GALVANIZED BOLTS IN ACCORDANCE WITH ASTM A 449, OR SAE J429, GT 9, OR GALVANIZED BOLTS IN ACCORDANCE WITH ASTM A 325

2	U CHANNEL POST
C602	



3	'STOP' SIGN
C602	



4	SPEED LIMIT SIGN
C602	



5	PEDESTRIAN CROSSING SIGN
C602	

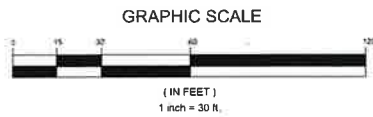
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LED	50 W	Multi-V	TYPE V	100128528	DS-745792-LED	12' or 16'
LED	90 W	Multi-V	TYPE III	100128529	DS-745793-LED	12' or 16'
LED	90 W	Multi-V	TYPE V	100128530	DS-745791-LED	12' or 16'

6	LIGHT POST
C602	

REVISION RECORD

Date	Revision
01	
02	
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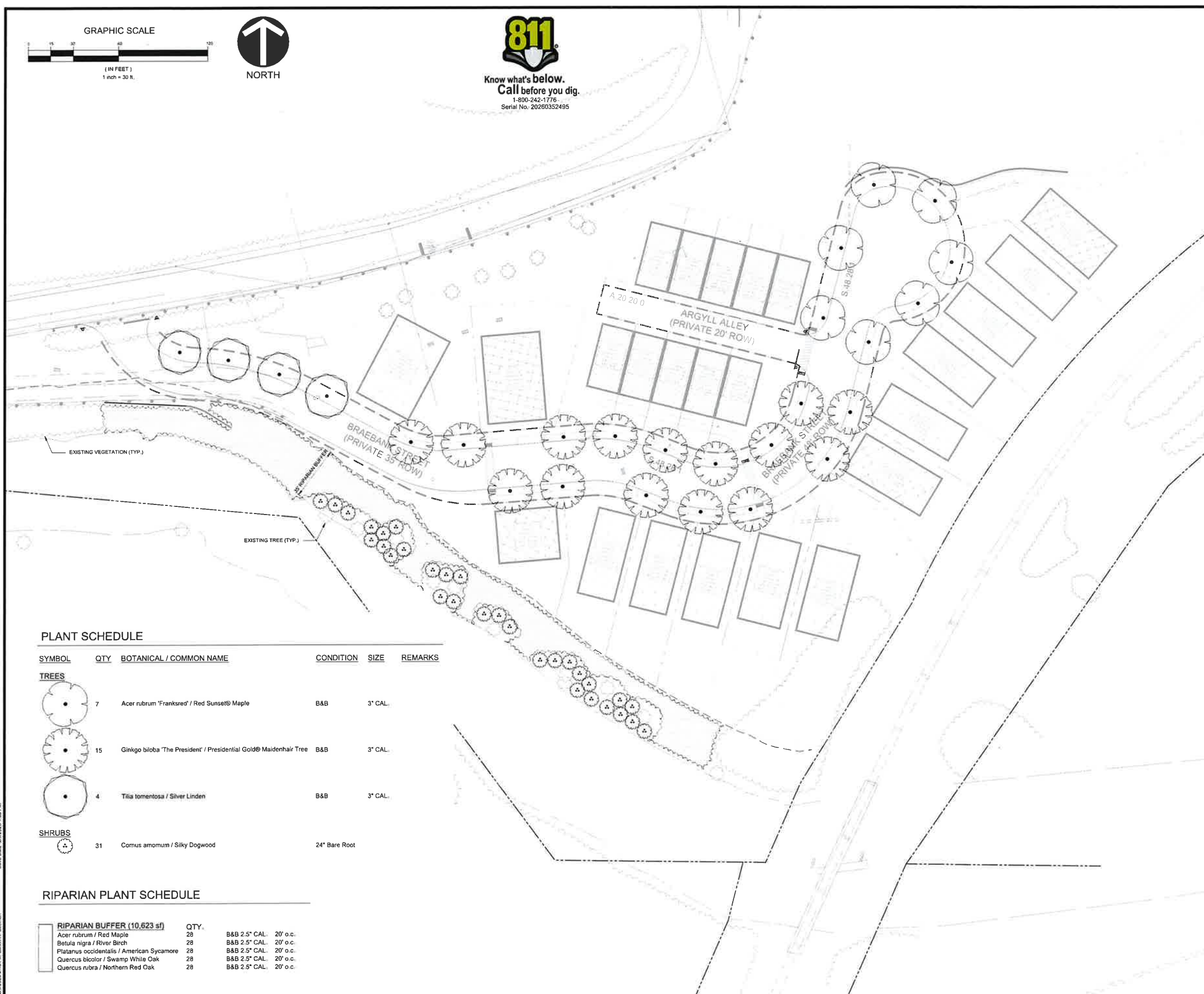
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 Date: 2/2/2026 12:28 PM  
 User: R. Seaman



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Serial No. 20260352495

**LANDSCAPE REQUIREMENTS:**

1. GENERAL PROVISIONS
  - A. ALL DECIDUOUS TREES REQUIRED BY THIS CHAPTER SHALL BE A MINIMUM OF 2 1/2" CALIPER IN SIZE, MEASURED SIX INCHES ABOVE GROUND LEVEL. STREET TREES SHALL BE 3" CALIPER.
  - B. ALL EVERGREEN TREES REQUIRED BY THIS CHAPTER SHALL BE A MINIMUM OF SIX FEET IN PLANTED HEIGHT, MEASURED FROM FINISHED GRADE.
  - C. ALL SHRUBS SHALL BE A MINIMUM OF 24 INCHES IN HEIGHT AT INSTALLATION.
2. BUILDING FOUNDATION PLANTINGS
  - A. FIFTY PERCENT OF THE LENGTH OF NONRESIDENTIAL AND MULTIFAMILY RESIDENTIAL BUILDINGS FACADES THAT FACE A STREET, INTERNAL STREET, PARKING LOT, OR PARKING LOT DRIVE AISLE SHALL INCLUDE A FOUNDATION PLANTING AREA IMMEDIATELY ADJACENT TO THE BUILDING. IF THERE ARE TWO OR MORE FACADES, PLANTING AREAS SHALL BE PROVIDED ALONG A MINIMUM OF TWO FACADES.
    - (1) THE FOUNDATION PLANTINGS MAY BE REDUCED TO A MINIMUM OF 25% OF THE LENGTH ALONG A FRONT BUILDING FACADE WITH TWO OR MORE BUILDING ENTRANCES.
    - (2) ALONG A FRONT BUILDING FACADE, RAISED PLANTED BOXES MAY BE USED IN LIEU OF THE MINIMUM REQUIRED FOUNDATION PLANTINGS ALONG THAT FACADE, SUCH THAT THE PLANTERS PROVIDE THE SAME SQUARE FOOTAGE OF PLANTING AREA AS THE REQUIRED FOUNDATION PLANTINGS WOULD PROVIDE. THE PLANTERS MUST BE PLACED WITHIN THE WIDTH OF THE FACADES.
  - B. THE FOUNDATION PLANTING AREA SHALL BE A MINIMUM OF SIX FEET WIDE.
  - C. THE FOUNDATION PLANTING AREA SHALL INCLUDE, AT A MINIMUM, ORNAMENTAL TREES, EVERGREEN TREES, AND SHRUBS, IN ADDITION TO ANY ANNUAL OR PERENNIAL VEGETATION.
  - D. IN ADDITION TO ANY OTHER REQUIRED PLANTINGS, ALL BUILDING FOUNDATION PLANTING AREAS SHALL BE PLANTED WITH TURF GRASS, ORNAMENTAL GRASSES, OR OTHER GROUND COVER PLANT MATERIAL. MULCH, STONE, OR SIMILAR GROUND COVER MATERIALS ARE TO BE USED SPARINGLY.
3. STREET TREES
  - A. STREET TREES SHALL BE INSTALLED AS PART OF THE CONSTRUCTION OF ANY NEW PUBLIC OR PRIVATE STREET.
    - (1) STREET TREES SHALL BE PROVIDED ON BOTH SIDES OF THE NEW STREET.
  - B. STREET TREES SHALL BE PLANTED AT A RATE OF ONE PER 35 FEET ON CENTER.
  - C. ALL STREET TREES SHALL BE A MINIMUM OF THREE-INCH CALIPER IN SIZE AT THE TIME OF PLANTING, MEASURING SIX INCHES ABOVE GROUND LEVEL.
  - D. STREET TREE REQUIREMENTS RELATED TO MARS ROAD MAY BE MET BY PRESERVING EXISTING TREES ADJACENT TO THE ROAD RIGHT-OF-WAY.



**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONDITION	SIZE	REMARKS
<b>TREES</b>					
	7	Acer rubrum 'Franksred' / Red Sunset® Maple	B&B	3" CAL.	
	15	Ginkgo biloba 'The President' / Presidential Gold® Maidenhair Tree	B&B	3" CAL.	
	4	Tilia tomentosa / Silver Linden	B&B	3" CAL.	
<b>SHRUBS</b>					
	31	Cornus amomum / Silky Dogwood	24" Bare Root		

**RIPARIAN PLANT SCHEDULE**

RIPARIAN BUFFER (10,623 sf)		QTY.	
	Acer rubrum / Red Maple	28	B&B 2.5" CAL. 20' o.c.
	Betula nigra / River Birch	28	B&B 2.5" CAL. 20' o.c.
	Platanus occidentalis / American Sycamore	28	B&B 2.5" CAL. 20' o.c.
	Quercus bicolor / Swamp White Oak	28	B&B 2.5" CAL. 20' o.c.
	Quercus rubra / Northern Red Oak	28	B&B 2.5" CAL. 20' o.c.



REVISION RECORD	
No.	RESPONSE TO TWP COMMENTS
01 <td>REVISED PLAN SET</td>	REVISED PLAN SET
02 <td>REVISED PLAN SET</td>	REVISED PLAN SET
03 <td>REVISED PLAN SET</td>	REVISED PLAN SET
04 <td>REVISED PLAN SET</td>	REVISED PLAN SET
05 <td></td>	
06 <td></td>	
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08 <td></td>	

**HASTINGS**  
South Fayette Township/Pittsburgh, PA  
CHARTER HOMES AT HASTINGS, INC.

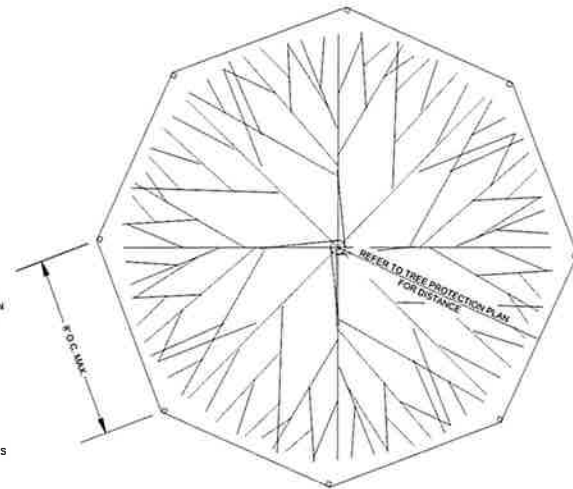
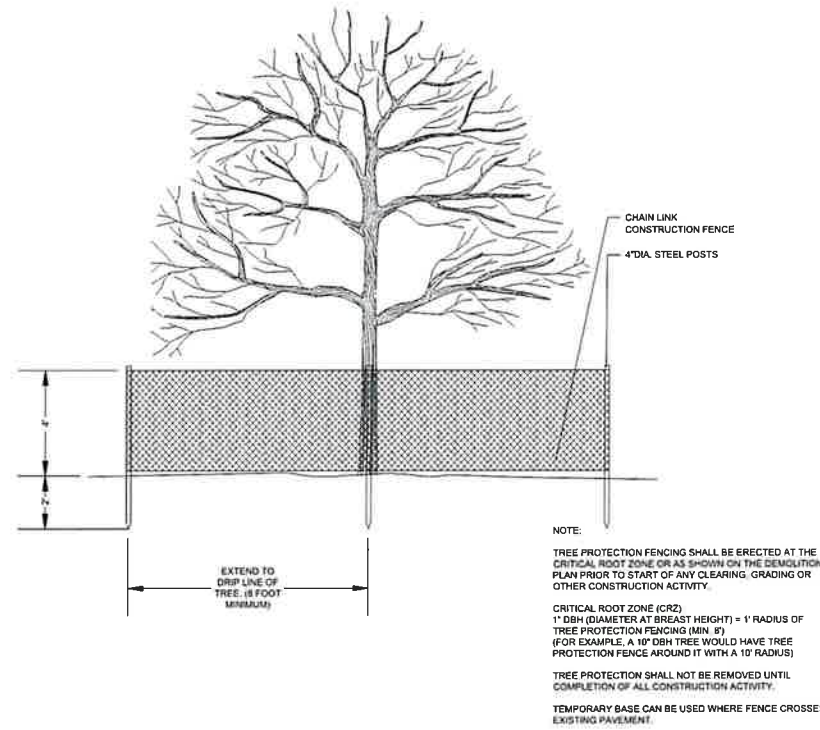
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322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

**LANDSCAPE PLAN**

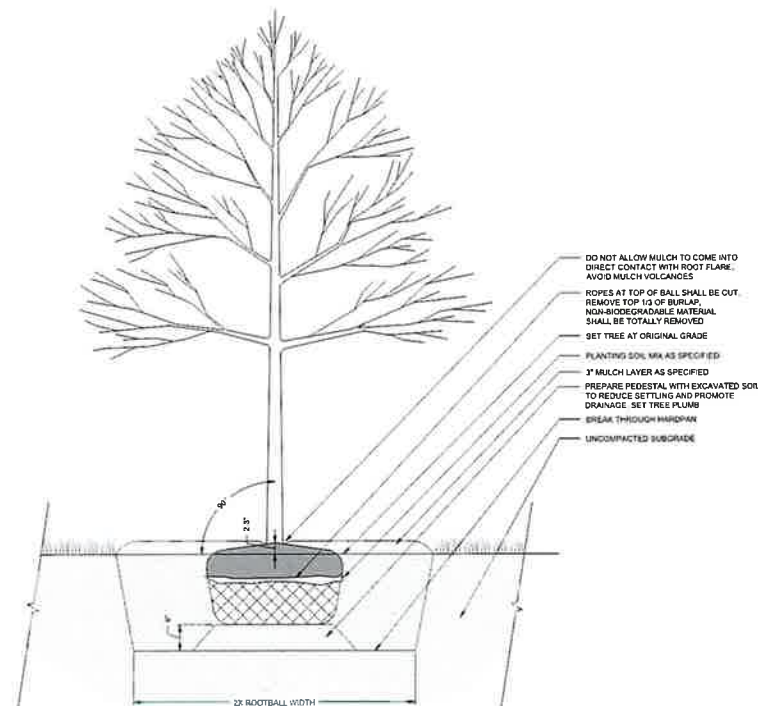
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Project Manager: DMH

**L100**

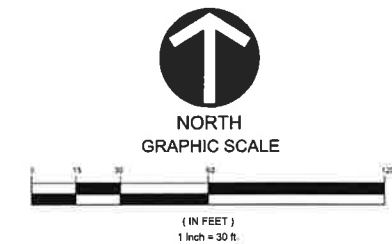
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1	TREE PROTECTION FENCING
L102	



2	DECIDUOUS TREE PLANTING, TYP.
L102	



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REVISION RECORD	
No	RESPONSE TO TWP COMMENTS
01	REVISED PLAN SET
02	REVISED PLAN SET
03	REVISED PLAN SET
04	REVISED PLAN SET
05	
06	
07	
08	

**HASTINGS**  
South Fayette Township/Pittsburgh, PA  
CHARTER ENGINEERS & ARCHITECTS

**HASTINGS PHASE 5**  
MAYVIEW ROAD  
PITTSBURGH, 15102  
PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
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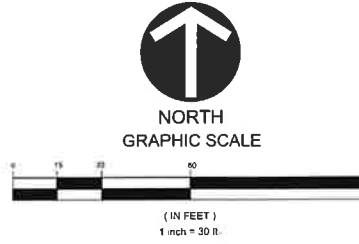
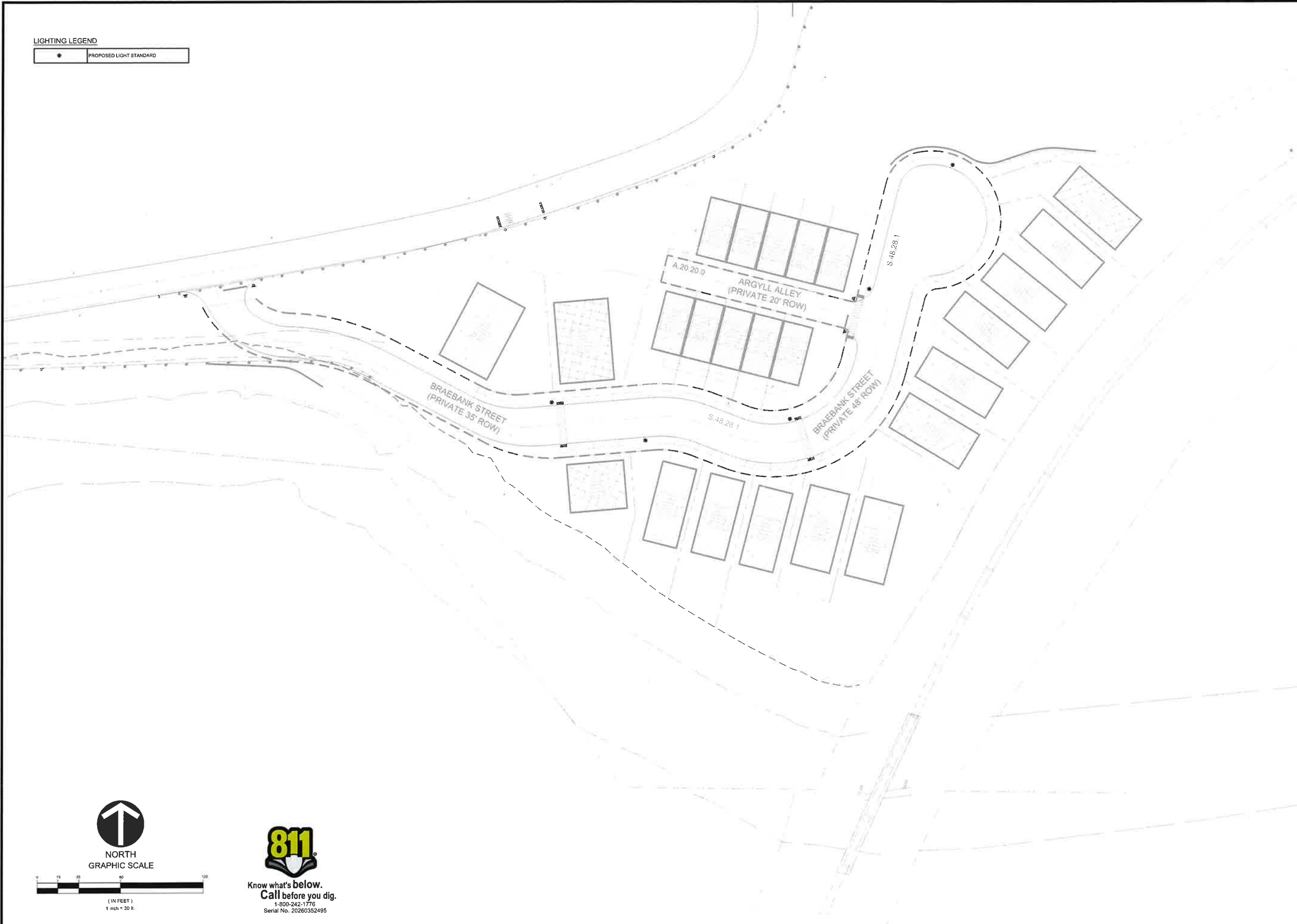
LANDSCAPE DETAILS

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Drawing Scale: 1" = 30'  
Date Issued: FEB 2026  
Index Number:  
Drawn By: CRS  
Checked By: DMH  
Project Manager: DMH

**L101**

LIGHTING LEGEND

*	PROPOSED LIGHT STANDARD
---	-------------------------



P:\Projects\18927\18927\_Mayview-0096\_Phase 5\Drawings\Sheet 5 4 LD Set\110 - Lighting Plan.dwg  
 Date: 02/28/2024 2:14 PM  
 User: Gateway Engineers, Inc.

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Date	No.	REVISION RECORD
03/14/2024	01	RESPONSE TO TWP COMMENTS
03/29/2024	02	REVISED PLAN SET
04/09/2024	03	REVISED PLAN SET
05/14/2024	04	REVISED PLAN SET
	05	
	06	
	07	
	08	

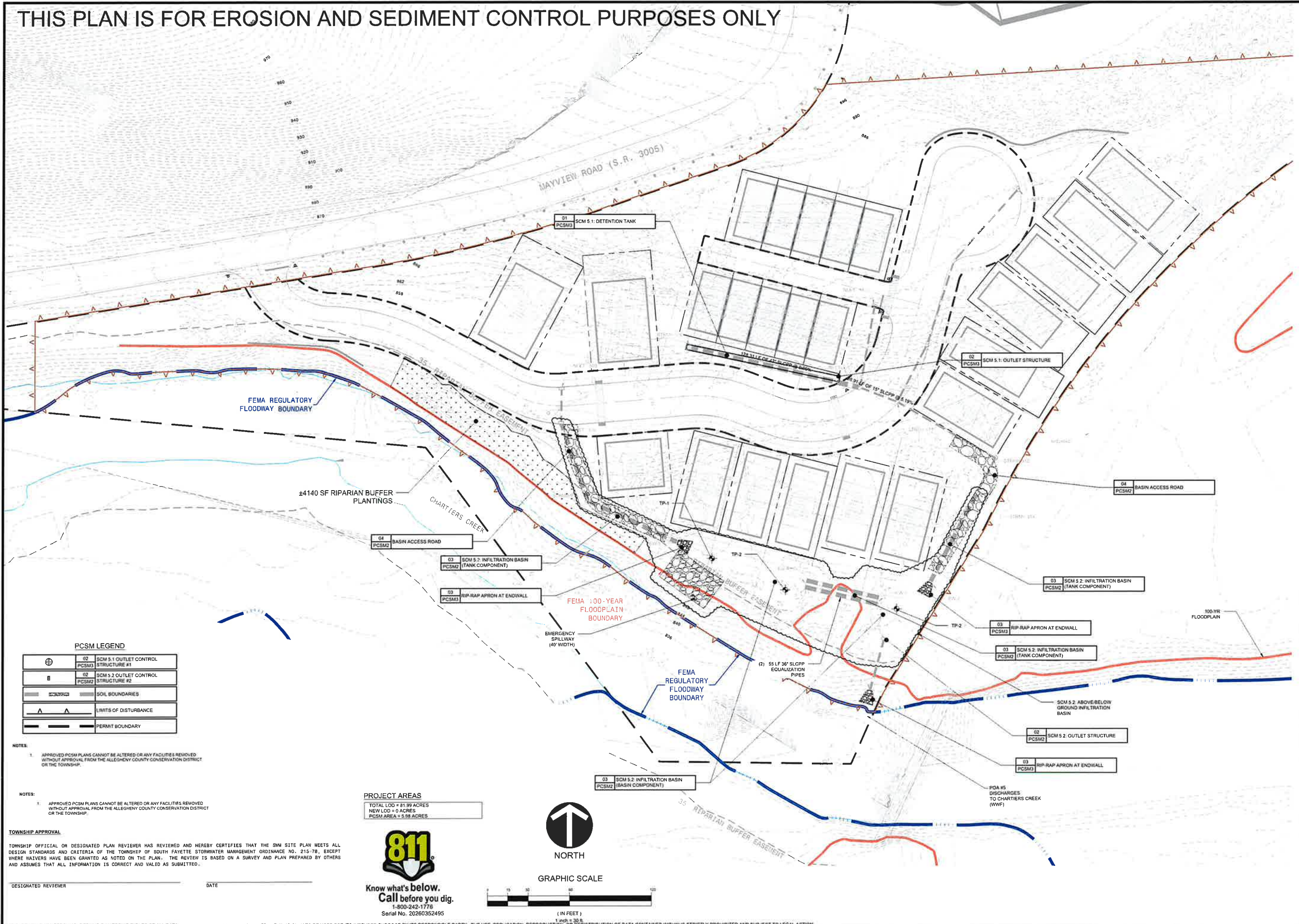
**HASTINGS**  
 South Fayette Township/Pittsburgh, PA  
CHARTER TOWNSHIP & COUNTY

**HASTINGS PHASE 5**  
 MAYVIEW ROAD  
 PITTSBURGH, 15102  
 PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA 17603

LIGHTING PLAN  
 Project Number: 18927-0096  
 Drawing Scale: 1" = 30'  
 Date Issued: FEB 2024  
 Index Number:  
 Drawn By: CRS  
 Checked By: DMH  
 Project Manager: DMH

L110

# THIS PLAN IS FOR EROSION AND SEDIMENT CONTROL PURPOSES ONLY



**PCSM LEGEND**

	01 PCSM5	SCM 5.1: OUTLET CONTROL STRUCTURE #1
	02 PCSM5	SCM 5.2: OUTLET CONTROL STRUCTURE #2
		SOIL BOUNDARIES
		LIMITS OF DISTURBANCE
		PERMIT BOUNDARY

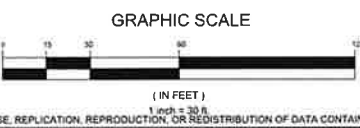
**NOTES:**  
 1. APPROVED PCSM PLANS CANNOT BE ALTERED OR ANY FACILITIES REMOVED WITHOUT APPROVAL FROM THE ALLEGHENY COUNTY CONSERVATION DISTRICT OR THE TOWNSHIP.

**NOTES:**  
 1. APPROVED PCSM PLANS CANNOT BE ALTERED OR ANY FACILITIES REMOVED WITHOUT APPROVAL FROM THE ALLEGHENY COUNTY CONSERVATION DISTRICT OR THE TOWNSHIP.

**TOWNSHIP APPROVAL**  
 TOWNSHIP OFFICIAL OR DESIGNATED PLAN REVIEWER HAS REVIEWED AND HEREBY CERTIFIES THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE TOWNSHIP OF SOUTH FAYETTE STORMWATER MANAGEMENT ORDINANCE NO. 215-78, EXCEPT WHERE WAIVERS HAVE BEEN GRANTED AS NOTED ON THE PLAN. THE REVIEW IS BASED ON A SURVEY AND PLAN PREPARED BY OTHERS AND ASSUMES THAT ALL INFORMATION IS CORRECT AND VALID AS SUBMITTED.

DESIGNATED REVIEWER \_\_\_\_\_ DATE \_\_\_\_\_

**PROJECT AREAS**  
 TOTAL LOD = 81.99 ACRES  
 NEW LOD = 0 ACRES  
 PCSM AREA = 5.98 ACRES



**REVISION RECORD**

No.	Date
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**HASTINGS**  
 South Fayette Township/Pittsburgh, PA

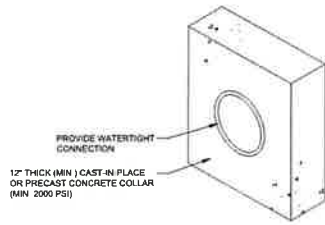
**HASTINGS PHASE 5**  
 MAYVIEW ROAD  
 PITTSBURGH, PA 15102  
 PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA 17603

**POST CONSTRUCTION STORMWATER MANAGEMENT PLAN**  
 Project Number: 18927-0096  
 Drawing Scale: 1" = 30'  
 Date Issued: FEB 2026  
 Index Number: \_\_\_\_\_  
 Drawn By: CRS  
 Checked By: DMH  
 Project Manager: DMH

**PCSM1**

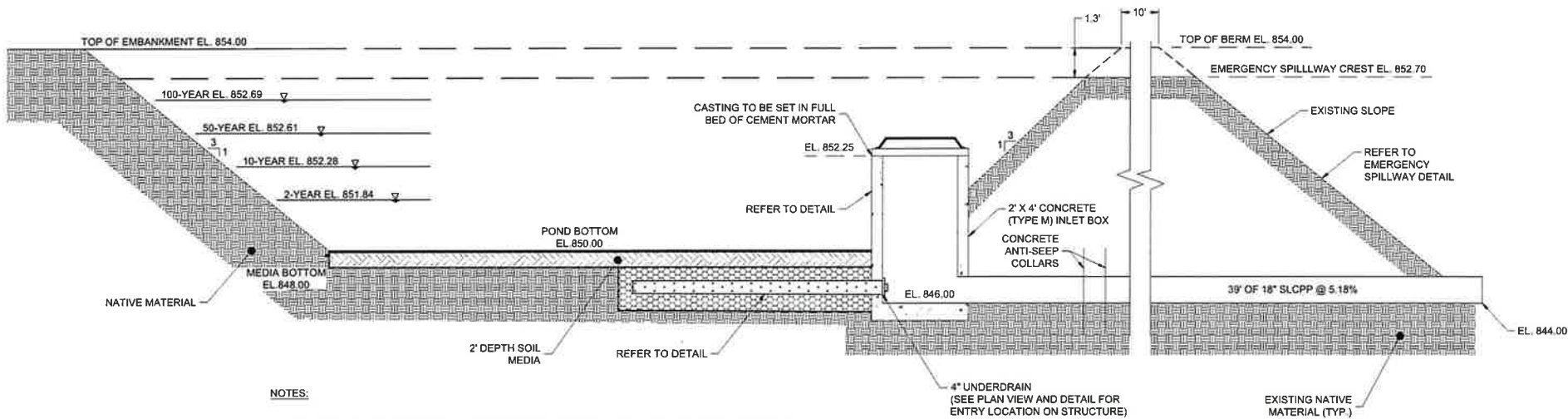
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 2/21/26 11:58 AM Benjamin R. Lindell, E.I.T.  
 Save Date: 2/20/26 12:38 PM

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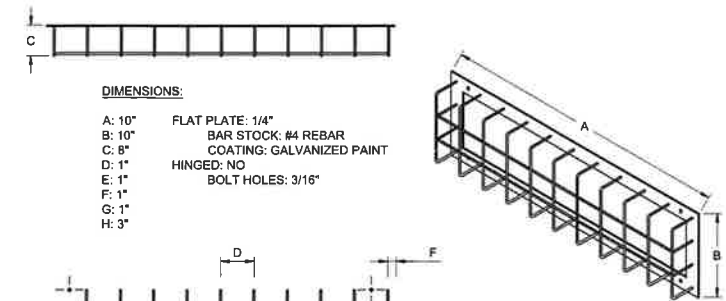
**CONCRETE ANTI-SEEP COLLAR**

- NOTES:**
1. MINIMUM DISTANCE TO PIPE JOINT SHALL BE 2 FEET.
  2. COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.
  3. SPLIT COUPLER COLLARS TO BE SIZED IN ACCORDANCE WITH OUTLET PIPE.



- NOTES:**
1. ALL BASIN STRUCTURES, FEATURES, AND ELEVATIONS TO BE SIZED AND ARRANGED ACCORDING TO THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT.
  2. CONSTRUCT INLET IN ACCORDANCE WITH THESE SPECIFICATIONS AND PENNDOT PUBLICATION 408, SECTION 605, FOR "CAST IN PLACE UNITS" AND SECTION 713.2 FOR "PRECAST CONCRETE UNITS".
  3. INLET GRATES TO BE GRAY IRON.
  4. MANHOLE STEPS REQUIRED IN ALL STRUCTURES OVER 5' DEEP.
  5. THE PERMANENT RISER STRUCTURE IS TO BE A PENNDOT TYPE M INLET BOX.

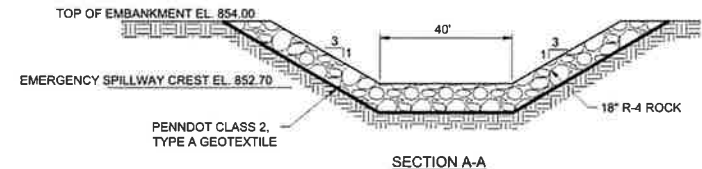
01	SCM 5.2: ABOVE/BELOW GROUND INFILTRATION BASIN (BASIN COMPONENT)
PCSM2	



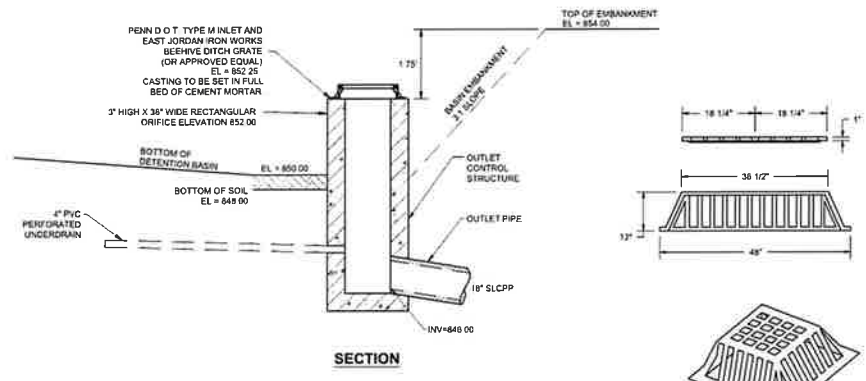
- DIMENSIONS:**
- A: 10"
  - B: 10"
  - C: 8"
  - D: 1"
  - E: 1"
  - F: 1"
  - G: 1"
  - H: 3"
- FLAT PLATE: 1/4"  
 BAR STOCK: #4 REBAR  
 COATING: GALVANIZED PAINT  
 HINGED: NO  
 BOLT HOLES: 3/16"

- NOTES:**
1. ANCHOR TO BOX WITH 1/4" x 2-3/4" TAPCON CONCRETE SCREWS.
  2. USE LANE ENTERPRISES, INC. TRASH RACK LANE MODEL #126 (OR APPROVED EQUAL).

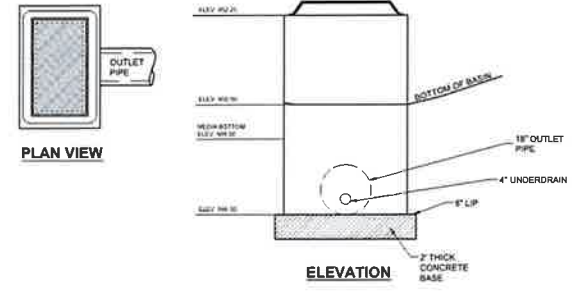
**ORIFICE TRASH RACK**



SWM	TOP ELEV	POND BOT ELEV	OUTLET STRUCTURE	RISER ELEV	SPILLWAY ELEV	SPILLWAY WIDTH	OUTLET PIPE DIA	OUTLET SIZE	OUTLET SLOPE
INFILTRATION BASIN	854.0	850.0	OS #2	852.25	852.70	40'	36.00	18"	5.18%



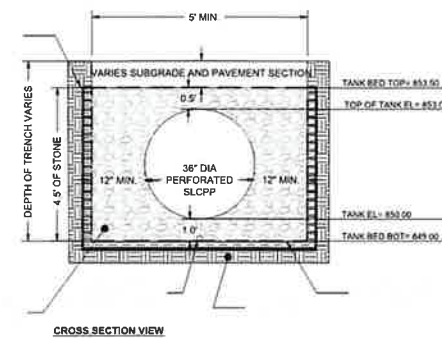
**SECTION**



**ELEVATION**

02	SCM 5.2: ABOVE/BELOW GROUND INFILTRATION BASIN OUTLET CONTROL STRUCTURE OS-2
PCSM2	

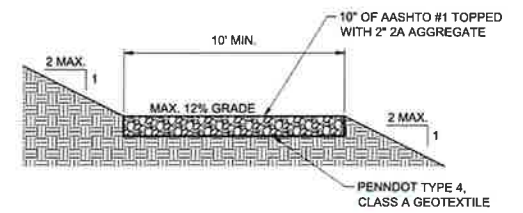
- NOTES:**
1. SEEHIVE DITCH GRATE SHALL BE EAST JORDAN IRON WORKS NUMBER 6496 (OR APPROVED EQUAL).
- OUTLET STRUCTURE GRATE**
- NOTES:**
1. OUTLET PIPE AND ORIFICE TO BE SIZED AND ARRANGED ACCORDING TO THE STORM WATER MANAGEMENT REPORT.
  2. CONSTRUCT INLET IN ACCORDANCE WITH THESE SPECIFICATIONS AND PENNDOT PUBLICATION 408, SECTION 605, FOR "CAST IN PLACE UNITS" AND SECTION 713.2 FOR "PRECAST CONCRETE UNITS".
  3. INLET FRAMES AND GRATES TO BE GRAY IRON.
  4. MANHOLE STEPS REQUIRED IN ALL STRUCTURES OVER 5' DEEP.



**CROSS SECTION VIEW**

- NOTE:**
1. PROVIDE 6 PERFORATIONS PER LINEAR FOOT OF PIPE
  2. REFER TO PLANS FOR PIPE SIZE, TYPE, AND SLOPE.

03	SCM 5.2 INFILTRATION BASIN (TANK COMPONENT)
PCSM2	

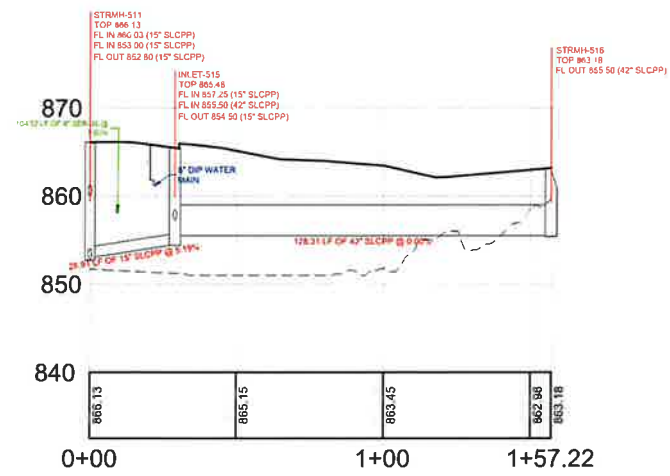
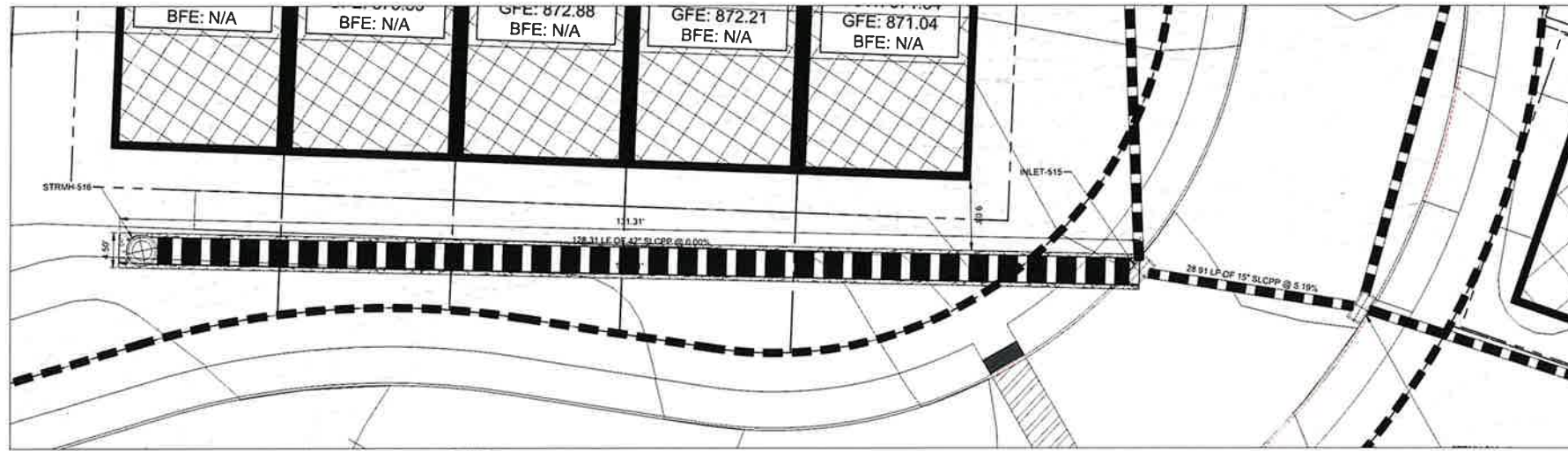


04	BASIN ACCESS ROAD TYPICAL SECTION
PCSM2	

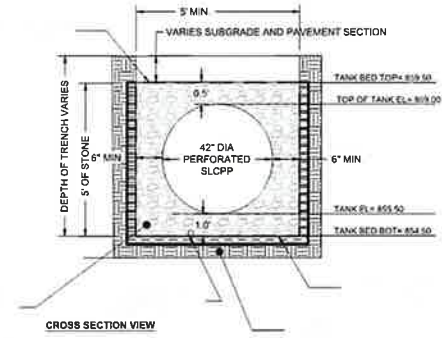
**REVISION RECORD**

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PCSM2 & FINANCE-G Project: 18927-0096 Phase 5: Design/Construct Phase 5: 19-4 LD Sep/PCSM Plan.dwg  
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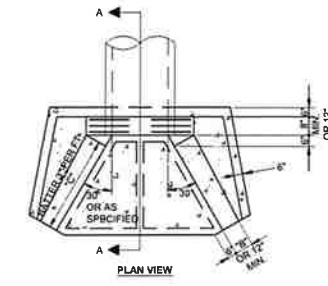


STRMH-516 TO STRMH-511 PROFILE  
 HORIZONTAL SCALE: 1" = 30'  
 VERTICAL SCALE: 1" = 10'



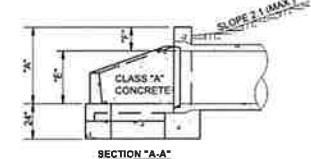
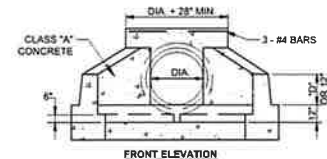
NOTE:  
 1. PROVIDE 6 PERFORATIONS PER LINEAR FOOT OF PIPE.  
 2. REFER TO PLANS FOR PIPE SIZE, TYPE, AND SLOPE.

01 SCMS.1: STORMWATER  
 PCSM3 DETENTION TANK



PIPE DIAMETER	A	B	C	D	E	F
15"	2'-6"	9"	2'-0"	12"	1'-9"	9"
18"	2'-6"	9"	2'-0"	12"	2'-0"	9"
24"	3'-3"	9"	2'-0"	12"	2'-6"	9"
30"	4'-0"	12"	2'-0"	15"	3'-0"	12"
36"	4'-6"	12"	2'-6"	15"	3'-6"	12"
42"	5'-3"	15"	4'-3"	18"	4'-0"	15"
48"	5'-9"	15"	4'-9"	21"	4'-6"	15"
54"	6'-3"	15"	5'-3"	24"	5'-0"	15"
60"	7'-0"	15"	5'-9"	2'-3"	5'-8"	18"
66"	7'-6"	15"	7'-0"	2'-9"	6'-0"	18"
72"	8'-0"	18"	7'-0"	2'-6"	6'-6"	18"
84"	9'-0"	18"	8'-3"	2'-9"	7'-6"	18"

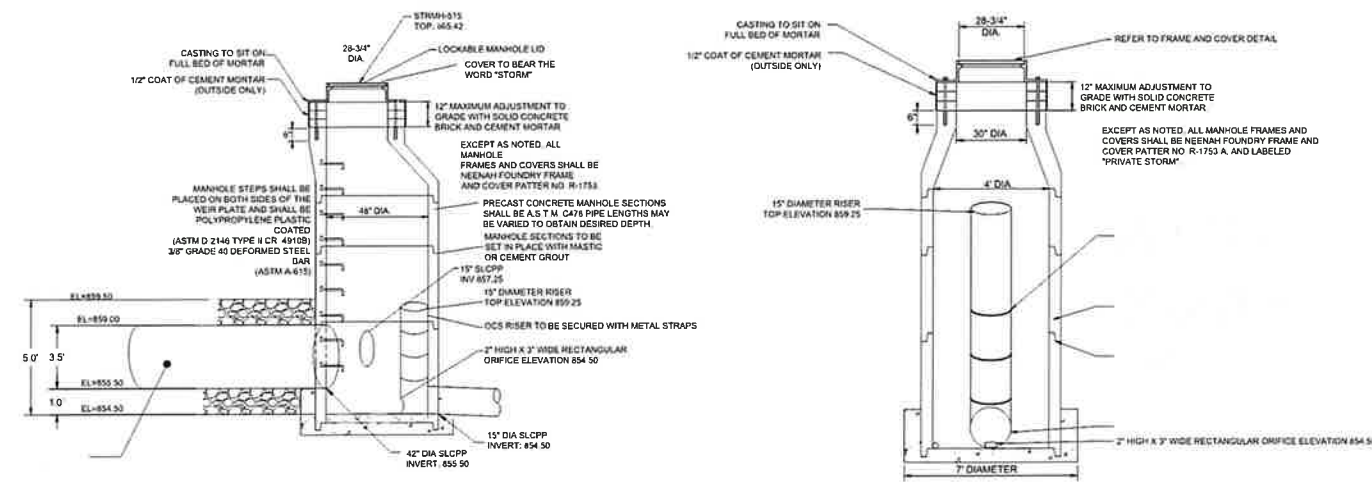
NOTE:  
 1. SHOP DRAWINGS FOR ALL PRECAST HEADWALLS/ENDWALLS OR CONCRETE END SECTIONS MUST BE SUBMITTED FOR APPROVAL.



NO.	PIPE DIA. (In)	TAIL WATER COND. (Max or Min)	MIN. FOR PIPE (FT/FT)	PIPE SLOPE (CFS)	Q (FPS)	V* (FPS)	Flow Depth (ft)	Tailwater Condition	RIPRAP SIZE	Rt (In)	At (ft)	Alw (ft)	Atw (ft)
EW-1	36	Min	0.011	0	6.36	4.27	0.79	Min	R-4	18	8.00	9.00	17.00
EW-2	36	Min	0.011	0	6.65	4.32	0.81	Min	R-4	18	8.00	9.00	17.00
EW-3	18	Min	0.011	0.0778	15.59	9.02	1.42	Max	R-5	27	25.00	4.50	15.00

NOTES:  
 ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.  
 ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

03 PCSM3 RIP-RAP APRON AT ENDWALL



02 PCSM3 SCMS.1: OUTLET STRUCTURE

REVISION RECORD

No.	Date
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BY A RESOLUTION APPROVED ON THE \_\_\_\_ DAY OF \_\_\_\_\_ THE BOARD OF DIRECTORS OF THE CHARTER HOMES AT HASTINGS, INC., INCORPORATED IN THE COMMONWEALTH OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE CHARTER HOMES AT HASTINGS PLAN PHASE 5 ADOPTED THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE TOWNSHIP OF SOUTH FAYETTE. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

CHARTER HOMES AT HASTINGS, INC.

WITNESS SIGNATURE \_\_\_\_\_

SIGNATURE OF AUTHORIZED OFFICER \_\_\_\_\_  
TITLE OF AUTHORIZED OFFICER: \_\_\_\_\_

DATE \_\_\_\_\_

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF ALLEGHENY, PERSONALLY APPEARED THE \_\_\_\_\_ OF THE CHARTER HOMES AT HASTINGS, INC., WHO STATED THAT (HE/SHE) IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE TOWNSHIP OF SOUTH FAYETTE.

WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_,

MY COMMISSION EXPIRES THE \_\_\_\_ DAY OF \_\_\_\_\_,



NOTARY PUBLIC \_\_\_\_\_

WE HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE CHARTER HOMES AT HASTINGS PLAN PHASE 5 IS IN THE NAME OF CHARTER HOMES AT HASTINGS, INC. AND IS RECORDED IN DEED BOOK VOLUME 18729, PAGE 546. WE FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

WITNESS \_\_\_\_\_ OWNER \_\_\_\_\_

I CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

DATE \_\_\_\_\_ PATRICK C. COOPER, P.L.S.  
REG. NO. 040392-E

I CERTIFY THAT THIS PLAN MEETS ALL ENGINEERING AND DESIGN REQUIREMENTS OF THE APPLICABLE ORDINANCES OF THE TOWNSHIP OF SOUTH FAYETTE, EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROPRIATE OFFICIALS OF THE MUNICIPALITY.

DATE \_\_\_\_\_ NAME \_\_\_\_\_  
RES. No. \_\_\_\_\_

THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SOUTH FAYETTE GIVES NOTICE THAT, IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF SOUTH FAYETTE ASSUMES NO OBLIGATION TO ACCEPT THE DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

SECRETARY \_\_\_\_\_ CHAIRPERSON OF THE BOARD \_\_\_\_\_

THE TOWNSHIP OF SOUTH FAYETTE AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

DATE \_\_\_\_\_ MUNICIPAL SECRETARY \_\_\_\_\_

REVIEWED BY THE SOUTH FAYETTE PLANNING COMMISSION OF THE TOWNSHIP OF SOUTH FAYETTE, THIS \_\_\_\_ DAY OF \_\_\_\_\_,

SECRETARY \_\_\_\_\_ CHAIRPERSON \_\_\_\_\_

APPROVED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SOUTH FAYETTE, BY RESOLUTION, THIS \_\_\_\_ DAY OF \_\_\_\_\_,  
\_\_\_\_\_, ALL CONDITIONS OF APPROVAL HAVE BEEN REVIEWED, AND THE PLAN SIGNED AND NOTED AS APPROVED, THIS \_\_\_\_ DAY OF \_\_\_\_\_,

SECRETARY \_\_\_\_\_ CHAIRPERSON OF THE BOARD \_\_\_\_\_

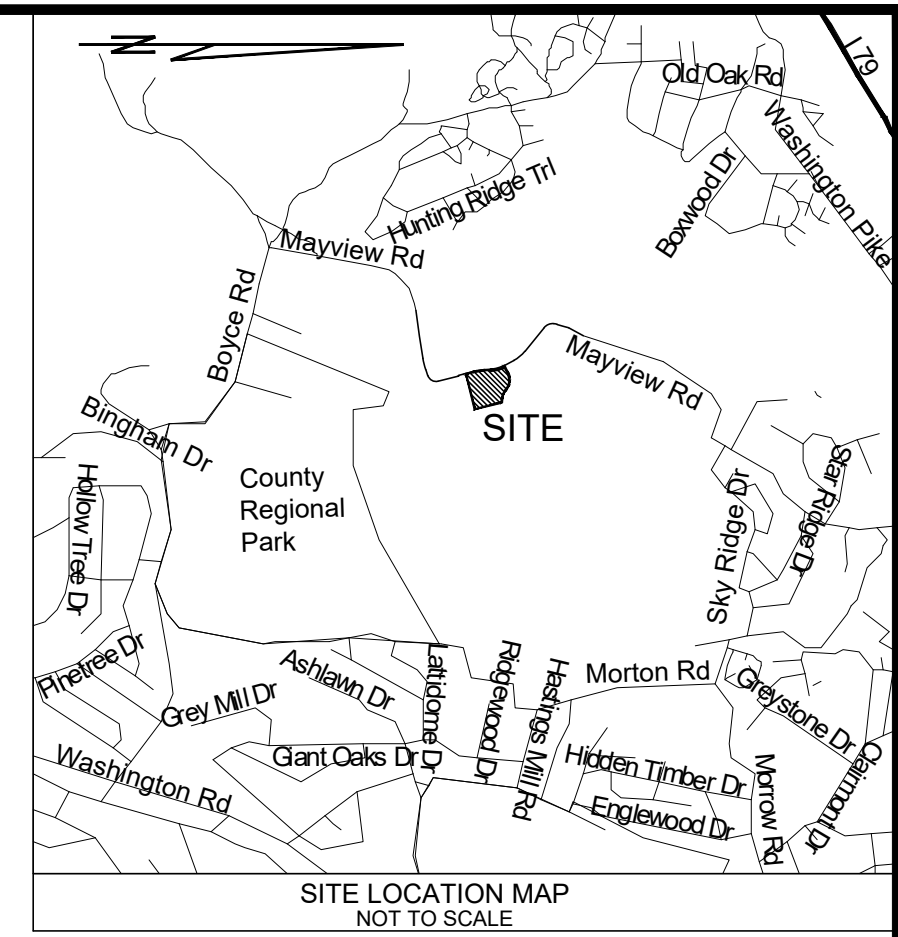
REVIEWED BY ALLEGHENY COUNTY DEPARTMENT OF ECONOMIC DEVELOPMENT ON THIS \_\_\_\_ DAY OF \_\_\_\_\_,

DIRECTOR \_\_\_\_\_

RECORDED IN THE DEPARTMENT OF REAL ESTATE OF THE COUNTY OF ALLEGHENY, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME \_\_\_\_\_, PAGE \_\_\_\_\_

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_,

MANAGER, DEPARTMENT OF REAL ESTATE \_\_\_\_\_

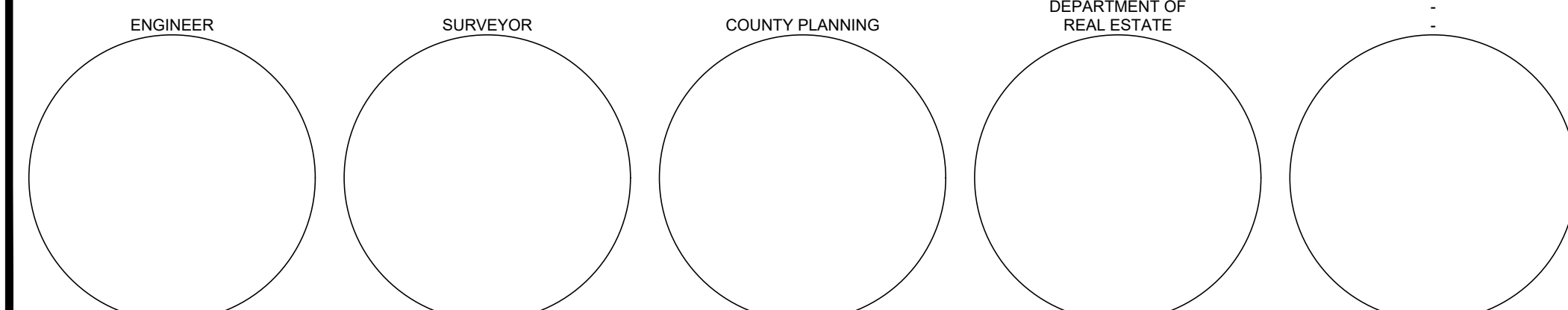


NOTES:

- 1) THESE PLANS AS SUBMITTED ARE INTENDED TO COMPLY WITH ALL REGULATIONS, STANDARDS, AND ORDINANCES OF THE SOUTH FAYETTE TOWNSHIP. ANY DEVIATION FROM THOSE REGULATIONS, STANDARDS AND ORDINANCES IS UNINTENTIONAL AND AS SUCH, IN THE EVENT THAT A CONFLICT IS DISCOVERED, IT IS UNDERSTOOD AND AGREED THAT THE SOUTH FAYETTE TOWNSHIP'S REGULATIONS, STANDARDS AND ORDINANCES WILL APPLY.
2) THE SUBJECT PROPERTY LIES IN AREA ZONE X, OTHER FLOOD AREAS, WHICH ARE AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 0.1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AREAS PROTECTED BY LEVEES FROM 0.1% ANNUAL FLOOD CHANNEL AND SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD AS DEPICTED ON FLOOD INSURANCE RATE MAP NUMBER 422003C0453H, MAP REVISED SEPTEMBER 26, 2014.
3) THERE IS HEREBY RESERVED ONTO CHARTER HOMES AT HASTINGS, INC. AND TO EACH OF ITS ASSIGNEES OR DESIGNEES AN EASEMENT FOR THE UNINTERRUPTED RIGHT OF ENTRY, INGRESS, EGRESS, AND REGRESS UPON, OVER, UNDER, THROUGH, AND ACROSS EACH OF THE LOTS DEPICTED ON THIS PLAN FOR THE PLACING AND MAINTAINING OF UTILITY SERVICE EQUIPMENT, FACILITIES, AND COMPONENTS, AND FOR ACCESS FOR THE INSTALLATION, REMOVAL, MAINTENANCE, REPAIR OR REPLACEMENT OF ANY UTILITY OR SERVICE CONDUITS, LINES, AND SYSTEMS, INCLUDING, BUT NOT LIMITED TO, THOSE PROVIDING WATER, SANITARY SEWER, STORM WATER MANAGEMENT (INCLUDING BUT NOT LIMITED TO STORM WATER DRAINAGE, SWALES, CULVERTS, PIPING, DISCHARGE OUTLETS, BASINS AND SIMILAR IMPROVEMENTS), ELECTRIC, TELEPHONE, GAS, TELEVISION CABLE, COMMUNICATION OR ANY OTHER SUCH SERVICE, SUBJECT TO THE CONDITION THAT UPON ANY USE OF THE EASEMENT, UPON COMPLETION OF THE WORK PERFORMED, THE USER SHALL, AT USER'S SOLE COST AND EXPENSE, RESTORE ANY PART OF THE LAND DISTURBED BY SUCH WORK TO APPROXIMATELY THE SAME CONDITION AS EXISTING PRIOR TO COMMENCEMENT OF THE WORK.
4) ALL BUILDING SETBACK LINES SHOWN OR CITED ON THIS PLAN ARE FOR INFORMATIONAL PURPOSES ONLY AND ONLY REPRESENT THE PRESENT BUILDING SETBACK REQUIREMENTS OF THE SOUTH FAYETTE TOWNSHIP ZONING ORDINANCE. NO EASEMENT, COVENANT OR OTHER RESTRICTION LIMITING THE USE OR LOCATION OF PRESENT OR FUTURE DEVELOPMENT OF ANY OF THE PROPERTY(IES) INCLUDED IN THIS PLAN IS INTENDED BY THE SHOWING OF THE ABOVE REFERENCED BUILDING SETBACK LINES. HOWEVER, ANY MODIFICATION IN USE OR LOCATION OF THE BUILDING SETBACK LINES SHOWN OR CITED ON THIS PLAN MUST BE WITH PRIOR WRITTEN APPROVAL OF SOUTH FAYETTE TOWNSHIP.
6) ALL PRIVATE STREETS SHOWN ON THIS PLAN ARE EASEMENTS FOR INGRESS, EGRESS, REGRESS, AND UTILITY PURPOSES.
a. BRAEBANK STREET - VARIABLE WIDTH ROW AND UTILITY EASEMENT
b. ARGVLL ALLEY - 20' ROW AND UTILITY EASEMENT
7) THE FOLLOWING RIGHTS OF WAY ARE SHOWN AND LABELED AS PUBLIC, PER THE REQUEST OF SOUTH FAYETTE TOWNSHIP. THESE RIGHTS OF WAY ARE TO BE DEDICATED FOR UTILITY AND ROAD PURPOSES AND ARE EVENTUALLY TO BE CONSIDERED PUBLIC, ONCE AND IF THE SOUTH FAYETTE TOWNSHIP ACCEPTS THEM.
8) THE FOLLOWING RIGHTS OF WAY ARE SHOWN AND LABELED AS PRIVATE, PER THE REQUEST OF SOUTH FAYETTE TOWNSHIP.
9) THE TOWNSHIP HAS NO MAINTENANCE RESPONSIBILITY ON PRIVATE STREETS.
10) DRIVEWAY ACCESS TO THE STATE HIGHWAY SHALL BE ONLY AS AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT FROM THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, AS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (PL. 1242, NO. 428) KNOWN AS THE STATE HIGHWAY LAW."

NOTE: ALL SIGNATURES MUST BE MADE WITH A NAVY BLUE INK FELT TIP PEN.

1 Path & Elevation C:\Projects\180001\180001\_18027\_Mayview\Phase 5 Subdivision\Plan.dwg Plot Date: 2/9/2026 1:46 PM Kenneth C. Winkler Save Date: 2/9/2026 1:44 PM

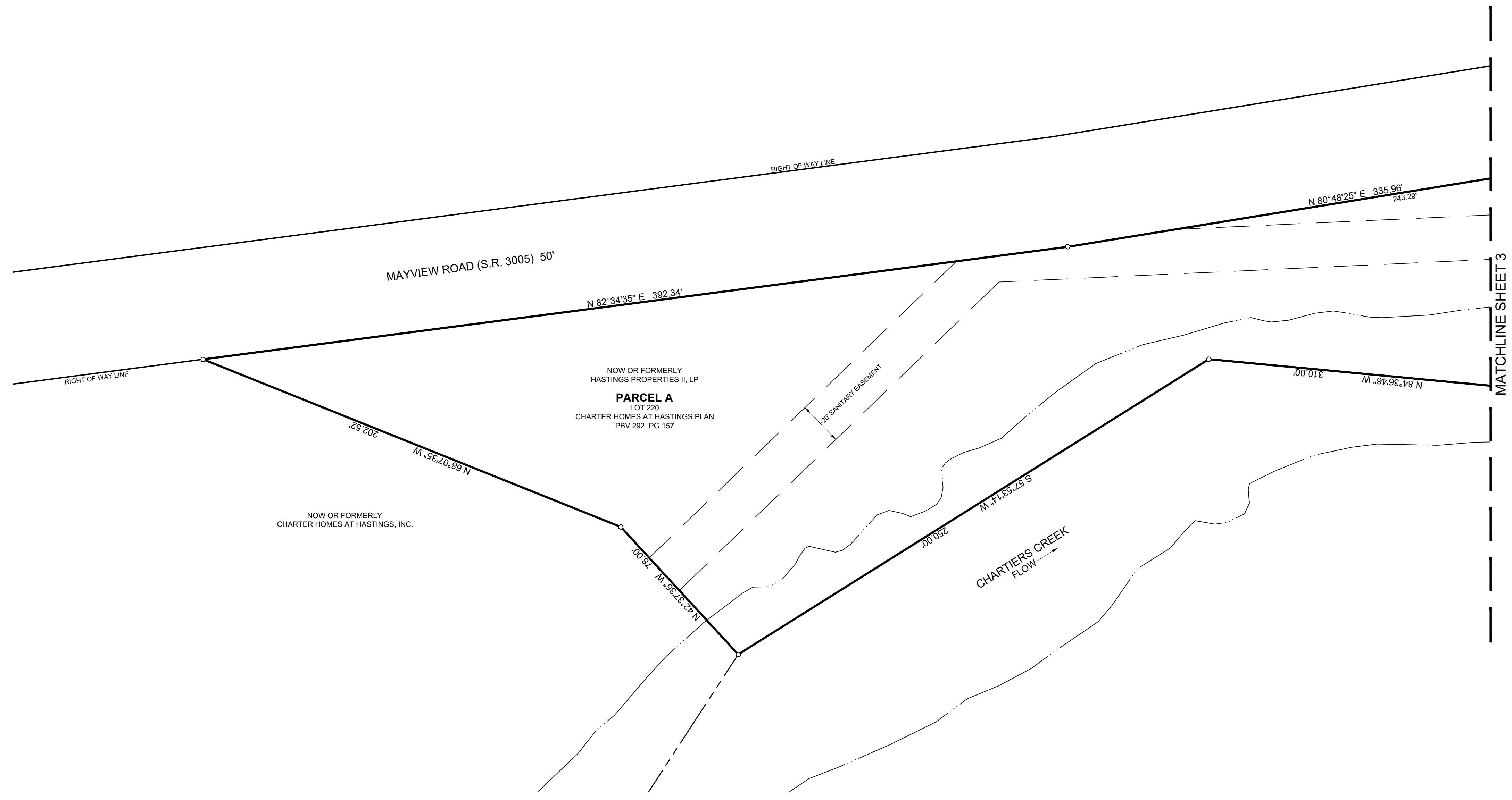
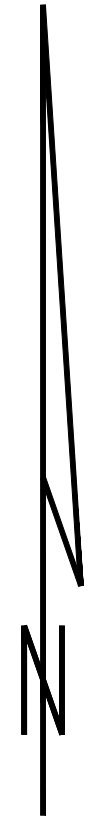


OWNER: CHARTER HOMES AT HASTINGS, INC 322 NORTH ARCH STREET LANCASTER, PA 17603

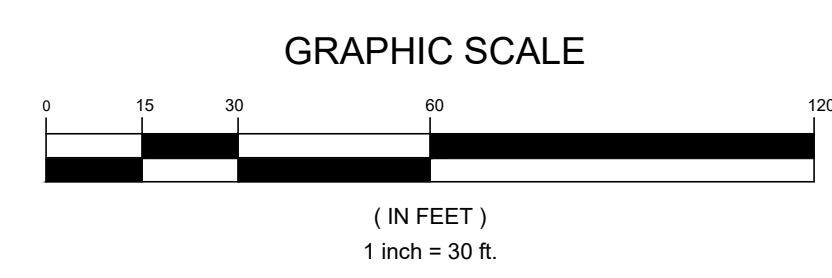
GATEWAY ENGINEERS logo and contact information: The Gateway Engineers, Inc. Full-Service Civil Engineering & Surveying 100 McMorris Road, Pittsburgh, PA 15205 www.GatewayEngineers.com 855-634-9284

CHARTER HOMES AT HASTINGS PLAN PHASE 5 BEING A SUBDIVISION OF CHARTER HOMES AT HASTINGS PLAN AS RECORDED IN THE ALLEGHENY COUNTY DEPARTMENT OF REAL ESTATE IN PLAN BOOK VOLUME 292, PAGE 157.

SITUATE IN SOUTH FAYETTE TOWNSHIP ALLEGHENY COUNTY, PA MADE FOR CHARTER HOMES AT HASTINGS, INC. 322 NORTH ARCH STREET, FIRST FLOOR LANCASTER, PA 17603

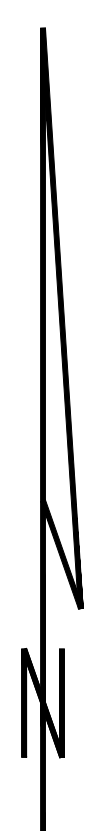


NOW OR FORMERLY  
CHARTER HOMES AT HASTINGS, INC.



	The Gateway Engineers, Inc. Full-Service Civil Engineering & Surveying 100 McMorris Road, Pittsburgh, PA 15205 www.GatewayEngineers.com 855-634-9284
	<p><b>CHARTER HOMES AT HASTINGS PLAN PHASE 5</b>          BEING A SUBDIVISION OF CHARTER HOMES AT HASTINGS PLAN AS RECORDED IN THE ALLEGHENY COUNTY DEPARTMENT OF REAL ESTATE IN PLAN BOOK VOLUME 292, PAGE 157.</p> <p>SITUATE IN  <b>SOUTH FAYETTE TOWNSHIP</b>  <b>ALLEGHENY COUNTY, PA</b></p> <p>MADE FOR  <b>CHARTER HOMES AT HASTINGS, INC.</b>  <b>322 NORTH ARCH STREET, FIRST FLOOR</b>  <b>LANCASTER, PA 17603</b></p>
PM: DMH DB: KCW CB: DMH	Date: FEBRUARY 9, 2026 Job Number: C-18927-0096 Dwg No: XXX-XXX SHEET 2 OF 3
SCALE: 1" = 30'	

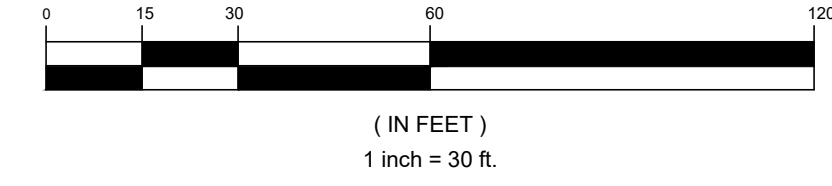
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 Plot Date: 2/9/2026 1:48 PM Kenneth C. Winkler Save Date: 2/9/2026 1:44 PM



MATCHLINE SHEET 2



GRAPHIC SCALE



**GATEWAY ENGINEERS**  
 The Gateway Engineers, Inc.  
 Full-Service Civil Engineering & Surveying  
 100 McMorris Road, Pittsburgh, PA 15205  
 www.GatewayEngineers.com 855-634-9284

**CHARTER HOMES AT HASTINGS PLAN PHASE 5**  
 BEING A SUBDIVISION OF CHARTER HOMES AT HASTINGS PLAN AS RECORDED IN THE ALLEGHENY COUNTY DEPARTMENT OF REAL ESTATE IN PLAN BOOK VOLUME 292, PAGE 157.

SITUATE IN  
**SOUTH FAYETTE TOWNSHIP ALLEGHENY COUNTY, PA**  
 MADE FOR  
**CHARTER HOMES AT HASTINGS, INC.**  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA 17603

DATE: FEBRUARY 9, 2026  
 JOB NUMBER: C-18927-0096  
 DWG NO: XXX-XXX SHEET 3 OF 3

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 Plot Date: 2/9/2026 1:12 PM Kenneth C. Winbala Save Date: 2/9/2026 1:44 PM



# Gibson-Thomas

ENGINEERING

**Pittsburgh Office**  
9951 Old Perry Highway  
Wexford, PA 15090  
Phone: **724-935-8188**  
Fax: **724-935-8189**  
[www.gibson-thomas.com](http://www.gibson-thomas.com)

March 17, 2026

GTE 18710

MEMO TO: Mr. John Barrett, Manager  
South Fayette Township  
100 Township Drive  
South Fayette, PA 15017

FROM: Gibson-Thomas Engineering Co., Inc.  
Brandon S. Wiltout, PE, Planning Commission Representative  
[brandon.wiltout@gibson-thomas.com](mailto:brandon.wiltout@gibson-thomas.com)

SUBJECT: Preliminary & Final Land Development – **Review #1**

PLAN NAME: Charter Homes at Hastings, Phase 5

APPLICATION NO. F-01-2026

LOCATION: Parcel No. 571-A-10  
Mayview Road  
Bridgeville, PA 15017

ZONING: ND – Neighborhood Design

MADE BY: The Gateway Engineers, Inc.  
100 McMorris Road  
Pittsburgh, PA 15205  
(412) 921-4030

MADE FOR: Charter Homes at Hastings, Inc.  
322 North Arch Street, First Floor  
Lancaster, PA 17603

DATE OF PLAN: February 2026

RECEIVED IN  
GTE OFFICE: February 13, 2026

SUBMITTED  
MATERIAL:

- Land Development Plans (30 Sheets)
- Subdivision Plan (3 Sheets)
- Township Applicatio

ESTABLISHED 1916

## **General Comments**

1. Gibson-Thomas Engineering Co., on behalf of South Fayette Township, reserves the right to re-review ordinances, address and apply other existing ordinances as we deem necessary to assure compliance with any and all drawings, reports, and exhibits when submitted or resubmitted on behalf of the applicant.
2. When resubmitting the revised plan, a review response letter addressing the comments contained herein is required.
3. This project proposes the continuation of a Neighborhood Design development within the Township. Phase 5 of the development proposes 14 single-family homes and 10 town homes on one of the remaining developable parcels within the Hastings neighborhood. This phase is contingent on approval of the Master Plan revision for the overall development, as this parcel was previously designated for a non-residential use.
4. The stormwater management system will include a series of pipe networks, underground tanks, and infiltration basins that will discharge into Chartiers Creek. The total disturbed area for the project is 4.50 acres.
5. The Applicant shall address any third-party review and comments prior to final approval.
6. The following modifications were previously granted for the Hastings Neighborhood Design project:
  - I. Modification granted from §240-76.20.B.1 to permit lot areas of less than 4,000 square feet for single family homes when the home is served by an alley. This modification pertains to 12 of the 20 single family lots.
  - II. Modification granted from §240-76.20.B.2 to permit lot area minimums of less than 1,400 square feet for townhouse units 513, 514, 517, 518, 519, 522, 523, 528, 529, 534, 535, 536, 539, 540, 543, 544, 545, 570, 571, 572, 585, 586, and 587. This modification does not apply to the townhouse units proposed for this phase.
7. The following modifications are requested for this application:
  - I. A modification is requested for § 215-74.E to allow a cul-de-sac street that exceeds 500 feet in length, as shown on the plan. This section provides in part: "a Cul-de-sac shall not be approved when a through street is practical and shall not be more than 500 feet in length, unless an intermediate turn around is provided at a distance of every 500 feet and a modification or exception to the maximum five-hundred-foot length of the cul-de-sac is granted in accordance with the requirements of Article IX of this Chapter.
  - II. A modification is requested for § 215-78.C.5.c to allow a portion of the new street and retaining wall at the entrance to Phase 1.9.4 to encroach into the riparian buffer by approximately 15-ft, as shown on the plan. This section provides: (c) minimum management requirements for riparian buffers. (1) no use or construction within the riparian buffer shall be permitted that is inconsistent with the intent of the riparian buffer as described in subsection C(5)(a).

8. The approval of this plan is contingent upon the approval of the Master Plan Revision (PP-01-2026).
9. The Applicant shall submit a “Deed Required Notification Clause” signed by the owner.
10. The landowner’s name shall be cited exactly as it appears in the deed to the property. Currently the name on the plan, “The Charter Homes at Hastings, Inc.”, is inconsistent with the name on the deed “Hastings Properties II, LP”. If the company has changed names, then both names shall be listed on the plan (A/K/A). If the properties have changed ownership, then the deed must be updated to reflect that change.

### **Chapter 160 – Floodplain Management Comments**

1. § 160-402.A.2 – Within any floodway area, no new construction or development shall be allowed, unless the appropriate permit is obtained from the Department of Environmental Protection Regional Office. A permit shall be acquired for the stormwater management features encroaching on the 100-year floodway.

### **Chapter 163 – Grading and Excavating Comments**

1. § 163-4.D – A grading permit shall be required for this project. When soil excavated under the authorization of a building permit properly issued by the governing body is temporarily stockpiled on the same site as excavation; provided, however, that if the material from such excavation is thereafter to be used for fill purposes for which a grading permit is required, such permit must be obtained prior to such use in accordance with the requirements of this chapter.
2. § 163-11.B – The Applicant shall provide a geotechnical report to determine whether the on-site material is sufficiently stable to sustain the proposed 2:1 slope.
3. § 163-11.C – The top and bottom edge of slopes shall generally be set back from adjacent property lines or street right-of-way lines in order to permit the normal rounding of the edge without encroaching on the abutting property or street.
4. § 163-14 – The Applicant shall provide plans for the retaining walls.

### **Chapter 210 – Streets and Sidewalks Comments**

1. The Applicant shall specify the ownership of the proposed roadways. On the site plans, Braebank Street is listed as private. On the cover sheet, it is listed as public.
2. It is recommended that the existing access road connecting to Hastings Park Drive remain for an additional emergency access point to the properties. An access easement shall be created and referenced on the plan.

3. § 210-2 – The Applicant shall acquire a permit for the subsurface utility connections along Mayview Road. It shall be unlawful for any person to make any street opening without first securing a permit therefore from the Township of South Fayette.
4. § 210-4 – All public street openings and excavations shall follow the specifications in this chapter.

### **Chapter 215 – Subdivision/Land Development Comments**

1. As per the Construction Standards, § 5.6.2, “All utilities will be located in the public right-of-way, but outside the pavement section or within a 10’ utility easement just outside the right-of-way. All utilities will be located minimum of three and one-half (3.5) feet behind the back of the curb.” The Applicant shall revise the water line placement and provide the location of the electric line.
2. Existing features that are to be removed in entirety shall be removed from all proposed site plans for clarity, including the existing bituminous pavement that is seen behind Lots 601 and 602 unless the access road is remaining as per Chapter 210, Comment #2.
3. The Applicant shall provide hatched areas for the townhouse driveways and provide sidewalk access for Lots 596-600.
4. Braebank Street is classified as S.48.28.1, indicating that parking will occur on one side of the street. These spaces shall be shown on the site plan and added to the parking table on the cover sheet. A detail of line striping shall be added to the plans.
5. A detail was provided for directional arrows, speed limit signs, and pedestrian crossing signs, but none are proposed on the site plan. The Applicant shall revise this and provide a detail for the proposed stop bars.
6. The truck turning template indicates that a firetruck cannot successfully use the cul-de-sac without encroaching on the granite block curb and sidewalk. This is due to the cul-de-sac not being of appropriate size as per SFT-SD-007. The Applicant shall consult the standard detail and revise the cul-de-sac.
7. § 215-39.E – The Applicant shall provide written evidence that the application has been submitted to the Allegheny County Conservation District for review.
8. § 215-39.K.6 – The Applicant shall provide survey data showing boundaries of the property, building or setback lines and lines of existing and proposed streets, lots, reservations, easements and areas dedicated to public use, including grants, restrictions and rights-of-way, to be prepared by a licensed land surveyor. The name, address, signature and seal of the surveyor shall be indicated. Setbacks shall be shown and labeled for the overall property and for each lot.
9. § 215-39.K.14 – The Applicant shall provide a steep slopes map with designation of areas with slopes in excess of 40% and slopes in excess of 25% but not more than 40% in accordance with § 215-73.C.
10. § 215-39.K.19 – The Applicant shall provide a table indicating the area, in square feet, of each lot.

11. § 215-39.K.24 – The Applicant shall provide the location, width and purpose of all existing and proposed easements and rights-of-way on the site plans.
12. § 215-39.K.27 – The Applicant shall provide a completed soil erosion and sedimentation control plan. The entire LOD shall be shown for this phase exclusively with an approximate acreage disturbance. The LOD shall be increased to include the utility and roadway connections along Mayview Road. A topsoil stockpile shall be identified.
13. § 215-39.K.31 – The Applicant shall provide a complete tabulation of site data as it pertains to this phase, indicating zoning requirements applicable to the site and whether the proposed site development features comply.
14. § 215-39.K.33 – The Applicant shall provide details of all exterior lighting fixtures and supports; documentation that the proposed lighting will be shielded and reflected away from adjacent streets and residential properties; a photometric plan in accordance with § 215-82.A.
15. § 215-39.K.36 – The Applicant shall provide a predicted time schedule.
16. § 215-42.E.5 – The Applicant shall provide lot and block numbers assigned to the property by the County Assessment Office, including lot and block numbers of immediately abutting property.
17. § 215-42.E.10 – The Applicant shall provide certification of service from all applicable utility companies.
18. § 215-42.E.22 – The Applicant shall provide an N.P.D.E.S. permit obtained from the Allegheny County Conservation District.
19. § 215-42.E.23 – The Applicant shall provide final stormwater management calculations and construction drawings for stormwater management facilities as required by § 215-78 of this chapter.
20. § 215-42.E.25 – The Applicant shall provide written evidence that an amenities bond for private improvements, as required by § 215-46 of this chapter, will be submitted at the time of execution of the development agreement.
21. § 215-52.B – At the Township Engineer's discretion, an inspector may be required to be present at the site on a continual basis while work is in progress. The cost of providing a full-time or part-time inspector shall be charged to the developer in accordance with § 215-90C of this chapter.
22. § 215-53.B – When the developer has completed the required private improvements in an approved land development plan, the developer shall make a request, in writing, to the Township Code Enforcement Officer for a final inspection as a prerequisite to the certificate of completion required by § 215-60 of this chapter. As-built plans shall be provided as per § 215-54.
23. § 215-63 – The Applicant shall provide existing and proposed monuments on the plan for recording. Concrete monuments shall be set at the intersection of all lines forming angles in the boundary of the subdivision, including all points of curve and points of tangent.

24. § 215-64.D – The location and type of fire hydrants shall be subject to the review and approval by the Chief of the Volunteer Fire Department.
25. § 215-65.B.8 – A notation shall be placed on the plat for recording indicating that the Township has no maintenance responsibilities for the private street.
26. § 215-65.B.9 – The plat for recording shall contain a notation and the deeds for each lot shall contain a reference to an executed and recorded agreement obligating the property owners to maintain the private street.
27. § 215-65.B.12 – The owners of the lots shall provide signage approved and installed by the Township in the public right-of-way to indicate the name of the street, that the street is private and that there is no outlet. The Applicant shall label the proposed street signage provided for clarity.
28. § 215-68.C – The Applicant shall provide additional street lights at the intersection of Mayview Road for public safety as Construction Standard § 5.7.7.
29. § 215-74.A.2 – Dead-end streets shall not be permitted, unless the requirements of Subsection E or F are met.
30. § 215-74.E – A cul-de-sac shall not be approved when a through street is practical and shall not be more than 500 feet in length, unless an intermediate turnaround is provided at a distance of every 500 feet and a modification or exception to the maximum five-hundred-foot length of the cul-de-sac is granted in accordance with the requirements of Article IX of this chapter. A cul-de-sac shall have a minimum right-of-way radius and an outer minimum paving radius as specified in the Design Standards. The maximum grade of the turnaround portion of the cul-de-sac shall be 5%. A modification has been requested for this section.

### **Chapter 215-78 - Stormwater Management Comments**

1. A complete review of this chapter will be completed once a report with calculations is received. All applicable requirements of § 215-78.D.1.c.3 shall be reflected on the plans and report.
2. It is recommended that the infiltration basin access roads be adjusted so that access is directly from the private street and that SCM's requiring maintenance are not covered by the access road.
3. Detail #1 on Sheet PCSM2 shall be expanded to include the equalization tanks and both sides of the basin.
4. Detail #2 on Sheet PCSM2 shall be expanded to include the 3" x 38" orifice on the elevation view.
5. The PCSM easement shall be increased to include the access roads.
6. No catch basins shall be placed where a driveway intersects a street as per § 5.2.1.2 of the Township Construction Standards.

7. § 215-78.C.5.c.1 – No use or construction within the riparian buffer shall be permitted that is inconsistent with the intent of the riparian buffer as described in Subsection C(5)(a). A modification has been requested for this section.
8. § 215-78.D.1.c.3.f – The Applicant shall provide an expected project time schedule.
9. § 215-78.E.3.f – Facilities shall be equipped with an access road at least 10 feet wide and with a maximum grade of 15% that extends to the bottom of the detention facility. Access roads greater than 12% grade must be paved. Access roads 12% or less shall have a minimum six-inch depth of non-eroding aggregate surface. A gate with a minimum opening of 10 feet shall be provided for maintenance access. An access easement with a minimum width of 20 feet to all stormwater detention facilities shall be provided. The access easement shall include a statement on the recorded plan from the owner/operator of the facility granting access to the municipality.
10. § 215-78.E.3.g – All stormwater facility outlet structures shall have suitable gaskets to prevent leakage and piping of water through the facility embankment. All storm pipes installed through the facility embankment must be constructed of reinforced concrete pipe. Use of high-performance polypropylene pipe may be permitted with documentation of pipe manufacturer's backfill requirements.
11. § 215-78.E.3.h – A geotechnical investigation report for the construction of the stormwater detention/retention and infiltration facilities must be provided including design recommendation for embankment construction, interior and exterior slopes, drainage swales and infiltration areas.
12. § 215-78.E.3.i – Basin outlet structures shall have nonclogging trash racks over all design openings. Periodic cleaning of debris from trash racks shall be included in the operation and maintenance plan. The Applicant shall ensure each applicable orifice is labeled on the details as needing a trash rack and that the trash rack detail reflects appropriate dimensions.
13. § 215-78.H.2.c – Roof drains shall be a minimum of six inches in diameter and provide cleanouts at 50 feet intervals or at horizontal and vertical changes. The approximate roof drains locations and tie-ins shall be provided on the plans.

## **Chapter 240 - Zoning Comments**

1. § 240-76.20.L – Maximum building height shall be added to the zoning requirements table.
2. § 240-76.23 – The Applicant shall identify if any of the non-building parcels shall be reserved for open space.
3. § 240-76.24.2.b – Alleys are permitted in this district but must be constructed in accordance with the standards for local streets. The Applicant shall revise the alley paving detail on Sheet C601 to be of the same thicknesses as the private street section.

Sincerely,

GIBSON-THOMAS ENGINEERING CO., INC.

A handwritten signature in blue ink that reads "Brandon S. Wilttrout". The signature is fluid and cursive, with the first name being the most prominent.

Brandon S. Wilttrout, PE  
Project Manager

*The plans have been reviewed for conformance to the South Fayette Township adopted ordinances only. Gibson Thomas Engineering reserves the right to provide further and additional comments on the submitted plans upon the request of the South Fayette Township. The review has been based on surveys and drawings prepared by others and assumes this information is correct and valid as submitted. The Applicant shall acknowledge that any and all comments from this letter and any successive letters must be addressed before final approval.*

COUNTY OF



ALLEGHENY

SARA INNAMORATO  
COUNTY EXECUTIVE

March 17, 2026

Gary Hartz  
Planning Manager  
South Fayette Township  
100 Township Drive  
South Fayette, PA 15017

Project: **Charter Homes at Hastings Plan Phase 5**  
Location: 800 Millers Run Road Cecil, PA 15321  
Description: Major Subdivision  
Area: 6.182 acres  
ACED File#: 26-046 SU

Dear Mr. Hartz,

We received the above-referenced application on February 17, 2026, for a subdivision of parcel ID #571-A-10 into 25 lots on Mayview Road in the Township of South Fayette. We reviewed the application, and we offer the following comments:

- Areal footage shows an access road from this property onto the neighboring parcel 571-B-8. That road has not been drawn on the plans submitted implying that it will be removed. It is recommended that the road remains, at minimum for emergency access, to act as another access point for the property.
  - If an access easement doesn't already exist, one should be created and referenced on the plan.
- There is an unlabeled seal space, most likely reserved for the township. It is recommended that it be labeled to prevent confusion during signing.

The section below references the Allegheny County Subdivision and Land Development Ordinance:

- Appendix 2.1. To ensure that the owner is aware that the recording of this plat does not change the ownership of the property and that they will need to record a deed, a "Deed Required Notification Clause" should be added to the plans, and the owner must sign it. Please see the attached handout which explains this in greater detail and has the proposed language for the clause.

- Appendix 2.7. The landowner’s name must be cited exactly as it appears in the deed to the property. Currently the name on the plan, “The Charter Homes at Hastings, Inc.”, is inconsistent with the name on the deed “Hastings Properties II, LP”. If the company has changed names, then both names must be listed on the plan (A/K/A). If the properties have changed ownership, then the deed must be updated to reflect that change.

The section below references the South Fayette Township Subdivision and Land Development Ordinance:

- §215-26.H.(7). A legend was not included in the plans submitted.
- §215-23.H.(21). Front building lines were not included in the plans submitted.
- §215-23.H.(23). An area tabulation table was not included in the plans submitted.
- §215-23.H.(24). A zoning information table was not included in the plans submitted.
- §215-23.F.(7). The areas of the proposed lots were not provided.
- §215-23.F.(20). Monuments, and whether they were found or set, were not included in the plans submitted.

The section below references the South Fayette Township Zoning Ordinance:

- §240-76.20. Given the lack of information provided it is hard to determine whether the design standards provided in this section have been met.
- §240-76.23. Is the residual Parcel A intended to be reserved for common open space?

Should you have any questions, please contact Nicolas Binfield at (412) 350-3719 or at [nicolas.binfield@allegHENYcounty.us](mailto:nicolas.binfield@allegHENYcounty.us).

Sincerely,



Matthew T. Trepal, AICP  
Manager, Planning Division

MTT:ngb

## DEED REQUIRED NOTIFICATION CLAUSE

---

Recording a plan of subdivision alone does not change the ownership of the property. After a plan of subdivision has been recorded, a deed must also be recorded in order to transfer the title of the property from one landowner to another. If the deed and plan are recorded in the same year, the revaluation of the property will be completed, and the tax bills adjusted accordingly by the following year.

To ensure that the owners of property in a plan of subdivision are aware of the requirements regarding deeds, the following notification must be provided on all subdivision record plans and signed by all parties who are identified on the plan as a landowner:

I/we, the undersigned, hereby certify that we understand the following:

1. That recording a plan does not transfer title of property between landowners.
2. That a deed must be recorded in order to transfer the title of property from one landowner to another landowner.
3. That the plan and deed must be recorded in the same year in order for the revaluation of the property to be completed and tax bills to be adjusted accordingly by the following year.

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Owner

### Contact Information

---

Allegheny County Economic Development  
Attn: Planning Manager  
Koppers Building  
436 Seventh Avenue, Suite 500  
Pittsburgh, PA 15219  
Phone: 412-350-1030



# SOUTH FAYETTE TOWNSHIP

A Community Growing Together

## Review Referral

www.southfayettepa.com

Plan Name: <b>Hastings Phase 5</b>	Plan File Number: <b>F-01-2026</b>
Location: <b>571-A-10 (Mayview Road)</b>	Application Type: <b>Subdivision/Land Development</b>
Zoning: <b>ND – Neighborhood Design</b>	Applicant: <b>Hastings Properties</b>

The Township of South Fayette requests your review and comment on the above-referenced development plan.

	Code Enf.	Public Works	wWorks Police	Fire Dept.	EAC	SFSD	MATSF	ACED		Engr Cons.	Trfc Engr.
Reports: Environmental											
Geotechnical											
Traffic											
Plans:											
Other:											

Please forward your comments to South Fayette Township, 100 Township Drive, South Fayette, PA, 15017 or by calling (412) 221-8700.

\_\_\_\_\_  
Gary Hartz, Planning Director

02/13/2024  
Date

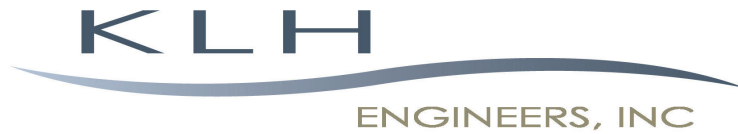
**Agency Comments: MATSF- Please see attached letter from KLH.**

Nick Goettman

2/27/26

\_\_\_\_\_  
Agency Signature

\_\_\_\_\_  
Date



February 26, 2026  
Ref. No. 217-03-071

Mr. David M. Heath, P.E.  
The Gateway Engineers, Inc.  
100 McMorris Road  
Pittsburgh, PA 15205

Dear Mr. Heath:

**Municipal Authority of the Township of South Fayette  
Hastings Phase 5  
Sanitary Sewer Plan Review**

As requested by the Municipal Authority of the Township of South Fayette (MATSF), KLH Engineers, Inc. (KLH) has completed a review of the sanitary sewer plans for Hastings Phase 5. The plans are dated February 2026. The plans were prepared by The Gateway Engineers, Inc. and received by our office on February 17, 2026. KLH reviewed the plans for compliance with MATSF standards and regulations. We offer the following comments:

1. All sewers shall be designed and constructed in accordance with MATSF standards and regulations, including Appendix A, Basic Design and Construction Parameter Checklist, which can be obtained from MATSF. This requirement is specifically noted on Drawings C300, C340, and C341.
2. A Developer's Sewage Service Agreement is required. The standard agreement can be obtained from MATSF. The Developer shall provide escrowed funds/bonding with MATSF for the construction of the proposed sanitary sewers.
3. In advance of obtaining a Township building permit, a sanitary sewer connection fee must be paid to MATSF. The developer shall contact MATSF for the appropriate forms and fees. Payment of the sanitary sewer connection fee, however, is not required for construction of the proposed sanitary sewers.
4. The Developer shall obtain and provide easements for the proposed sanitary sewers on all impacted private properties where MATSF will take ownership of the sewers. All easements shall include acceptable exhibits and shall be reviewed and approved by MATSF and its solicitor prior to recording at the Allegheny County Recorder of Deeds office.
5. Acquisition of all permits shall be the responsibility of the Developer should they be required. The Developer shall follow all regulatory requirements including but not limited to preparation and implementation of an Erosion & Sedimentation Pollution Control Plan.
6. The Developer shall follow the PA One Call law during design and construction. If present, all existing utilities shall be shown on the plans. All utilities crossing the proposed sanitary sewers need to be shown in the profiles.

7. On the List of Utilities on Drawing C000, update MATSF's address to 700 Holland Street.
8. Due to the fill proposed over the existing 18" TCP sewer from Existing MH1 to Existing MH6, and based upon preliminary discussions between MATSF and the developer, the existing 18" TCP sewers are to be lined in these segments at the expense of the developer and in accordance with MATSF requirements. MATSF records indicate the sewer between Existing MH6 and Existing MH7 under the railroad is ductile iron and will not be required to be lined. MATSF requests that the developer responds in writing to acknowledge the proposed CIPP lining requirement. Lining shall occur prior to placement of fill in these areas.
9. We do not agree with the proposed MH508 tying into the existing 18" TCP sewer between Existing MH5 and Existing MH6. See attached recommended revision. Units 607 and 608 can then tie into the proposed sewers rather than the existing 18" TCP. This will eliminate the deep excavation and should result in savings for the developer. An inside drop connection will be required at Existing MH6.
10. MATSF Standard Detail Drawings were updated in February 2025 and shall be included on the plans. The February 2025 Standard Detail Drawings are attached.
11. All sanitary sewers must be designed to serve basement levels without pumping unless specifically authorized by both MATSF and Allegheny County Health Department (ACHD) Plumbing Division. Any proposed building that requires pumping for sanitary sewage must be clearly called out on design drawings during the municipal review process with justification as to why gravity flow is not reasonably feasible. The design engineer shall certify that no pumping is required. It is strongly recommended that the proposed utility plans be provided to the ACHD Plumbing Division for comments as they have primary jurisdiction for all sanitary sewers that will not be ultimately conveyed to MATSF.
12. Per MATSF specifications, 100% stone backfill is required under all improved surfaces including private roads, Township Streets, State Highways, driveways, parking areas, and sidewalks. This backfill shall consist of (for the entire trench width and depth) 2A limestone mechanically compacted in 6" lifts.
13. Sanitary sewer pipes located in fill areas require at least 95% compaction density and evidence of test results per MATSF specifications. This requirement is specifically noted on Drawings C300, C340, and C341.
14. It appears the horizontal distances between manholes shown on the plans are centerline to centerline measurements. These measurements were used to calculate the slopes shown for each pipe run on the profile drawings. The design engineer has included a note on the sanitary sewer plan and profile drawings so that it does not get missed by the contractor as the slopes and distances shown do not reflect actual proposed pipe lengths and slopes. As-built drawings should reflect actual pipe lengths and slopes.

The Gateway Engineers, Inc.  
February 26, 2026  
-Page three-

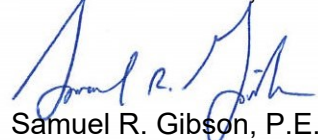
15. The plans must show influent and effluent inverts for all manholes. Provide a minimum 0.10 feet difference in elevation between the influent and effluent pipes in all manholes.
16. Please note, all manhole joints, with the exception of the frame to the cone, must be wrapped with "Wrapidseal" or approved equal. Refer to MATSF Standard Detail Drawings. This requirement is specifically noted on Drawings C300, C340, and C341.
17. Proposed sanitary service lateral wye stations based on stationing as measured from the downstream manhole are shown on the profile drawings.
18. A final "Issued for Construction" set of plans shall be provided to MATSF.
19. The developer shall provide final as-built record drawings after completion of construction. As-built drawings should reflect actual pipe lengths and slopes installed.

Based on the foregoing, KLH recommends the above revisions prior to approval. Additional comments may follow after review of subsequent submissions. Final approval by MATSF occurs when the Developer's Agreement is approved and signed.

Should you have any questions, please feel free to contact our office.

Very truly yours,

KLH ENGINEERS, INC.

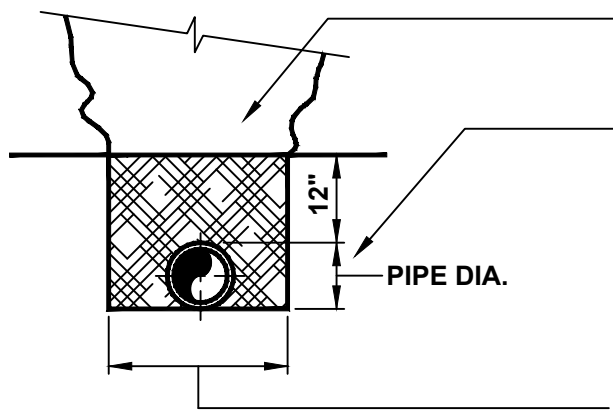


Samuel R. Gibson, P.E.  
Vice President

Enclosures

cc: Nick Goettman, Operations Manager, MATSF



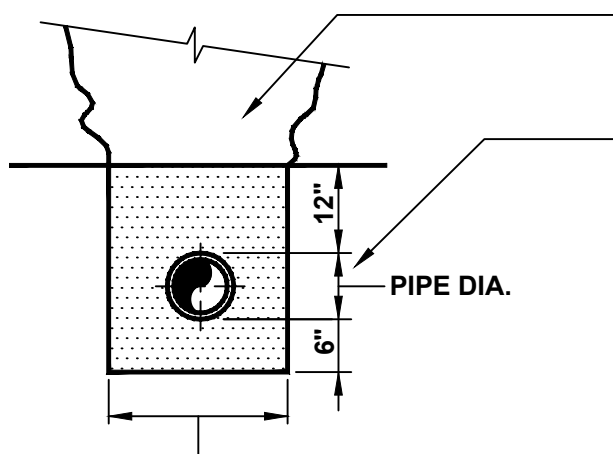


MECHANICALLY COMPACTED BACKFILL MATERIAL IN ACCORDANCE WITH MATSF CONSTRUCTION SPECIFICATIONS

DUCTILE IRON AND REINFORCED CONCRETE CULVERT PIPE ON NON-ROCK TRENCH BOTTOMS. BELL HOLES SHALL BE EXCAVATED TO ASSURE CONTINUOUS PIPE BARREL SUPPORT FOR FULL LENGTH OF PIPE SECTIONS. TRENCH SIDEWALLS SHALL BE PLUMB WITHIN PIPE ZONE.

**DETAIL A**

PIPE DIA. PLUS 2' MAX.  
PIPE DIA. PLUS 1' MIN.

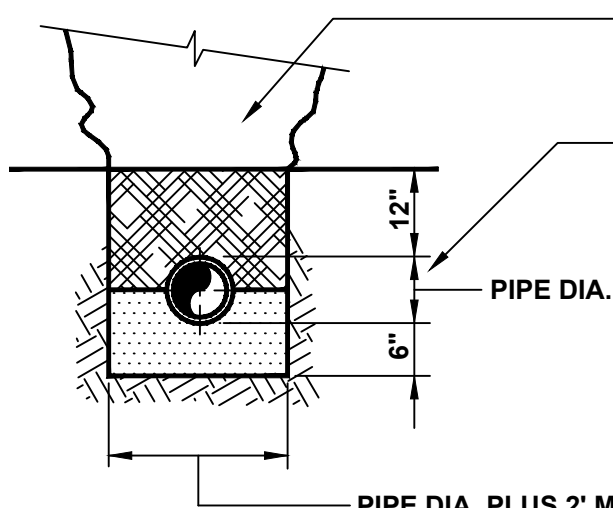


MECHANICALLY COMPACTED BACKFILL MATERIAL IN ACCORDANCE WITH MATSF CONSTRUCTION SPECIFICATIONS

PVC PIPE AT ALL LOCATIONS. TRENCH SIDEWALLS SHALL BE PLUMB WITHIN PIPE ZONE

**DETAIL B**

PIPE DIA. PLUS 2' MAX.  
PIPE DIA. PLUS 1' MIN.

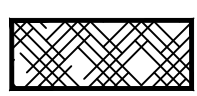


MECHANICALLY COMPACTED BACKFILL MATERIAL IN ACCORDANCE WITH THE MATSF CONSTRUCTION SPECIFICATIONS

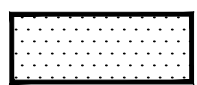
DUCTILE IRON PIPE AND REINFORCED CONCRETE CULVERT PIPE ON ROCK TRENCH BOTTOM. TRENCH SIDEWALLS SHALL BE PLUMB WITHIN PIPE ZONE.

**DETAIL C**

PIPE DIA. PLUS 2' MAX.  
PIPE DIA. PLUS 1' MIN.



SELECTED EXCAVATED MATERIAL MECHANICALLY COMPACTED MAXIMUM SIZE ROCKS- 3"



2B CRUSHED STONE OR CRUSHED GRAVEL

Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		<b>TRENCH PIPE ZONE DETAILS</b>
Not to scale	February 2025	Standard Detail SD-001

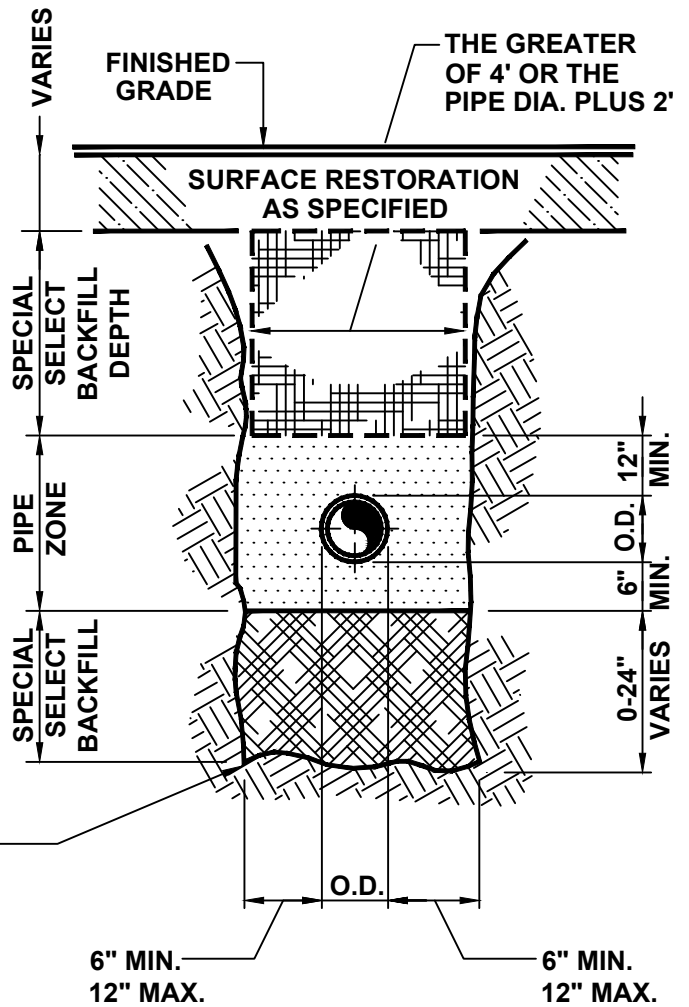
**NOTE:**

WHERE SPECIAL SELECT BACKFILL IS REQUIRED BETWEEN THE PIPE ZONE AND THE SURFACE MATERIAL, THE PIPE ZONE SHALL EXTEND 12" ABOVE THE PIPE REGARDLESS OF PIPE MATERIAL

 SELECTED EXCAVATED MATERIAL MECHANICALLY COMPACTED  
MAXIMUM SIZE ROCKS- 3"

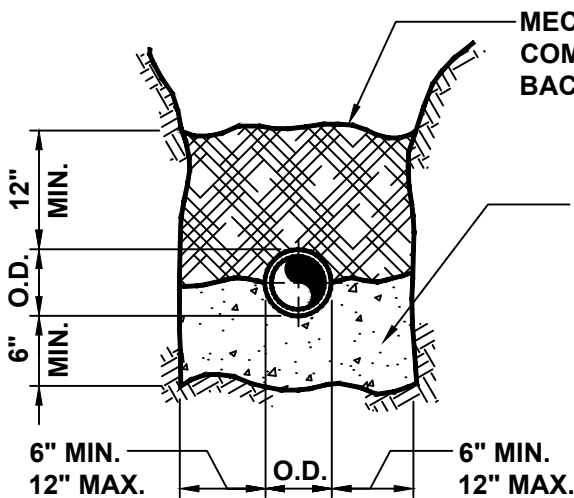
 2B CRUSHED STONE OR CRUSHED GRAVEL

 CLASS "C" CONCRETE OR BETTER



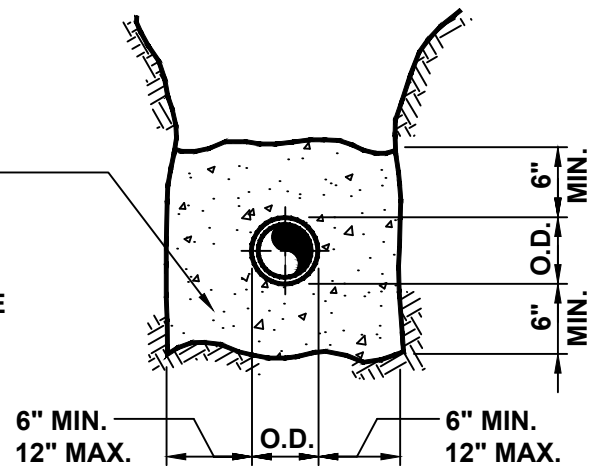
**SPECIAL BACKFILL  
DETAIL A**

WHERE EXCAVATION EXPOSES THE BOTTOM OF PROPOSED TRENCHES WHERE VERY SOFT OR OTHER UNSTABLE PIPE FOUNDATION MATERIALS EXIST, THE CONTRACTOR WILL BE DIRECTED TO OVERCUT OR STABILIZE / OVERCUT AND REPLACE WITH R4 RIP RAP CHOCKED WITH AASHTO #57 STONE. THE CONTRACTOR SHALL BE COMPENSATED FOR THE ADDITIONAL EXCAVATION IN ACCORDANCE WITH THE PROVISIONS SPECIFIED IN THE GENERAL CONDITIONS.



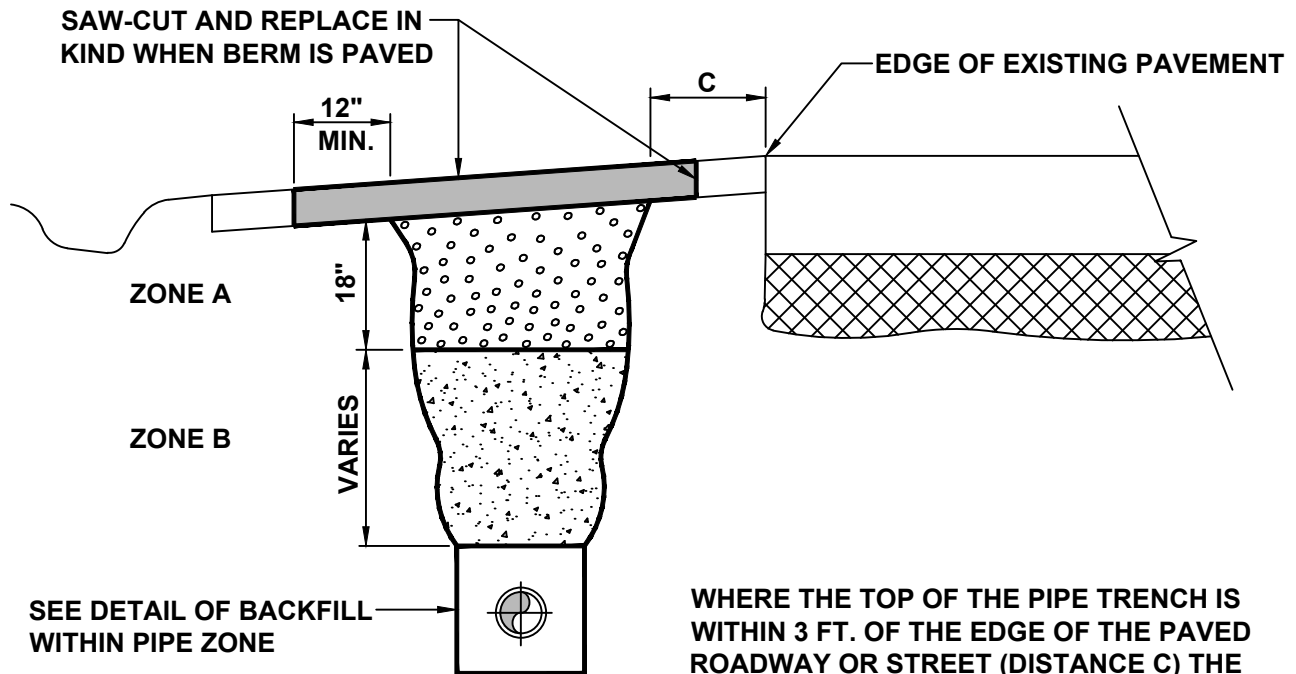
**TYPICAL CONCRETE CRADLE  
DETAIL B**

6" MIN. THICKNESS CONC. ENCASEMENT POURED AGAINST UNDISTURBED EARTH CLASS "C" CONCRETE OR BETTER



**TYPICAL CONCRETE ENCASEMENT  
DETAIL C**

Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		PIPE BEDDING DETAILS
Not to scale	February 2025	Standard Detail SD-002

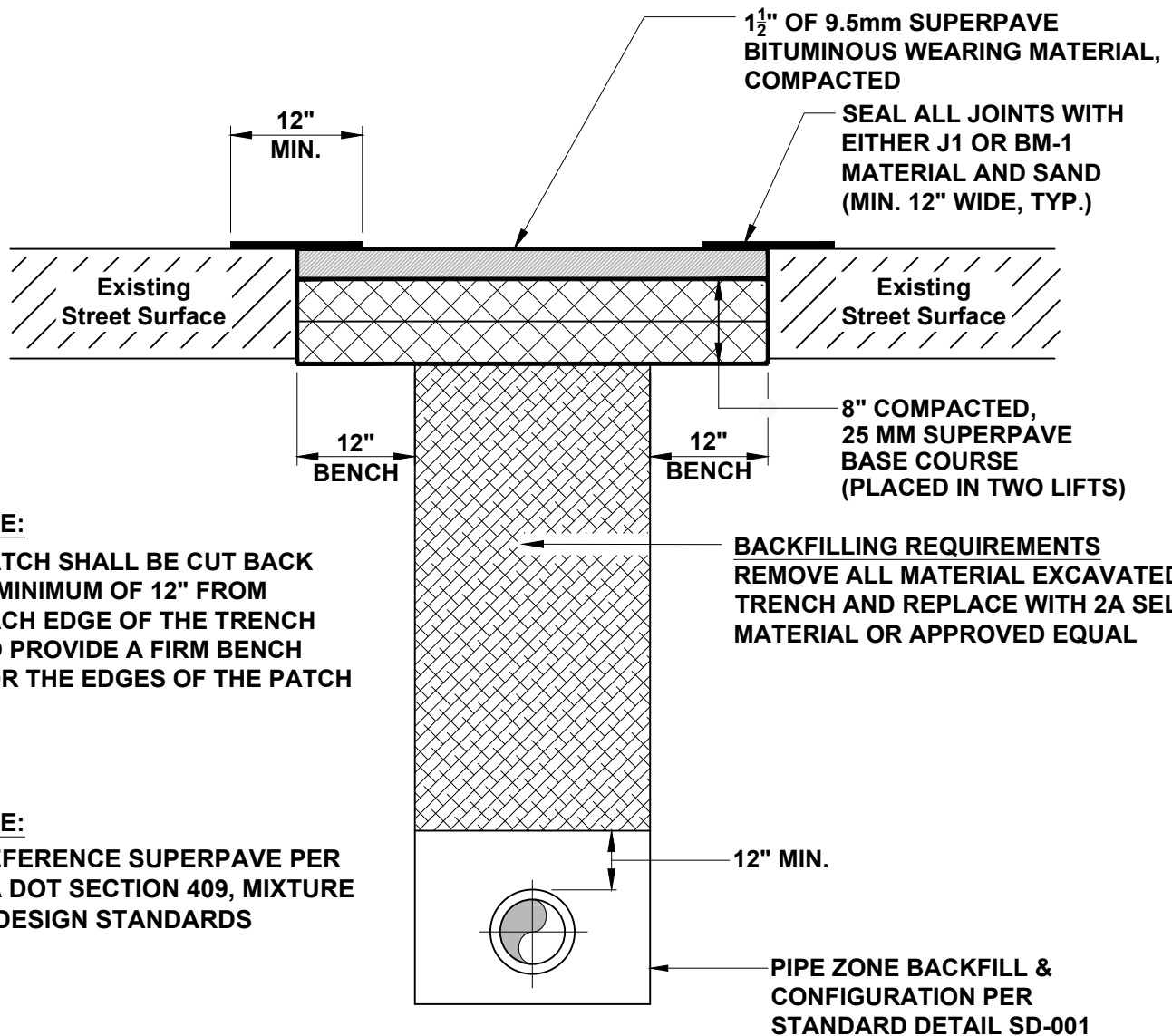


WHERE THE TOP OF THE PIPE TRENCH IS WITHIN 3 FT. OF THE EDGE OF THE PAVED ROADWAY OR STREET (DISTANCE C) THE ENTIRE TRENCH BACKFILL ABOVE THE PIPE ZONE, THAT IS THE BACKFILL PLACED IN ZONES A AND B SHALL CONSIST OF 2-A LIMESTONE MATERIAL MECHANICALLY COMPACTED IN 6" LAYERS.

WHERE THE TOP OF THE PIPE TRENCH IS GREATER THAN 3 FT. FROM THE EDGE OF THE PAVED ROADWAY (DISTANCE C) BACKFILL PLACED IN ZONE B SHALL BE EXCAVATED MATERIAL FROM THE TRENCH, FREE OF ROCKS LARGER THAN 3" AND MECHANICALLY COMPACTED IN 6" LAYERS. BACKFILL MATERIAL PLACED IN ZONE A (THE TOP 18" OF THE TRENCH) SHALL BE 2-A LIMESTONE MATERIAL MECHANICALLY COMPACTED IN 6" LAYERS.

WHERE THE BERM IS NOT PLANTED OR PAVED IT SHALL BE RESTORED FOR ITS ENTIRE WIDTH BY APPLICATION OF RT-2W BITUMINOUS MATERIAL AT A RATE OF 0.2 TO 0.5 GALLONS PER SQUARE YARD DEPENDING UPON LOCATION AND PREVAILING TEMPERATURES AT TIME OF APPLICATION.

<p>Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017</p>		<p>TRENCH BACKFILL WITHIN ROADWAY OR STREET BERMS</p>
<p>Not to scale</p>	<p>February 2025</p>	<p>Standard Detail SD-004</p>



**NOTE:**

PATCH SHALL BE CUT BACK A MINIMUM OF 12" FROM EACH EDGE OF THE TRENCH TO PROVIDE A FIRM BENCH FOR THE EDGES OF THE PATCH

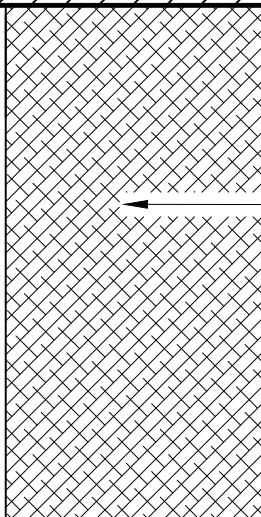
**NOTE:**

REFERENCE SUPERPAVE PER PA DOT SECTION 409, MIXTURE & DESIGN STANDARDS

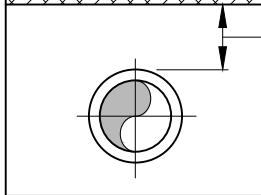
**NOTE:**

DURING COLD WEATHER WHEN SUPERPAVE MATERIAL IS NOT AVAILABLE FROM THE ASPHALT PLANTS THE TRENCH SHALL BE BACKFILLED WITH BEDDING MATERIAL TO AN ELEVATION WITHIN 3" OF THE ROAD SURFACE. THE TRENCH SHALL THEN BE SURFACED WITH A TEMPORARY PATCH OF COLD PATCH MATERIAL. AS SOON AS THE ASPHALT PLANTS OPEN IN THE SPRING, THE CONTRACTOR SHALL REMOVE THE COLD PATCH MATERIAL AND SAW-CUT THE REQUIRED BENCHES AND THE SUPERPAVE MATERIAL SHALL THEN BE PLACED AND SEALED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE ON THE TEMPORARY PATCH AND SHALL KEEP A SMOOTH RIDING SURFACE ON THE STREET.

<p>Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017</p>		<p>TRENCH BACKFILL AND PAVEMENT REQUIREMENTS FOR TOWNSHIP ROADS</p>
<p>Not to scale</p>	<p>February 2025</p>	<p>Standard Detail SD-005A</p>

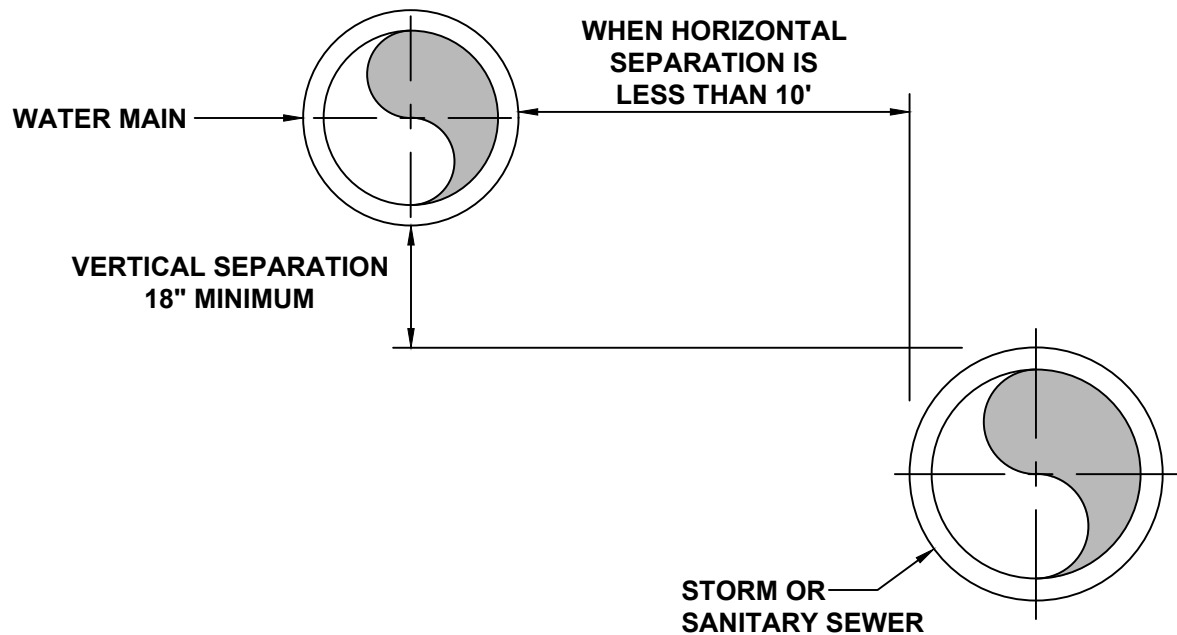


**BACKFILLING REQUIREMENTS**  
 REMOVE ALL MATERIAL EXCAVATED FROM TRENCH AND REPLACE WITH 2A SELECT MATERIAL OR APPROVED EQUAL UNDER ALL TRAVELED OR IMPROVED SURFACES INCLUDING PRIVATE ROADS, TOWNSHIP STREETS, STATE HIGHWAYS, DRIVEWAYS, PARKING AREAS, AND SIDEWALKS.



**PIPE ZONE BACKFILL & CONFIGURATION PER STANDARD DETAIL SD-001**

<b>Municipal Authority Of The          Township Of South Fayette          700 Holland Street          Bridgeville, Pa 15017</b>		<b>TRENCH BACKFILL          REQUIREMENTS FOR          TRAVELED OR IMPROVED          SURFACES</b>
<b>Not to scale</b>	<b>February 2025</b>	<b>Standard Detail SD-005</b>

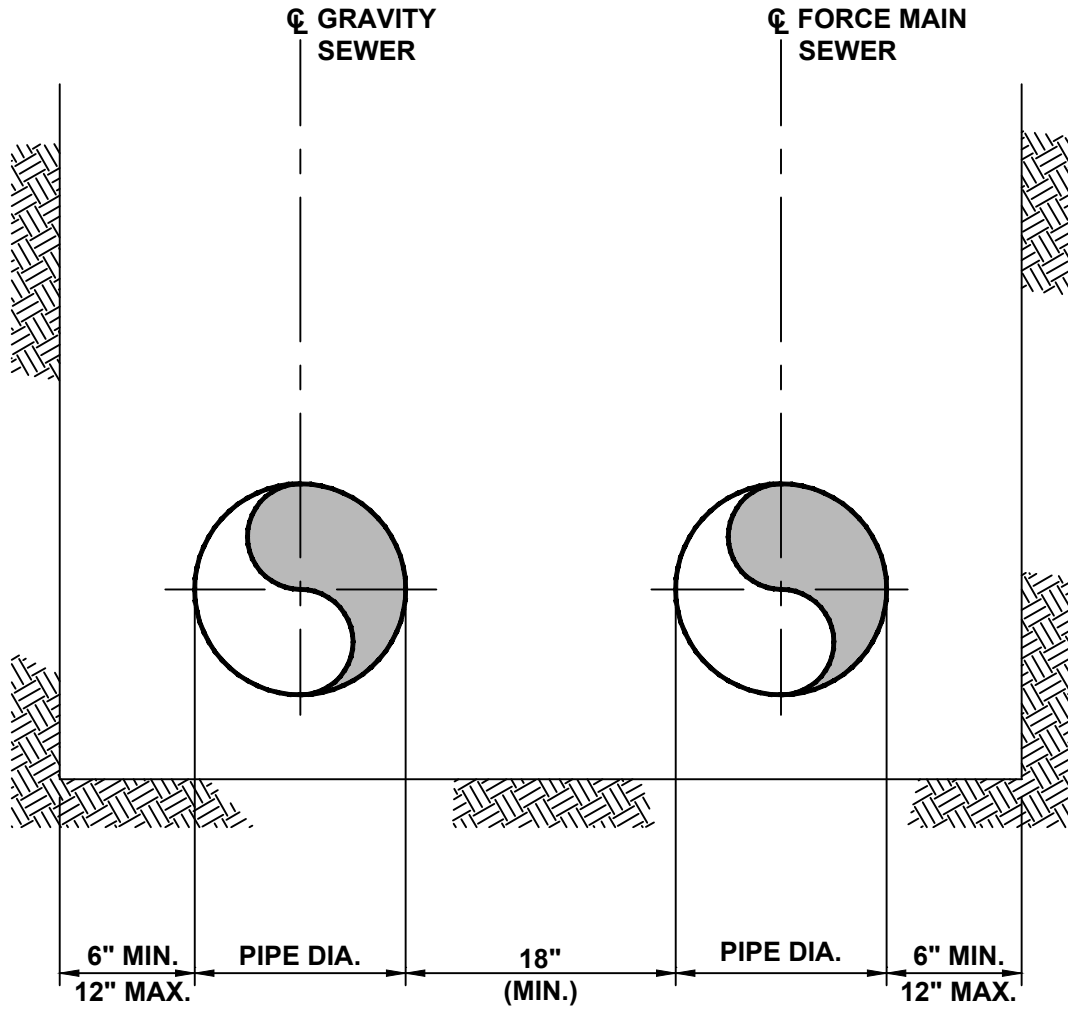


**NOTES:**

1. WHEN THE HORIZONTAL SEPARATION OF THE WATER MAIN AND SEWER LINE IS LESS THAN 10', THE VERTICAL SEPARATION BETWEEN THE TOP (CROWN) OF THE SEWER LINE AND THE BOTTOM (INVERT) OF THE WATER MAIN SHALL BE AT LEAST 18". SEWER LINE SHALL BE ENCASED IN CONCRETE FOR 10' ON EITHER SIDE OF THE WATER MAIN WHERE SEWER / WATER LINE CROSSINGS OCCUR AND WHERE CONDITIONS PREVENT AN 18" VERTICAL SEPARATION.
2. THERE SHALL BE AT LEAST A 10' HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWER FORCE MAINS. FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18" BETWEEN THE OUTSIDE OF THE FORCE MAIN AND THE OUTSIDE OF THE WATER MAIN.

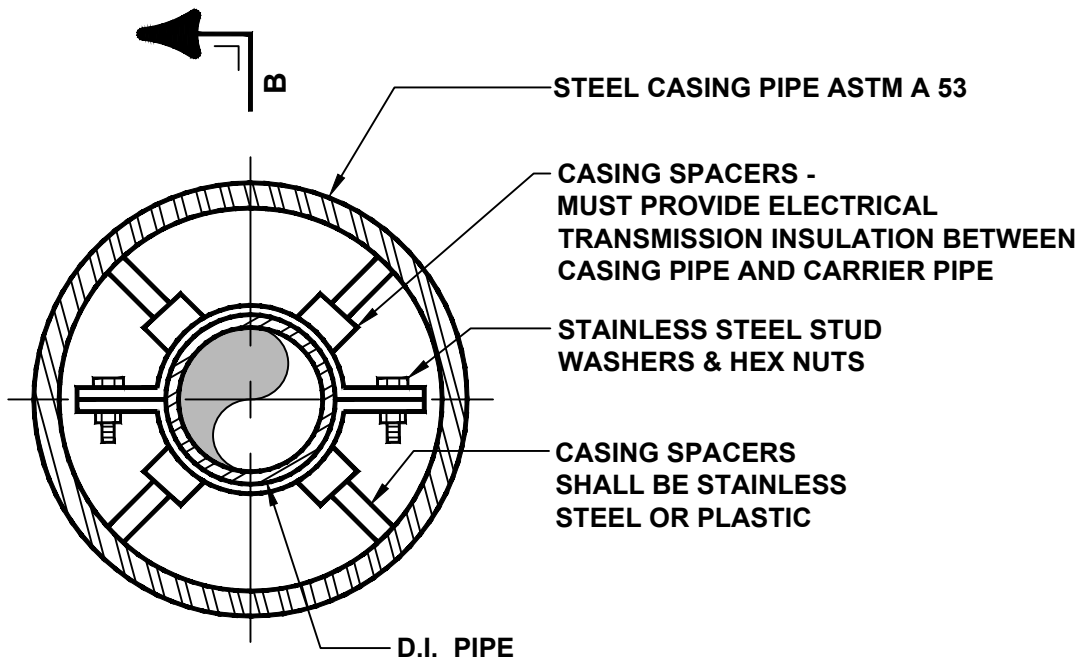
<b>Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017</b>		<b>DESIRED DISTANCES BETWEEN WATER AND SEWER PIPES</b>
<b>Not to scale</b>	<b>February 2025</b>	<b>Standard Detail SD-006</b>

REFERENCE TRENCH ZONE DETAILS SD-001 AND PIPE BEDDING SD-002



NOTE:  
FORCE MAIN TO BE INSTALLED  
ON RISING GRADIENT

Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		GRAVITY SEWER AND FORCE MAIN CONSTRUCTED PARALLEL IN COMMON TRENCH
Not to scale	February 2025	Standard Detail SD-007



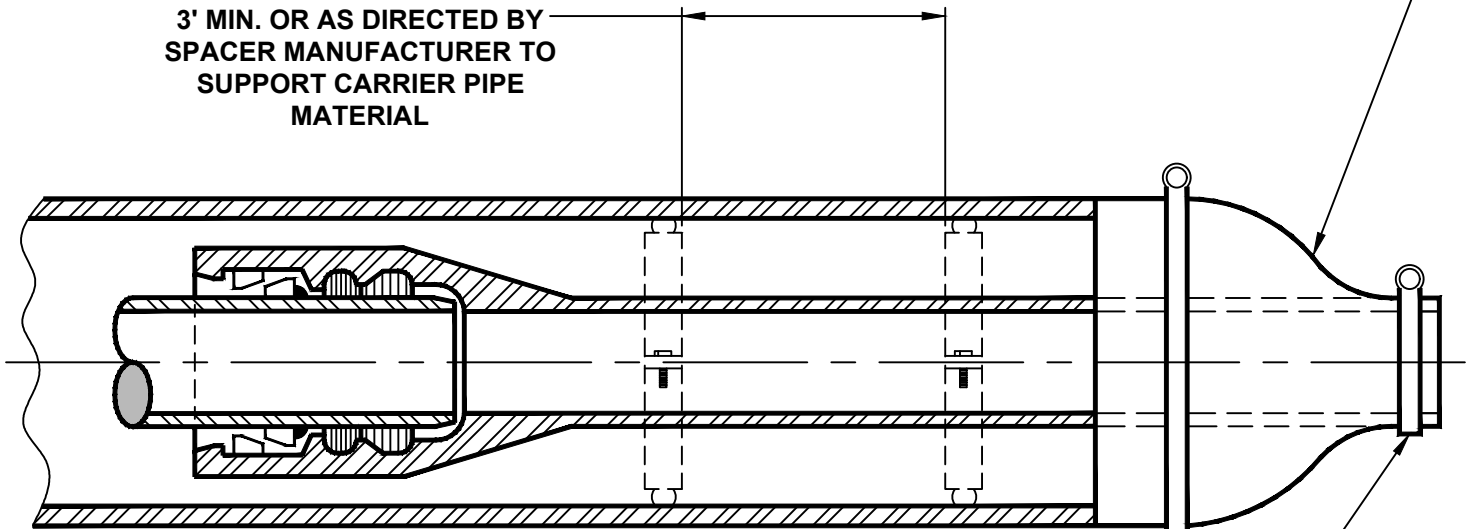
**SECTIONAL PLAN A**

**WALL THICKNESS OF CASING PIPE**

<u>DIAMETER (IN.)</u>	<u>THICKNESS (IN.)</u>
24" OR LESS	1/4"
28" AND 32"	3/8"
42" AND LARGER	1/2"

3' MIN. OR AS DIRECTED BY SPACER MANUFACTURER TO SUPPORT CARRIER PIPE MATERIAL

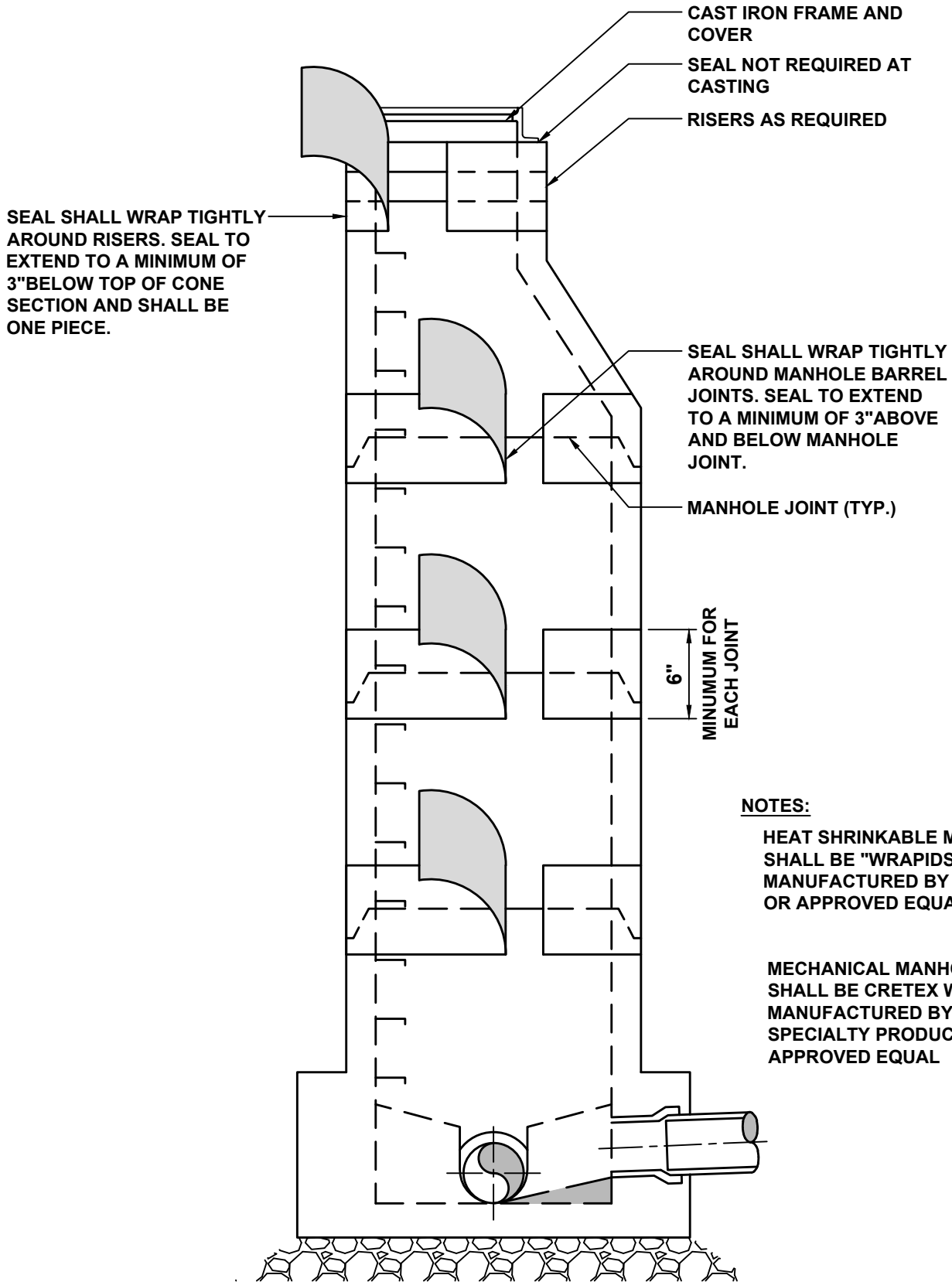
RUBBER BOOT



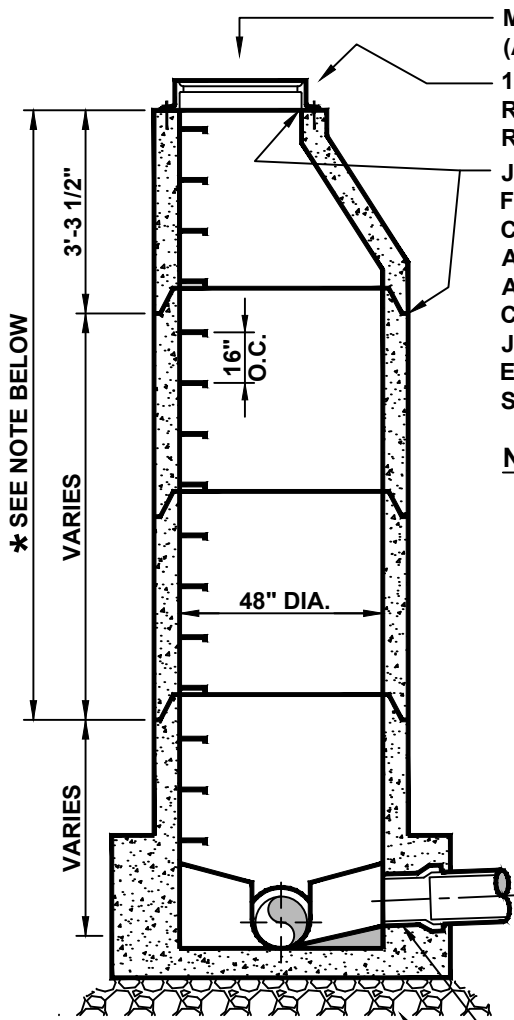
**SECTION B**

STAINLESS STEEL BAND

Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		STEEL CASING AND D.I. OR PVC CARRIER PIPES INSTALLED BY BORING
Not to scale	February 2025	Standard Detail SD-008



<b>Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017</b>		<b>MANHOLE JOINT ENCAPSULATION SYSTEM</b>
<b>Not to scale</b>	<b>February 2025</b>	<b>Standard Detail SD-010-A</b>



MANHOLE FRAME & COVER (AS SPECIFIED)  
 1'-0" MAX. ADJUSTMENT TO GRADE WITH RUBBER OR PRECAST CONCRETE RISERS APPROVED BY THE ENGINEER  
 JOINTS SHALL BE EQUIPPED WITH FLEXIBLE BUTYL RESIN SEALANT, CON-SEAL OR APPROVED EQUAL PLACED AT ALL MANHOLE BARREL JOINTS, RISERS, AND ONE RING AT MANHOLE FRAME & COVER. ALL MANHOLE BARREL AND RISER JOINTS SHALL BE WRAPPED WITH ENCAPSULATION SYSTEM, SEE DETAIL SD-010-A.

**NOTES:**

1. PRECAST CONCRETE MANHOLE SECTIONS SHALL CONFORM TO ASTM-C478, LATEST REVISION.
2. LIFTING HOLES SHALL BE POINTED WITH MORTAR, MADE WATERTIGHT & LEFT NEAT & SMOOTH.
3. LADDER BARS (AS SPECIFIED) SEE DETAIL SD-021
4. ALL MANHOLE SLAB TOPS, LIDS, AND CASTINGS SHALL MEET AASHTO H20 STANDARD SPECIFICATION FOR UNINTENDED VEHICULAR TRAFFIC, UNLESS OTHERWISE APPROVED.
5. WATERPROOF EXTERIOR SURFACE WITH 2 COATS BITUMASTIC MATERIAL OR COAL TAR SOLUTION, 8 MILS PER COAT.

\* SEE NOTE BELOW

VARIABLES

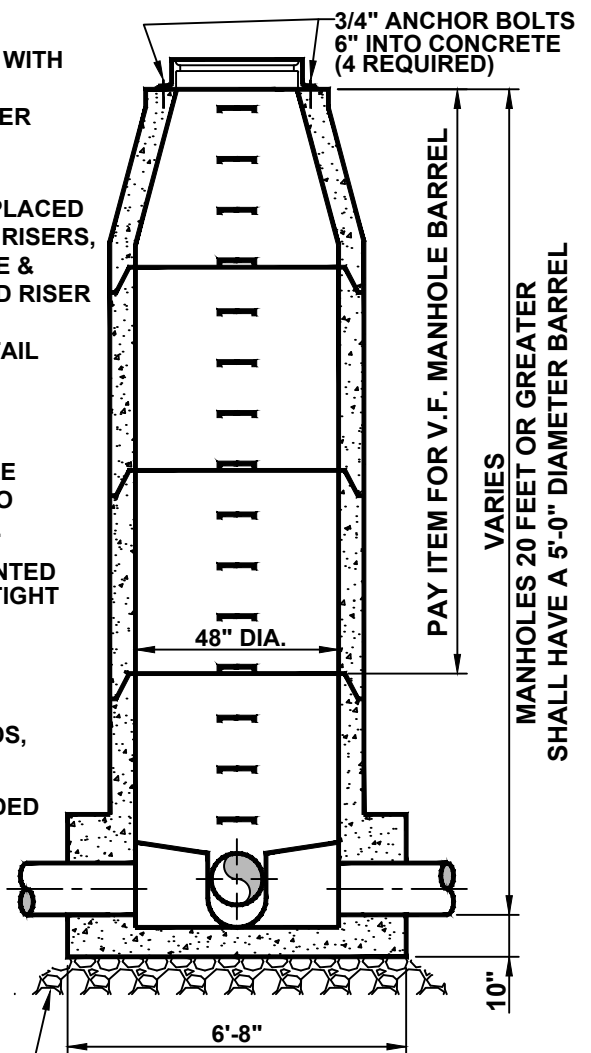
VARIABLES

**SECTION A**

\* NOTE: IF THIS DIMENSION IS LESS THAN 5'-0" USE A PRECAST CONCRETE SLAB ON TOP AS SHOWN BELOW

SEE PIPE CONNECTION DETAIL

MINIMUM 6" CRUSHED STONE (TYP.)

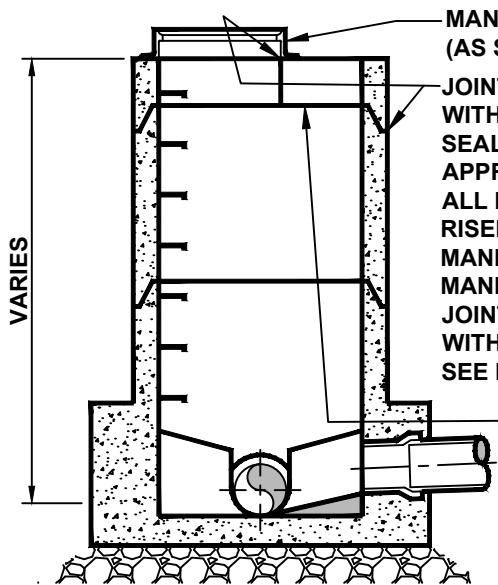


**SECTION B**

PAY ITEM FOR V.F. MANHOLE BARREL

VARIABLES

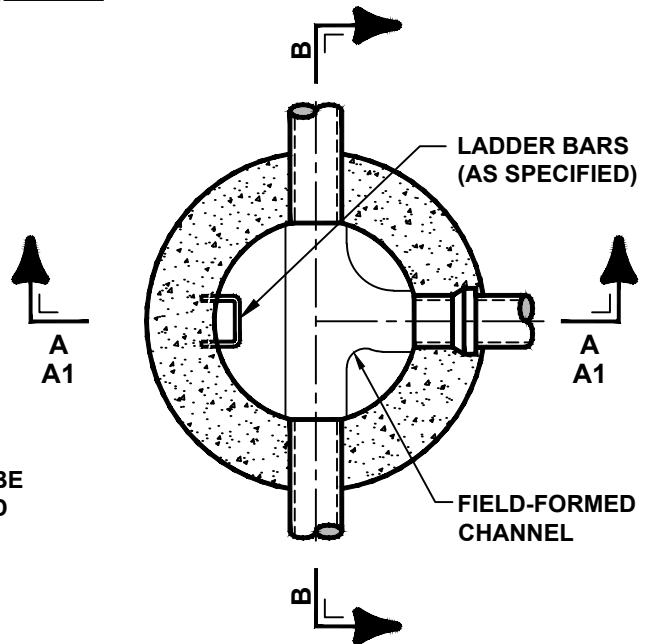
MANHOLES 20 FEET OR GREATER SHALL HAVE A 5'-0" DIAMETER BARREL



**SECTION A1**

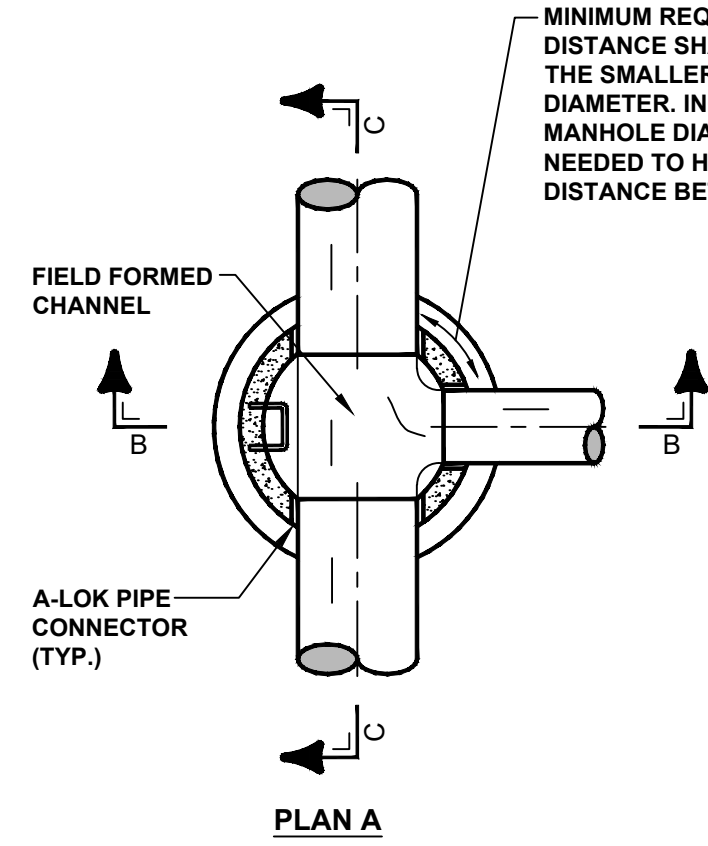
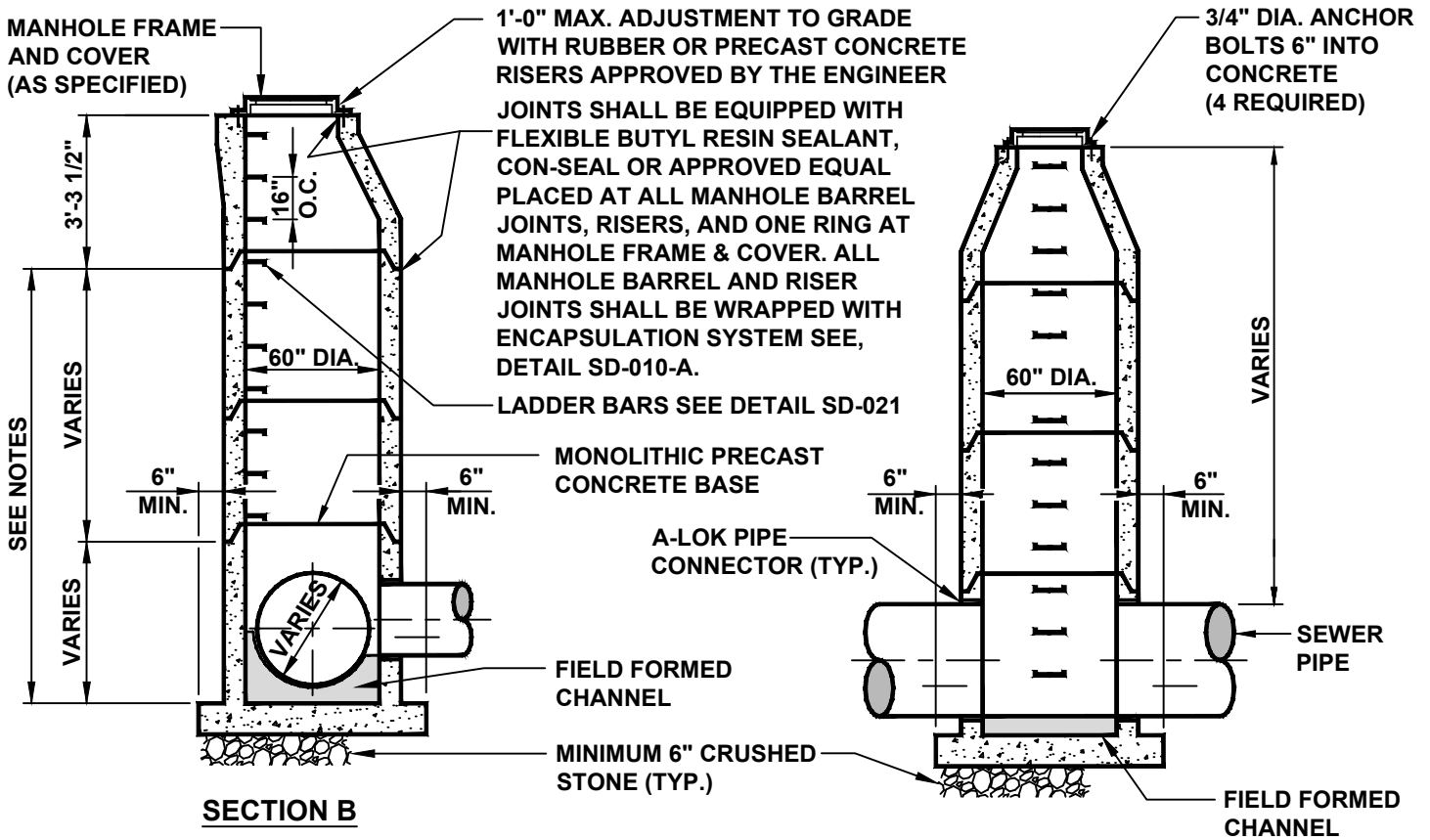
MANHOLE FRAME & COVER (AS SPECIFIED)  
 JOINTS SHALL BE EQUIPPED WITH FLEXIBLE BUTYL RESIN SEALANT, CON-SEAL OR APPROVED EQUAL PLACED AT ALL MANHOLE BARREL JOINTS, RISERS, AND ONE RING AT MANHOLE FRAME & COVER. ALL MANHOLE BARREL AND RISER JOINTS SHALL BE WRAPPED WITH ENCAPSULATION SYSTEM, SEE DETAIL SD-010-A.

MANHOLE SLAB TOP TO BE DESIGNED TO MEET LOAD CONDITIONS



**PLAN C**

Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		<b>PRECAST CONCRETE MANHOLE          FOR SEWERS 8" TO 18"</b>
Not to scale	February 2025	Standard Detail SD-010

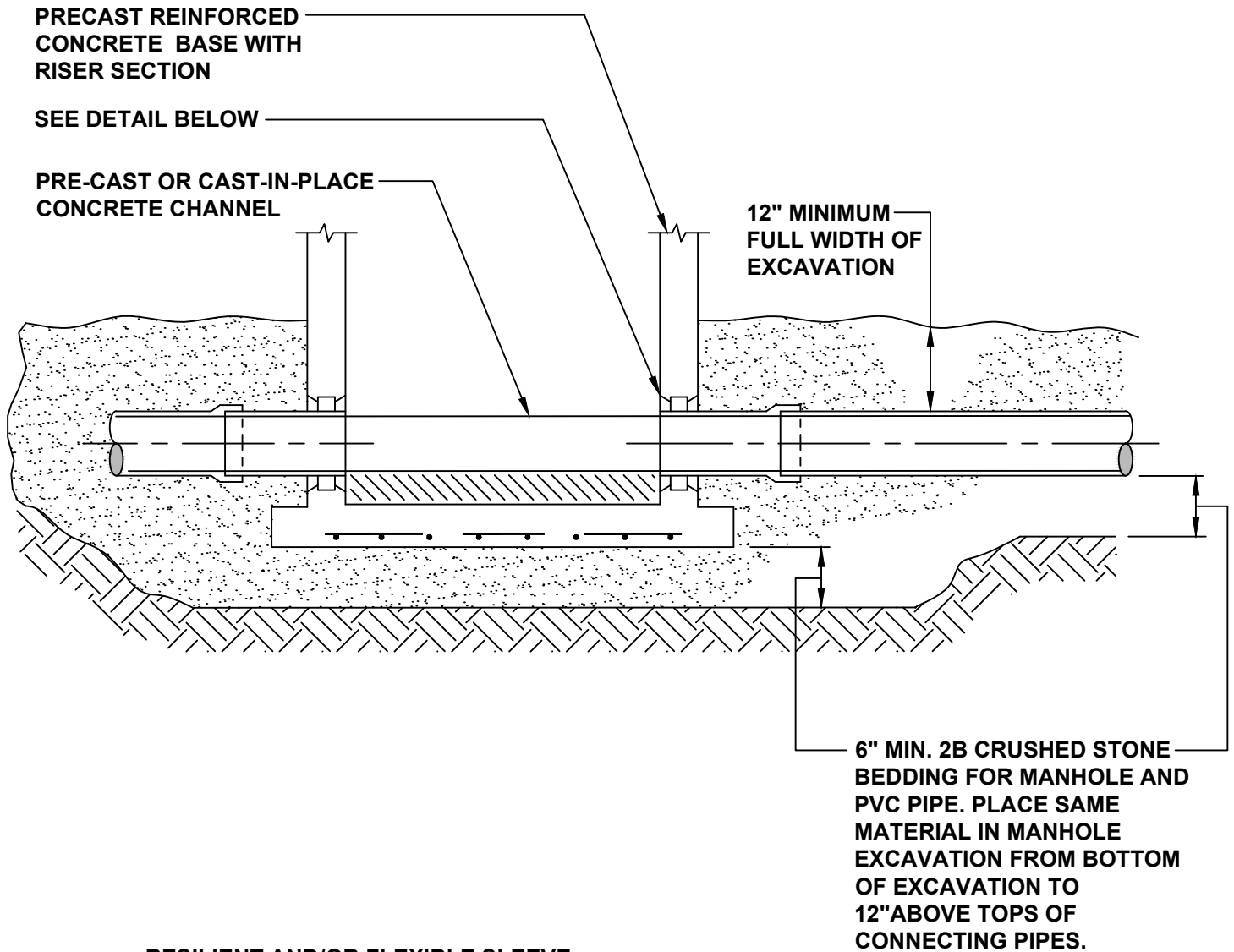


MINIMUM REQUIRED DISTANCE SHALL BE 1/2 OF THE SMALLER PIPE DIAMETER. INCREASE MANHOLE DIAMETER AS NEEDED TO HAVE MINIMUM DISTANCE BETWEEN PIPES

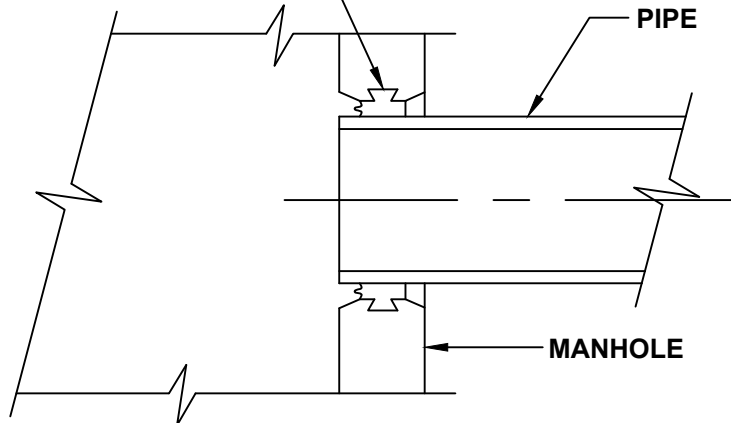
**NOTES:**

1. PRECAST CONCRETE MANHOLE SECTIONS SHALL CONFORM TO ASTM C478, LATEST REVISION.
2. WATERPROOF EXTERIOR SURFACE WITH TWO COATS BITUMASTIC MATERIAL OR COAL TAR SOLUTION, 8 MILS PER COAT.
3. DROP CONNECTIONS ARE NOT PERMITTED FOR PIPES LARGER THAN 30" DIA.
4. LIFTING HOLES SHALL BE POINTED WITH MORTAR, MADE WATERTIGHT & LEFT NEAT & SMOOTH.
5. FOR DEPTHS LESS THAN 5'-0", INSTALL PRECAST CONCRETE SLAB TOP DESIGNED TO MEET LOAD CONDITIONS. MANHOLE TO BE 60" DIA. FULL DEPTH.
6. ALL JOINTS TO RECEIVE CON-SEAL SEALER, OR APPROVED EQUAL. ALL MANHOLE BARREL AND RISER JOINTS SHALL BE WRAPPED WITH ENCAPSULATION SYSTEM, SEE DETAIL SD-010-A.
7. ALL MANHOLE SLAB TOPS, LIDS, AND CASTINGS SHALL MEET AASHTO H20 STANDARD SPECIFICATION FOR UNINTENDED VEHICULAR TRAFFIC, UNLESS OTHERWISE APPROVED.

Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		PRECAST CONCRETE MANHOLE FOR SEWERS 24" - 48"
Not to scale	February 2025	Standard Detail SD-011



**RESILIENT AND/OR FLEXIBLE SLEEVE (WITH ADJUSTABLE STAINLESS STEEL STRAPS) MANHOLE TO PIPE CONNECTOR (Z-LOK OR EQUAL)**



<b>Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017</b>		<b>PRECAST MANHOLE BASE DETAIL</b>
<b>Not to scale</b>	<b>February 2025</b>	<b>Standard Detail SD-012</b>

MANHOLE BARREL SHALL BE PRE-CAST CONCRETE ASTM C478 OR GLASS FIBER REINFORCED ASTM D3753. FOR CONNECTING PIPES 18" DIAMETER OR LESS, THE MANHOLE BARREL SHALL BE 4' DIAMETER; WHERE THERE ARE LARGER CONNECTING PIPES OR MORE THAN ONE INSIDE DROP CONNECTIONS, THE DIAMETER SHALL BE 5'.

**NOTE:**  
TYPICAL DROP CONNECTION SHALL BE OF THE INSIDE DROP TYPE. OUTSIDE DROP CONNECTIONS MUST BE SPECIFICALLY APPROVED BY THE AUTHORITY ENGINEER

3/4" ANCHOR BOLTS  
6" INTO CONCRETE  
(4 REQUIRED)

JOINTS SHALL BE EQUIPPED WITH FLEXIBLE BUTYL RESIN SEALANT, CON-SEAL OR APPROVED EQUAL PLACED AT ALL MANHOLE BARREL JOINTS, RISERS, AND ONE RING AT MANHOLE FRAME & COVER. ALL MANHOLE BARREL AND RISER JOINTS SHALL BE WRAPPED WITH ENCAPSULATION SYSTEM, SEE DETAIL SD-010-A.

4' DIAMETER FOR CONNECTING SEWERS TO 18" DIAMETER; 5' DIAMETER FOR CONNECTING SEWERS LARGER THAN 18" DIAMETER AND FOR ALL INSIDE DROP CONNECTIONS AND AT ALL MANHOLES 20 VERTICAL FEET OR GREATER.

1'-0" MAX. RUBBER OR PRE-CAST CONCRETE RISERS

**NOTE:**  
DROP CONNECTIONS ARE TO BE USED ONLY WITH PVC OR DUCTILE IRON PIPE SEWERS AND ONLY WHERE ABSOLUTELY NECESSARY. DROP CONNECTIONS ARE NOT PERMITTED ON SEWERS WHICH ARE GREATER THAN 15" DIAMETER.

WATERPROOF EXTERIOR SURFACE WITH TWO COATS BITUMASTIC MATERIAL OR COAL TAR SOLUTION, MINIMUM DRY FILM THICKNESS 8 MILS PER COAT.

POLYPROPYLENE PLASTIC MANHOLE STEPS (SEE DETAIL SD-021)

12" MINIMUM

6" MINIMUM

2'-0" MAXIMUM WITHOUT DROP CONNECTION

FIELD FORMED CHANNEL

6" MINIMUM 2B CRUSHED STONE OR CRUSHED GRAVEL

SEE DETAIL SD-016 OUTSIDE MANHOLE DROP CONNECTION OR DETAIL SD-017 INSIDE MANHOLE DROP CONNECTION.

**NOTE:**  
SUPPORT MANHOLE STRUCTURE AND ALL PIPING CONNECTIONS ON A MINIMUM OF 6" THICKNESS 2B BEDDING MATERIAL. ENCAPSULATE ALL PIPES WITHIN MANHOLE EXCAVATION IN THE SAME MATERIAL TO AN ELEVATION OF 12" ABOVE THE TOP OF PIPES. OUTSIDE MANHOLE DROP CONNECTIONS SHALL BE ENCASED WITH CONCRETE.

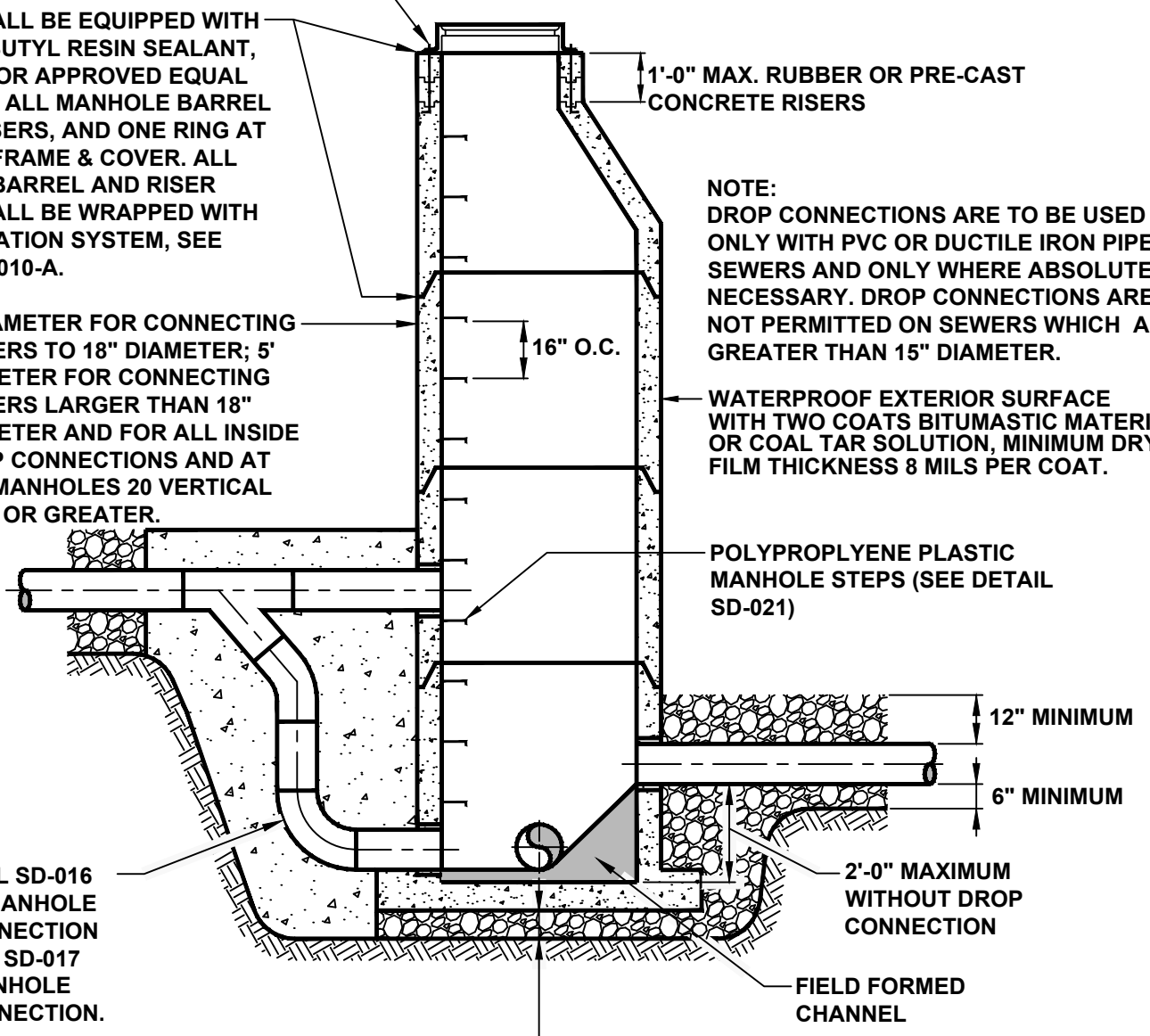
Municipal Authority Of The  
Township Of South Fayette  
700 Holland Street  
Bridgeville, Pa 15017

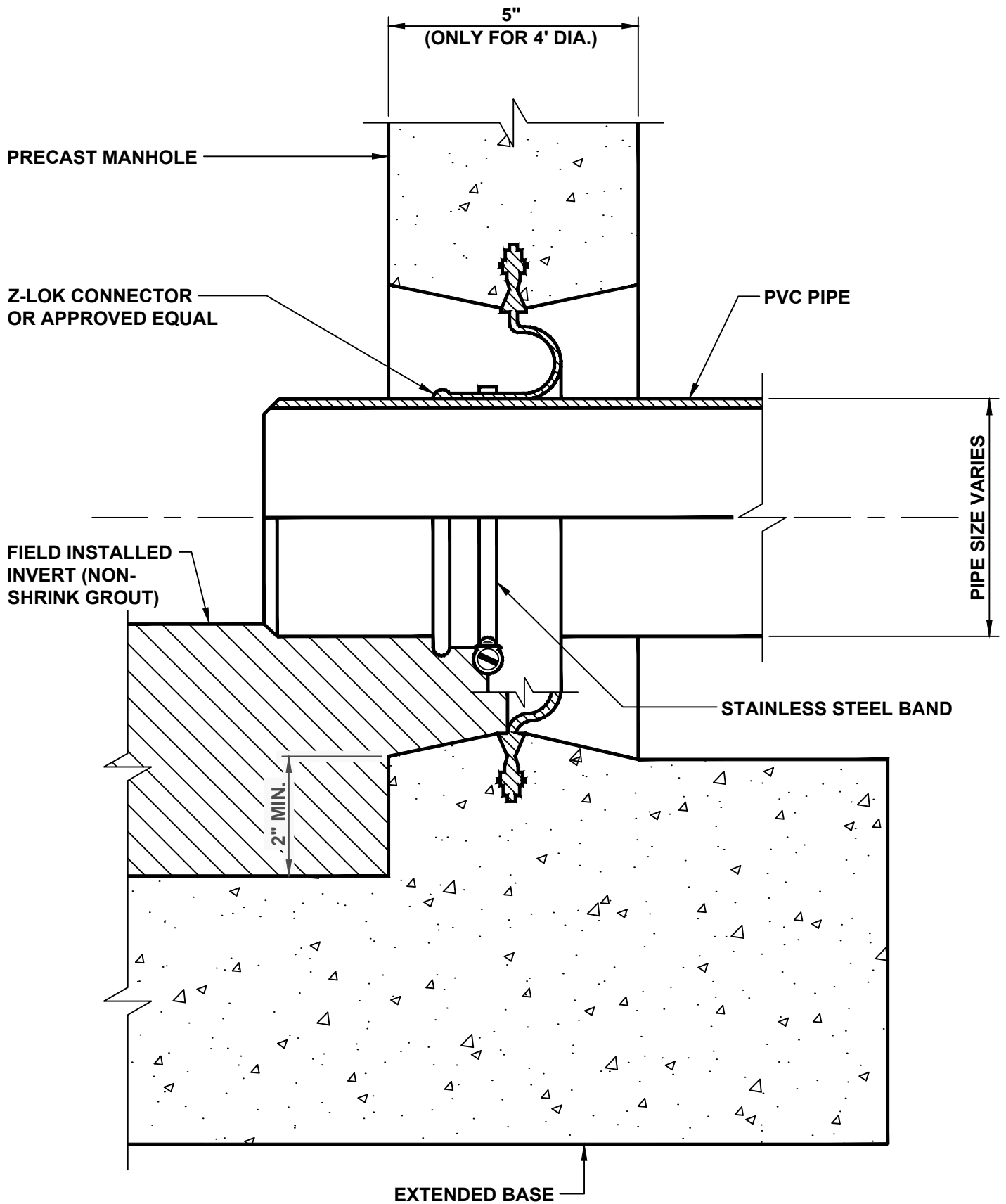
MANHOLE FOR SEWERS FOR DEPTHS  
GREATER THAN 5 FEET

Not to scale

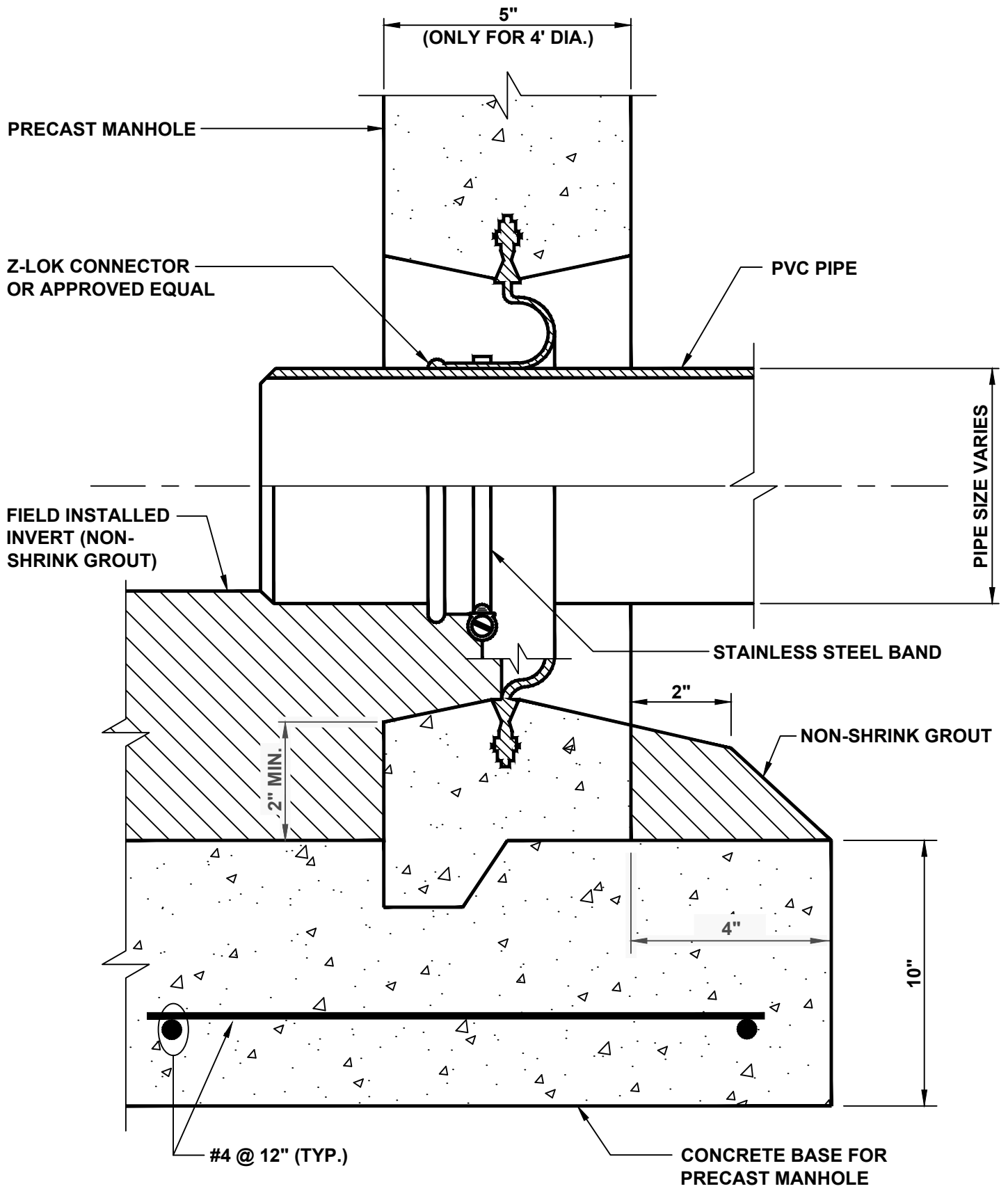
February 2025

Standard Detail SD-013

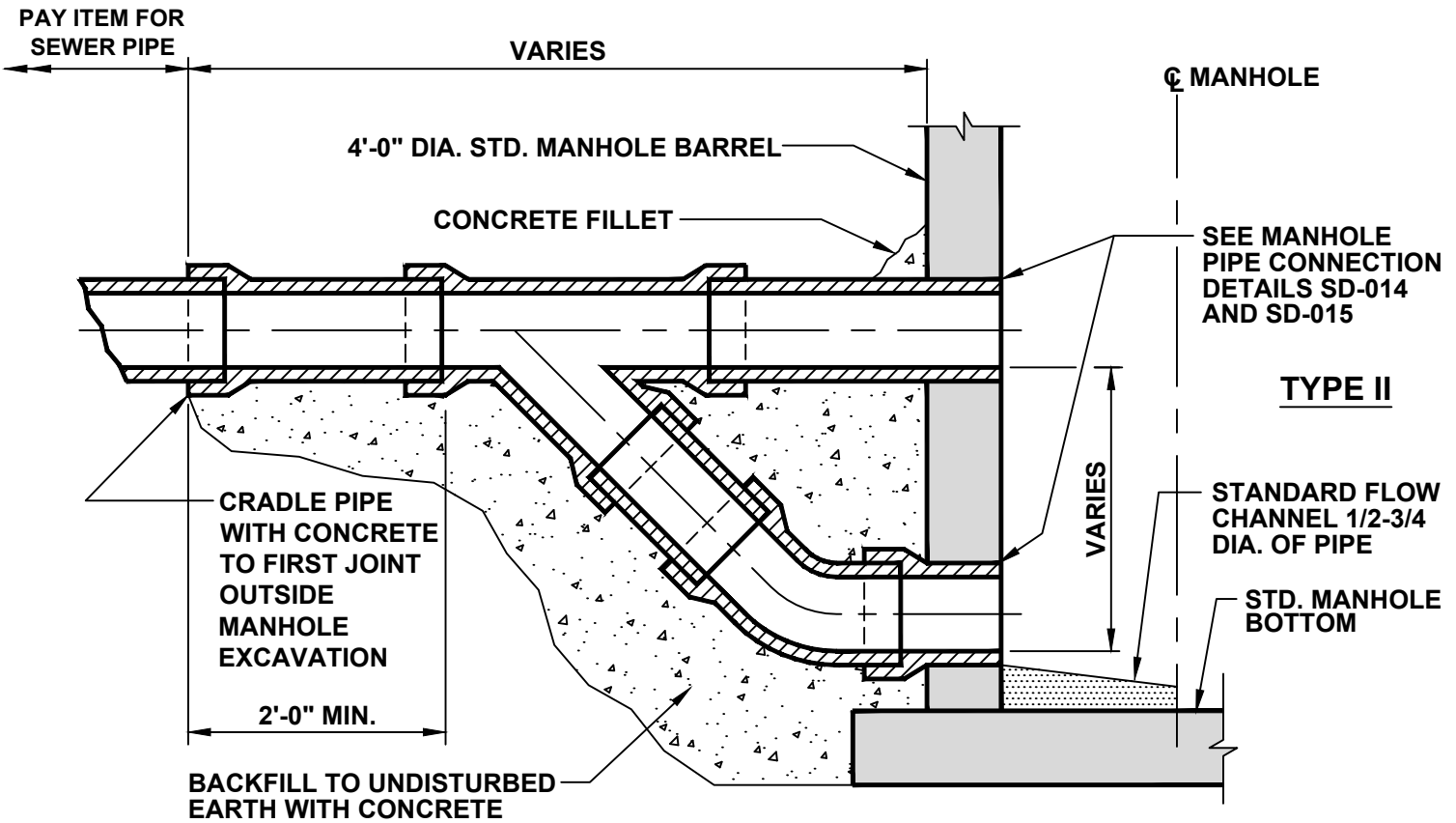
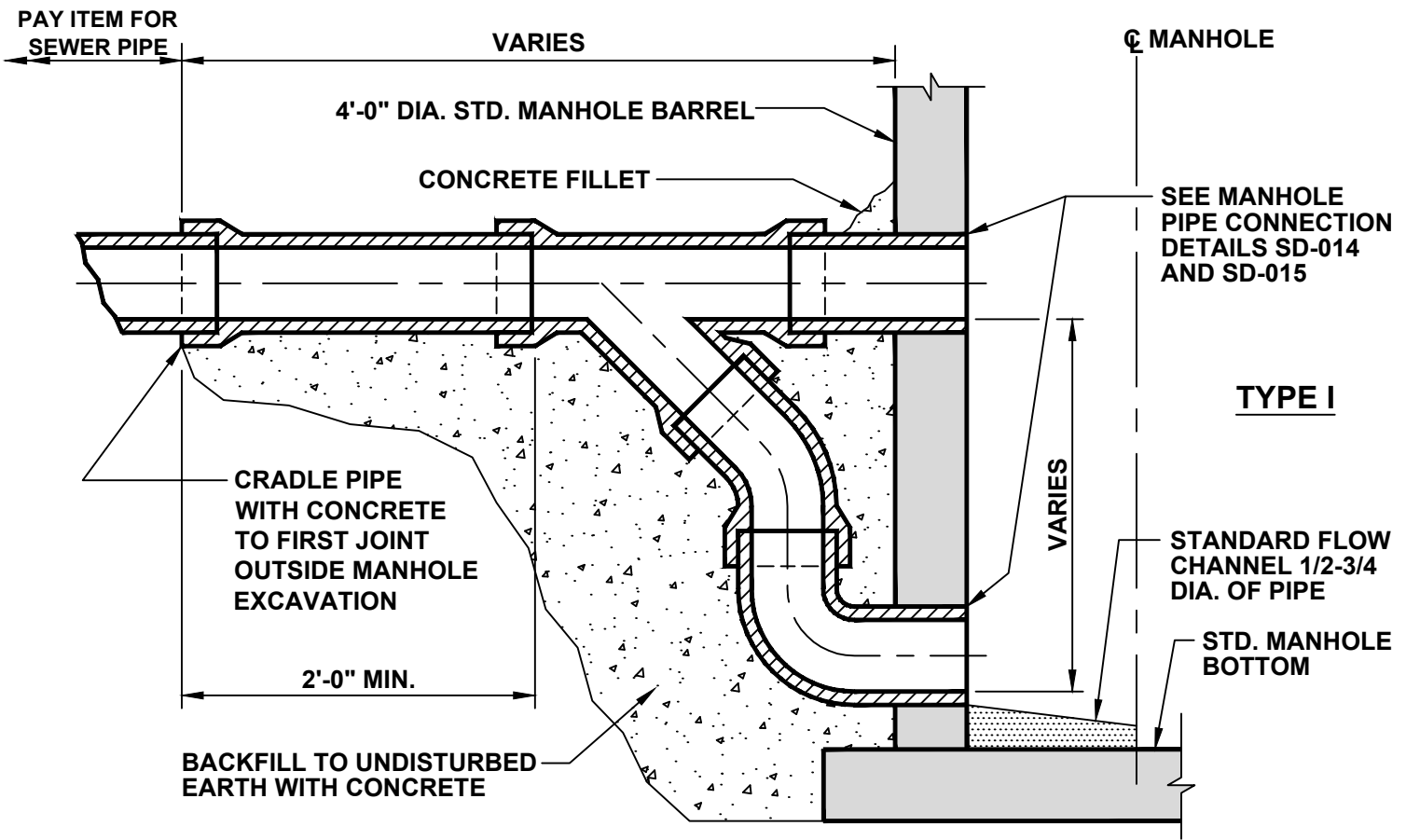




Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		<b>MANHOLE CONNECTION FOR PVC PIPE  (PRE-CAST BASE)</b>
Not to scale	February 2025	<b>Standard Detail SD-014</b>



Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		<b>MANHOLE CONNECTION FOR PVC PIPE          (CAST-IN-PLACE BASE)</b>
Not to scale	February 2025	<b>Standard Detail SD-015</b>

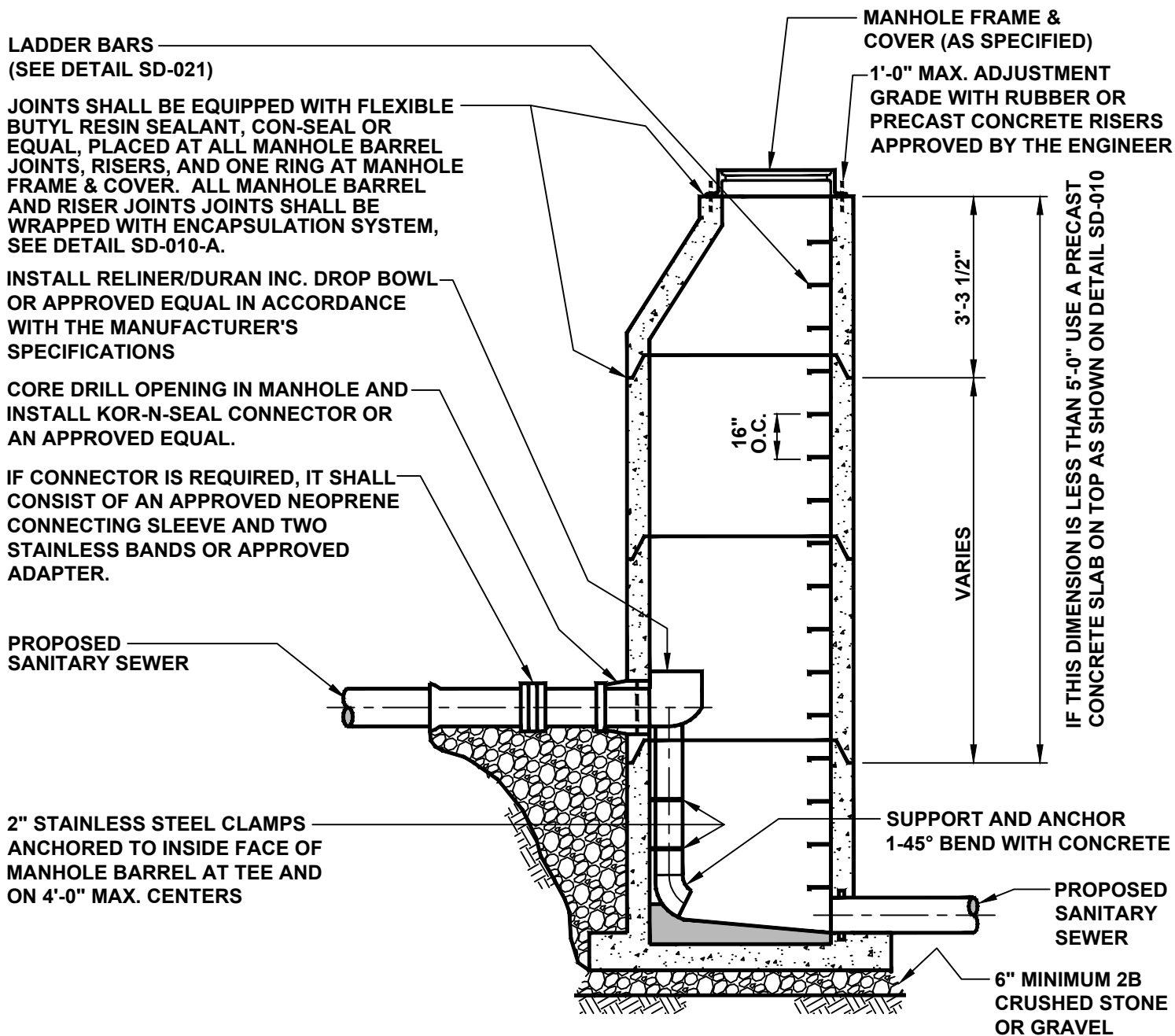


Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		<b>OUTSIDE MANHOLE DROP CONNECTION</b>
Not to scale	February 2025	Standard Detail SD-016

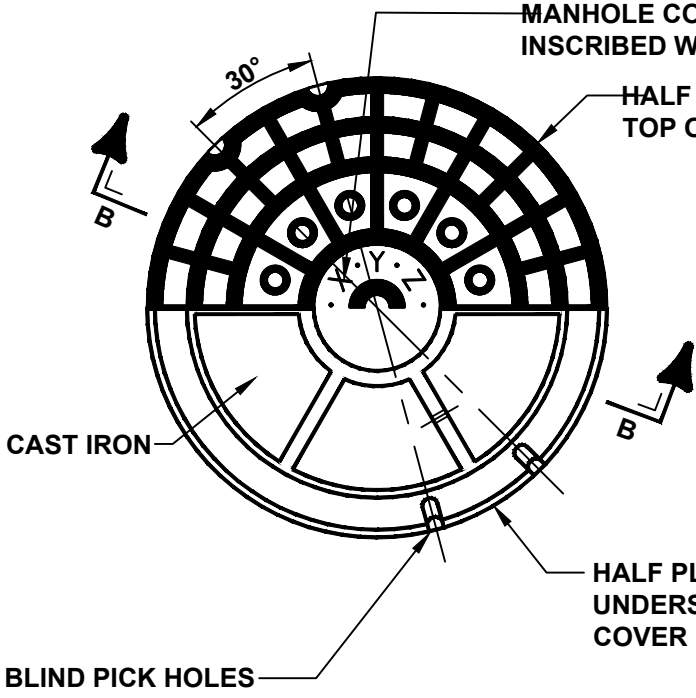
**NOTES:**

1. PRECAST CONCRETE MANHOLE SECTIONS SHALL CONFORM TO ASTM C478, LATEST REVISION.
2. LIFTING HOLES SHALL BE PAINTED WITH MORTAR, MADE WATERTIGHT AND LEFT NEAT.
3. DROP CONNECTION INLET PIPE TEE AND BENDS SHALL BE PVC PIPE CONFORMING TO ASTM D3034, SDR-35.
4. FOR FORCE MAINS, INSTALL RUN OF TEE IN VERTICAL POSITION.
5. ALL OTHER MANHOLE STANDARD DETAIL REQUIREMENTS APPLY. SEE SD-2-010

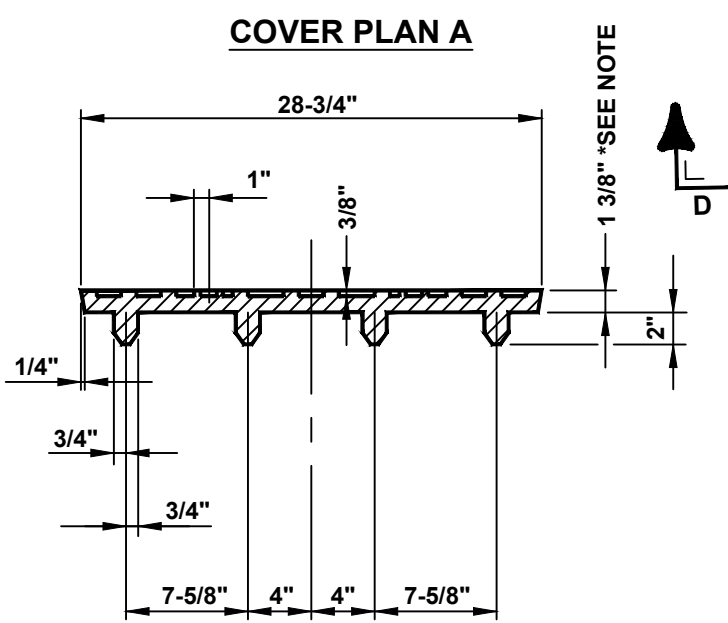
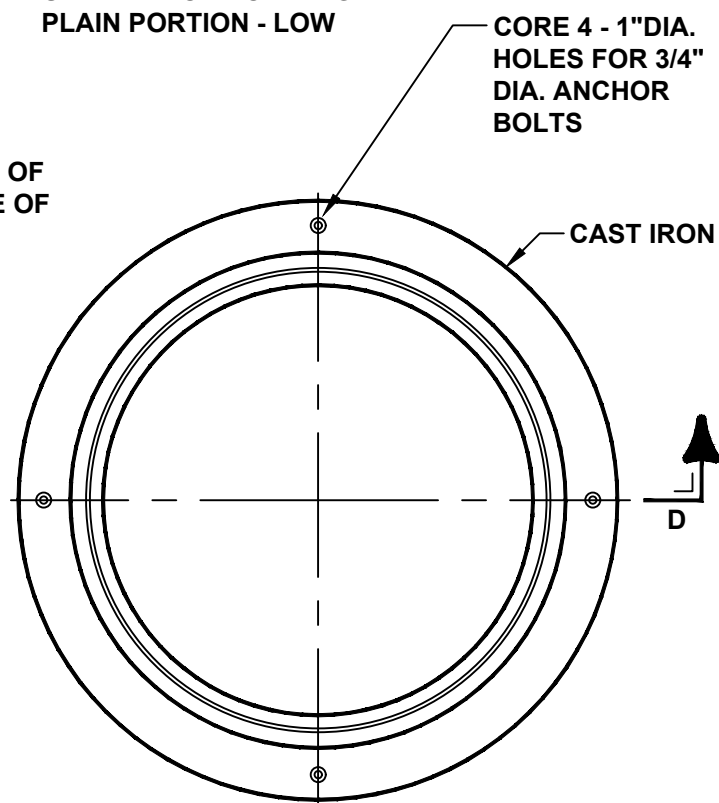
6. ALL JOINTS TO RECEIVE CON-SEAL SEALER OR APPROVED EQUAL. ALL MANHOLE BARREL AND RISER JOINTS SHALL BE WRAPPED WITH ENCAPSULATION SYSTEM, SEE DETAIL SD-010-A.
7. ALL MANHOLE SLABTOPS, LIDS, AND CASTINGS SHALL MEET AASHTO H20 STANDARD SPECIFICATION FOR UNINTENDED VEHICULAR TRAFFIC, UNLESS OTHERWISE APPROVED.
8. ONLY ONE (1) INSIDE DROP CONNECTION WILL BE PERMITTED FOR MANHOLES OF 4'-0" DIAMETER AND ONLY TWO (2) DROP CONNECTIONS FOR MANHOLES 5'-0" IN DIAMETER. MORE THAN TWO (2) DROP CONNECTIONS IN THE SAME MANHOLE SHALL BE OUTSIDE DROP TYPE CONNECTIONS.



<p>Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017</p>		<p>INSIDE MANHOLE BOWL DROP CONNECTION</p>
<p>Not to scale</p>	<p>February 2025</p>	<p>Standard Detail SD-017</p>



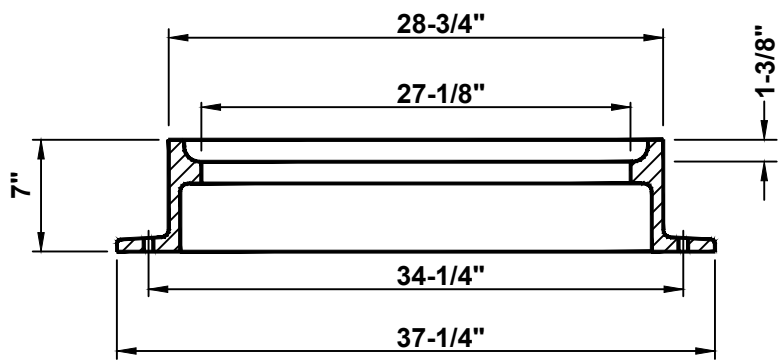
**NOTE:**  
 SHADED PORTION - HIGH  
 PLAIN PORTION - LOW



**FRAME PLAN C**

**SECTION B**

**NOTE:**  
 MANHOLE COVERS SHALL BE MACHINED TO  $1 \frac{3}{16}$ " THICKNESS TO ACCOMODATE MANHOLE INFLOW PROTECTOR (MANPAN OR EQUAL) WHERE MANHOLE IS INSTALLED IN IMPERVIOUS AREA.



**BOTTOM FLANGE - SECTION D**

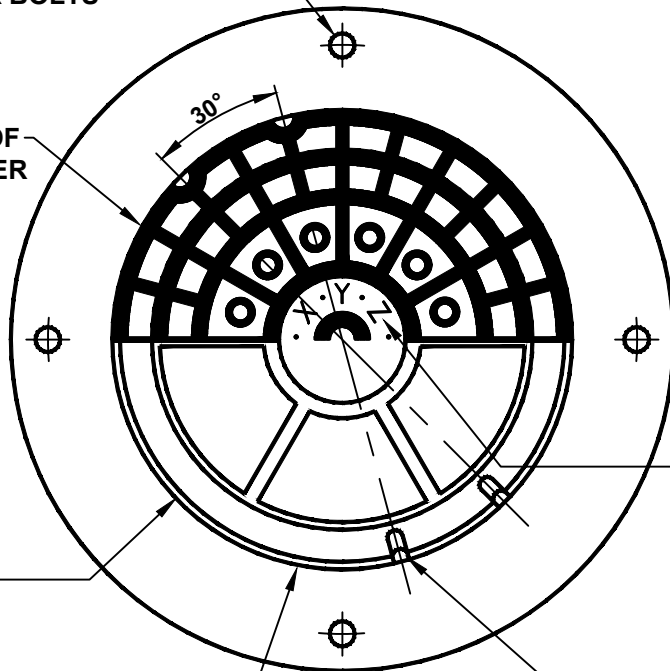
Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		<b>STANDARD CAST IRON MANHOLE          FRAME AND COVER</b>
Not to scale	February 2025	Standard Detail SD-018

FOUR 1" DIA.  
HOLES FOR 3/4"  
DIA. ANCHOR BOLTS

**NOTE:**

SHADED PORTION - HIGH  
UNSHADED PORTION - LOW

HALF PLAN OF  
TOP OF COVER



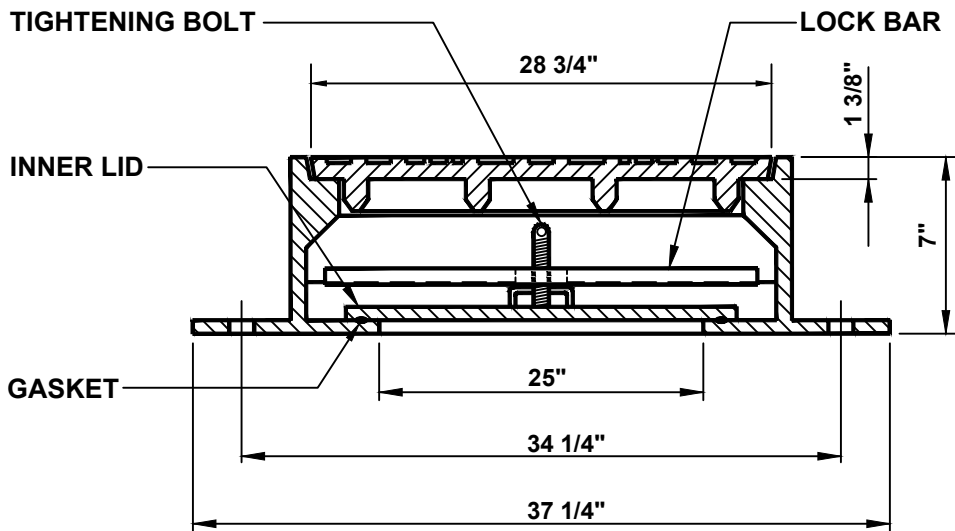
MANHOLE COVERS SHALL BE  
INSCRIBED WITH "MATSF SEWERS"

CAST IRON

HALF PLAN OF  
UNDERSIDE OF  
COVER

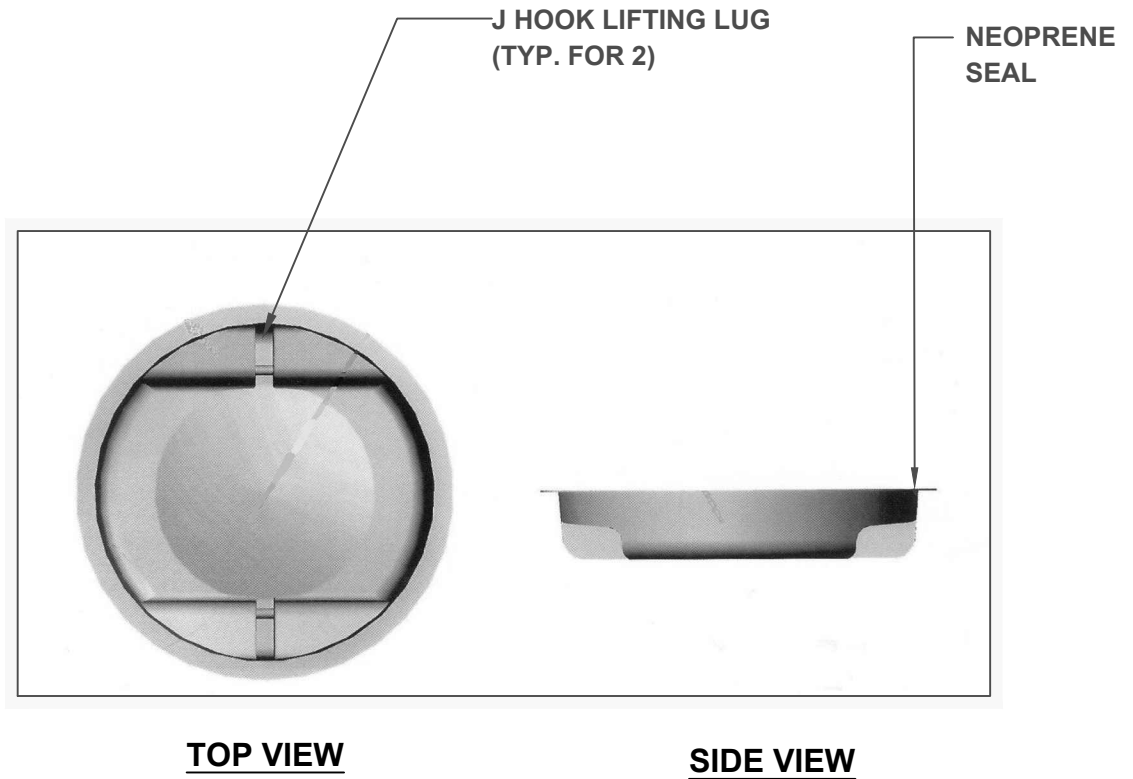
BLIND PICK HOLES

**PLAN A**



**SECTION B**

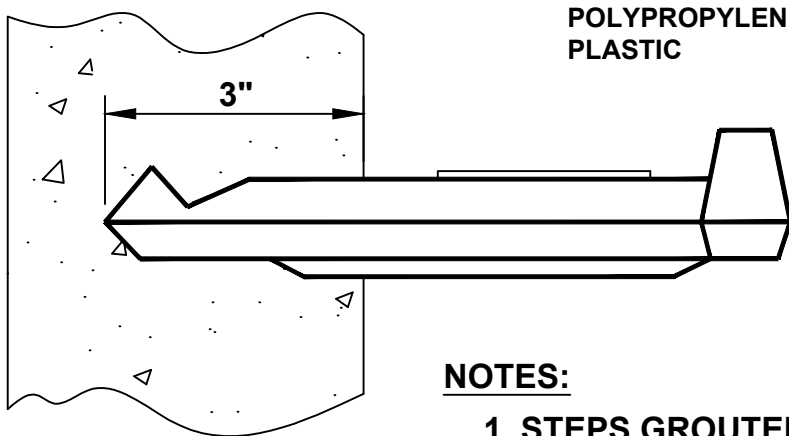
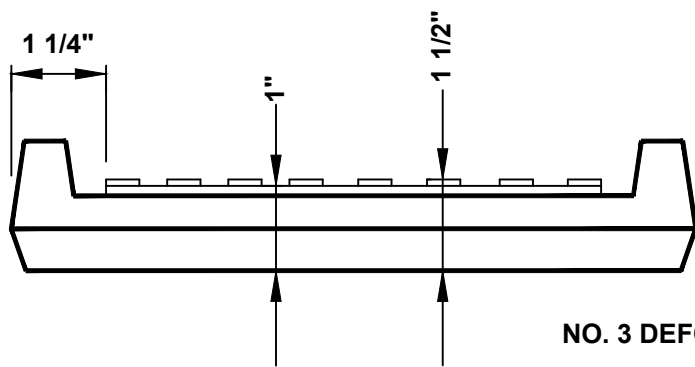
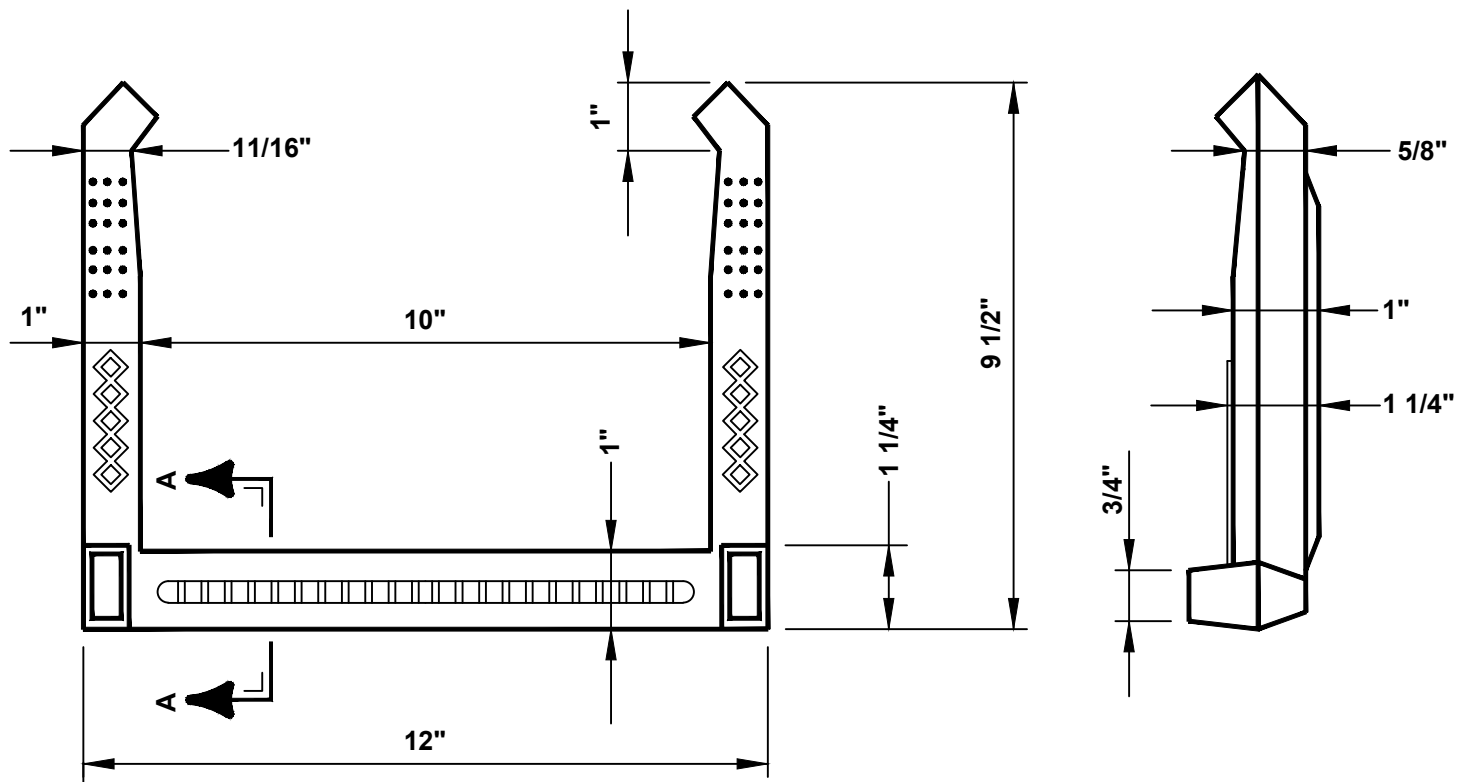
<p>Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017</p>		<p>WATERTIGHT MANHOLE FRAME AND COVER</p>
<p>Not to scale</p>	<p>February 2025</p>	<p>Standard Detail SD-019</p>



**NOTES:**

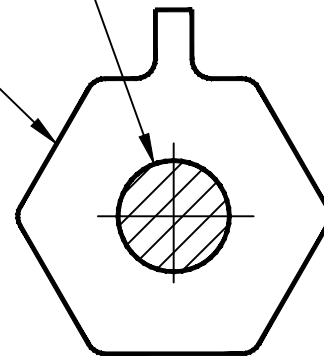
1. INFLOW PROTECTOR SHALL BE MAN-PAN OR APPROVED EQUAL AND SHALL BE INSTALLED WITH ALL NON-WATER TIGHT MANHOLE COVERS IN IMPERVIOUS AREAS ONLY.
2. INFLOW PROTECTORS SHALL BE FABRICATED AND SIZED TO FIT PROPOSED MANHOLE FRAMES.
3. MANHOLE COVERS SHALL BE MACHINED TO ACCOMODATE MANHOLE INFLOW PROTECTORS.

<b>Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017</b>	<b>MANHOLE INFLOW PROTECTOR</b>	
<b>Not to scale</b>	<b>February 2025</b>	<b>Standard Detail SD-020</b>



NO. 3 DEFORMED BAR

POLYPROPYLENE PLASTIC

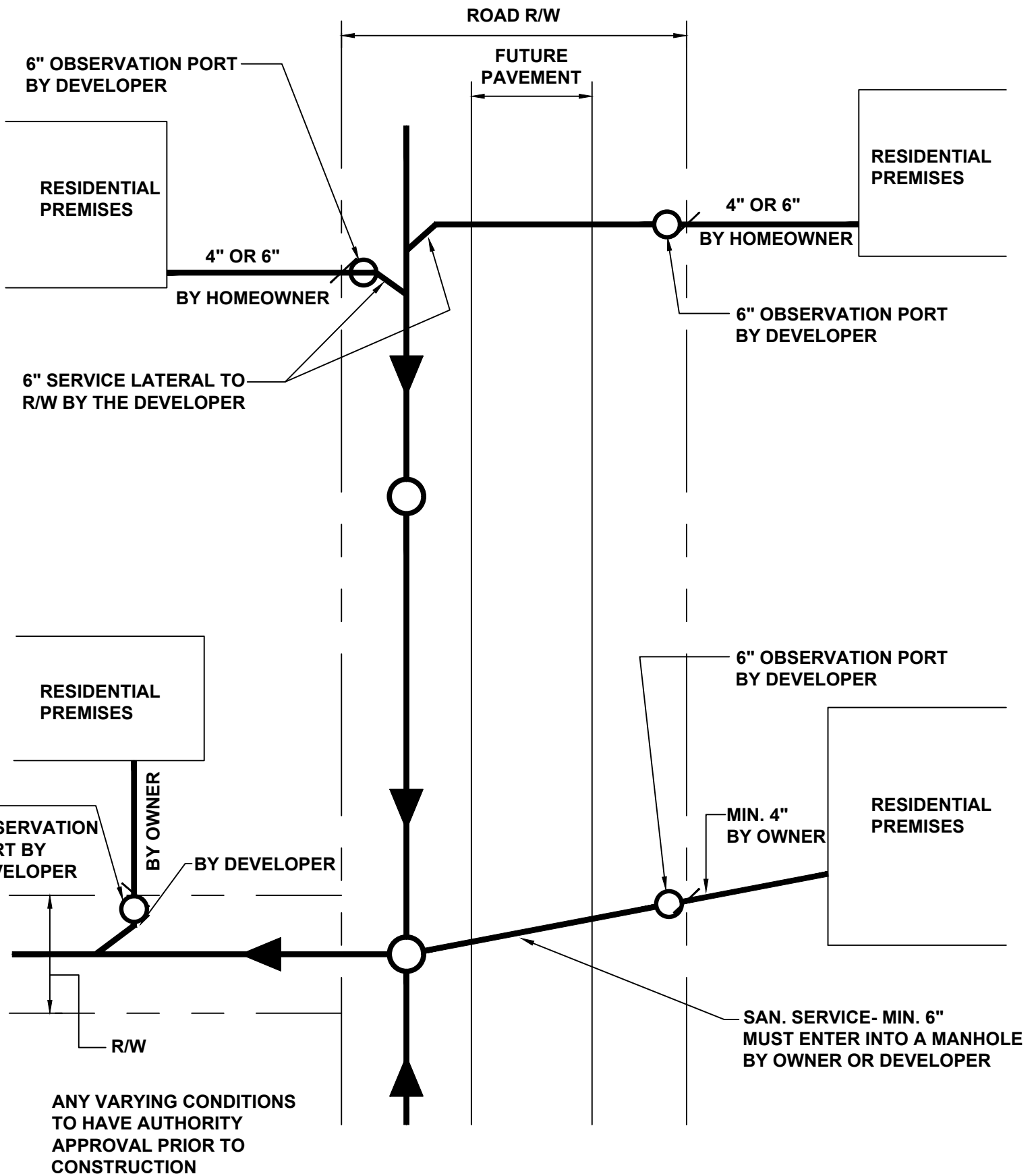


SECTION A

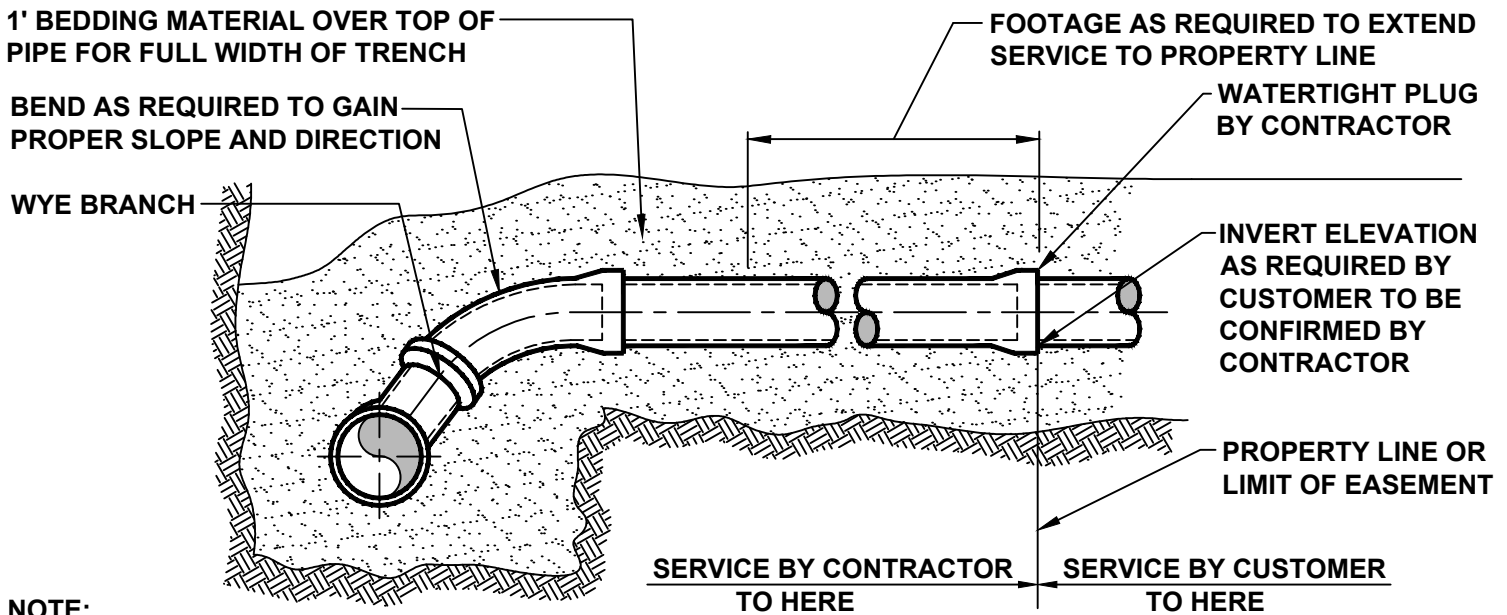
**NOTES:**

1. STEPS GROUTED IN PLACE
2. INSTALL STEPS ON 16" C:C

Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		POLYPROPYLENE PLASTIC MANHOLE STEP
Not to scale	February 2025	Standard Detail SD-021

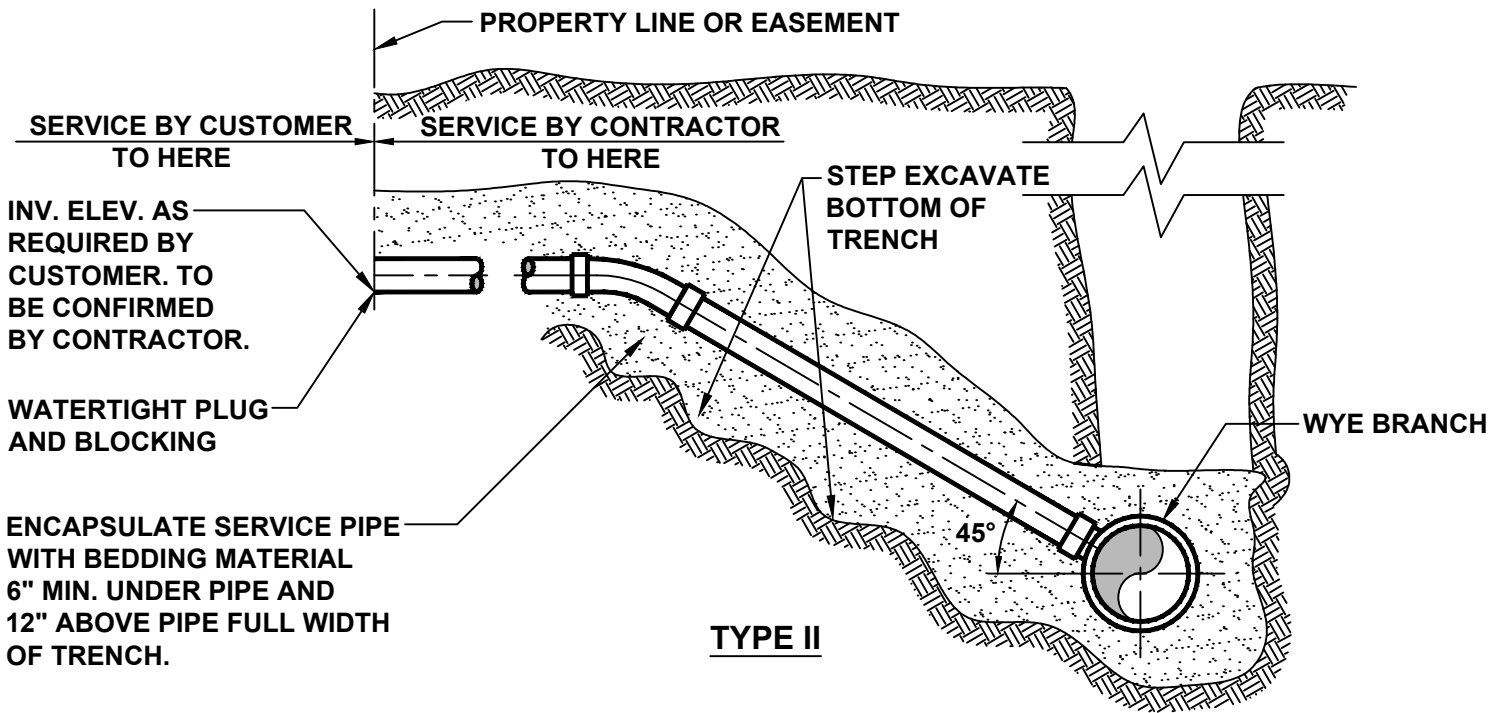


Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		<b>SERVICE LINE CONNECTIONS</b>
Not to scale	February 2025	Standard Detail SD-022



**NOTE:**  
 WHERE MAIN SEWER IS IN PRIVATE PROPERTY, FOOTAGE OF LATERAL PIPE WILL EXTEND TO THE EDGE OF SEWER RIGHT-OF-WAY.

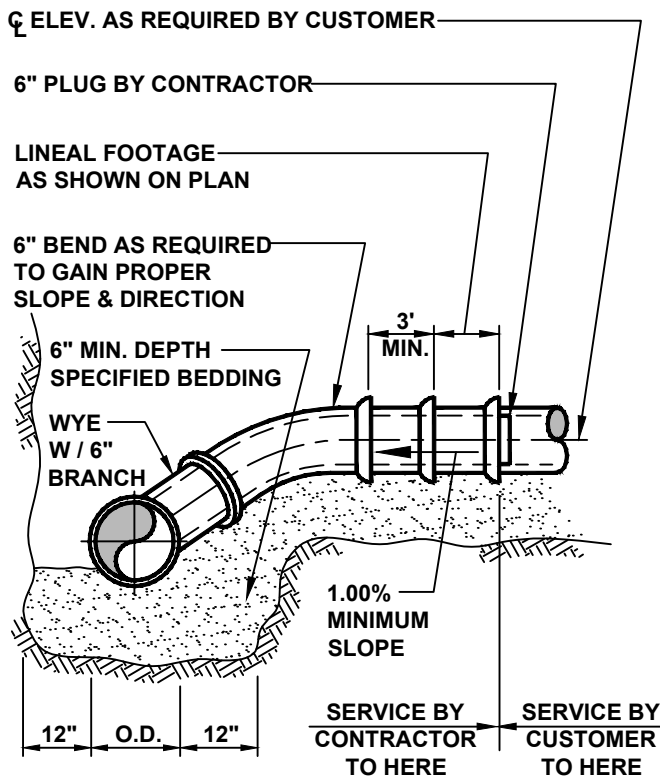
**TYPE I**



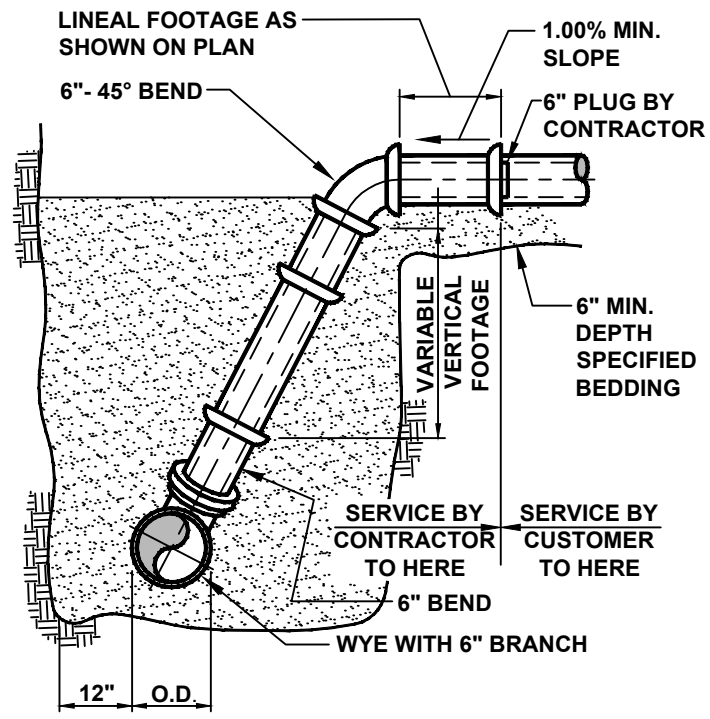
**TYPE II**

**NOTE:**  
 ALL SERVICE SEWERS SHALL BE 6" DIAMETER AND SHALL BE PVC PIPE. CHANGES IN ALIGNMENT AND CONNECTIONS TO MAIN SEWER SHALL BE ACCOMPLISHED WITH PREFABRICATED FITTINGS.

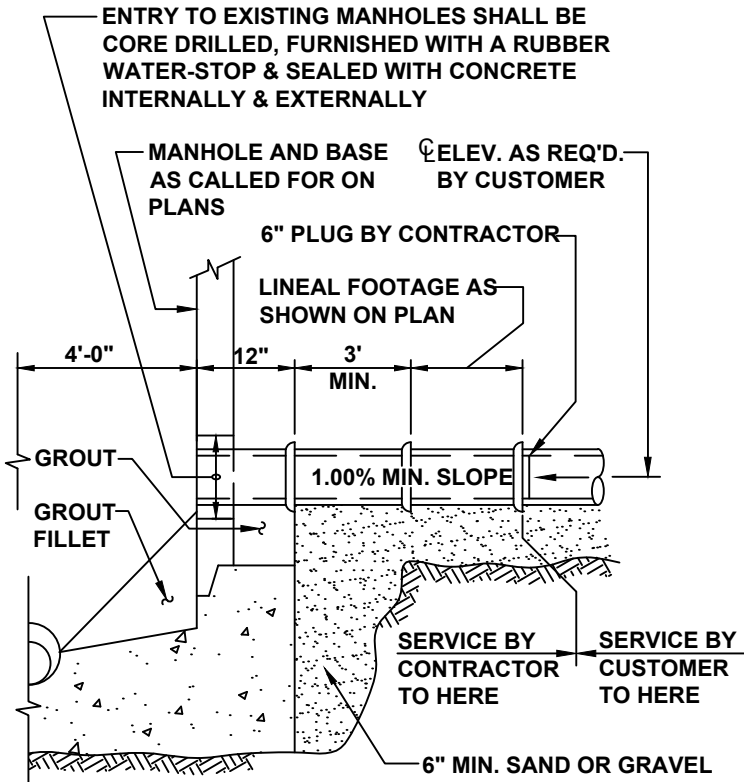
Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		TYPICAL SERVICE LATERAL CONNECTIONS
Not to scale	February 2025	Standard Detail SD-023



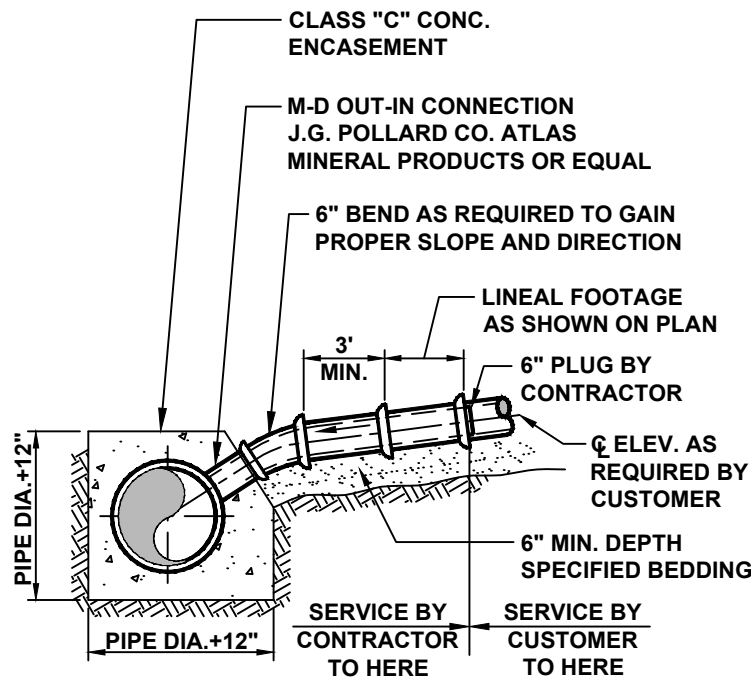
**TYPE I**



**TYPE II**

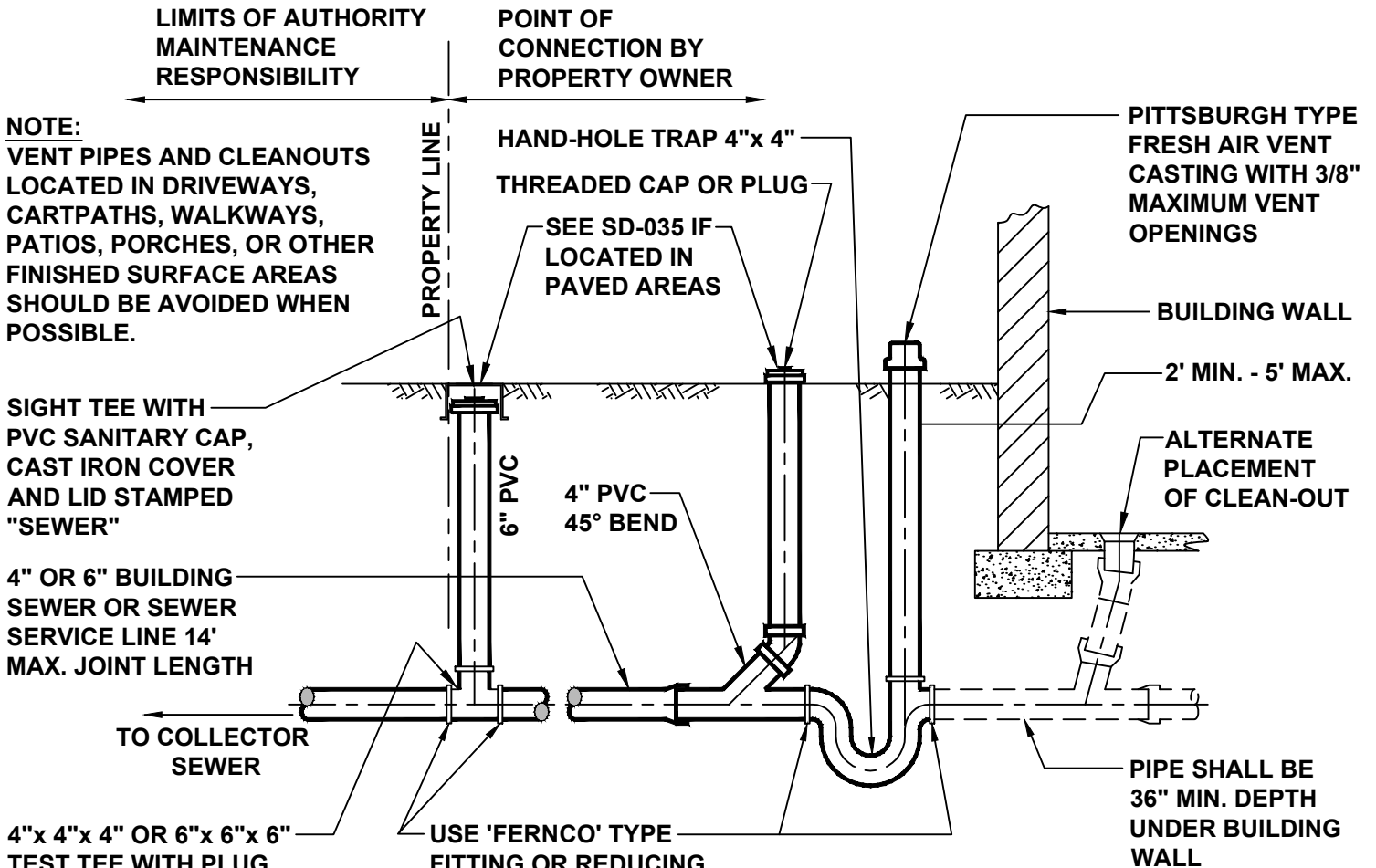


**TYPE III**



**TYPE IV**

Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		<b>SERVICE CONNECTIONS</b>
Not to scale	February 2025	Standard Detail SD-024



**NOTE:**

VENT PIPES AND CLEANOUTS LOCATED IN DRIVEWAYS, CARPATHS, WALKWAYS, PATIOS, PORCHES, OR OTHER FINISHED SURFACE AREAS SHOULD BE AVOIDED WHEN POSSIBLE.

SIGHT TEE WITH PVC SANITARY CAP, CAST IRON COVER AND LID STAMPED "SEWER"

4" OR 6" BUILDING SEWER OR SEWER SERVICE LINE 14' MAX. JOINT LENGTH

4"x 4"x 4" OR 6"x 6"x 6" TEST TEE WITH PLUG. EXTEND TO SURFACE FOR INSPECTION TEE AS REQUIRED.

USE 'FERNCO' TYPE FITTING OR REDUCING COUPLING TO ADAPT VARIOUS MATERIALS AND SIZES OF PIPE AS REQUIRED

**NOTE:**

1. ALL PIPE SHALL BE 4" OR 6" SCH. 40 PVC OR ABS. SLOPE SHALL BE MIN. 1/4" PER FOOT FOR 4" LINE AND 1/8" PER FOOT SLOPE FOR 6" LINE.

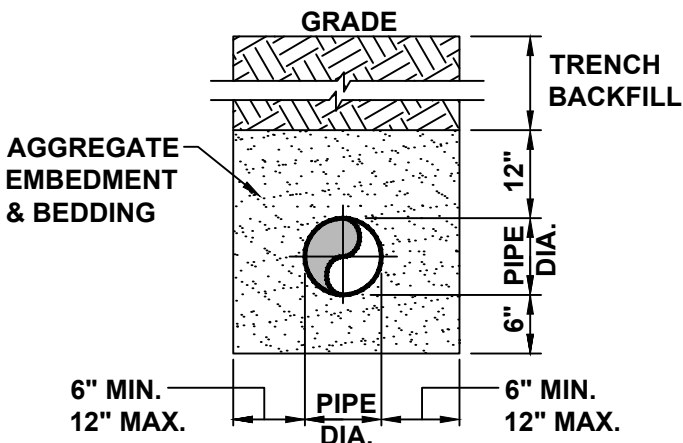
2. CLEAN-OUTS SHALL BE INSTALLED AT 50 FOOT INTERVALS FOR 4" PIPE AND 100 FOOT INTERVALS FOR 6" PIPE.

3. SDR 35 PVC MAY BE USED FROM THE DOWNSTREAM SIDE OF THE TRAP TO THE MAIN.

4. ABS PIPE SHOULD NOT BE GLUED TO PVC PIPE.

5. ALL FERNCO CONNECTIONS WHERE PERMITTED SHALL BE BANDED TYPE.

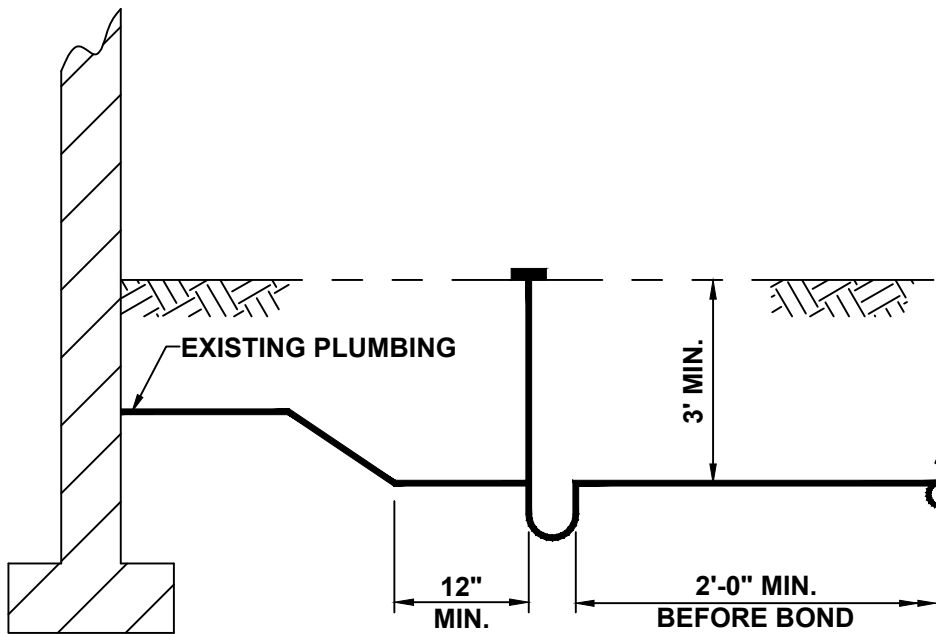
**CONDENSED INSTALLATION SPECIFICATIONS**  
SEWER SERVICE LINE AND SEWER SERVICE CONNECTIONS SHALL BE INSTALLED BY REGISTERED MASTER PLUMBER AT THE COST OF THE CUSTOMER IN ACCORDANCE WITH APPENDIX C OF THE RULES AND REGULATIONS AND DETAILED SPECIFICATIONS OF THE AUTHORITY AND MUST MEET ALL CURRENT ACHD STANDARDS.



**SEWER SERVICE LINE PIPE:**

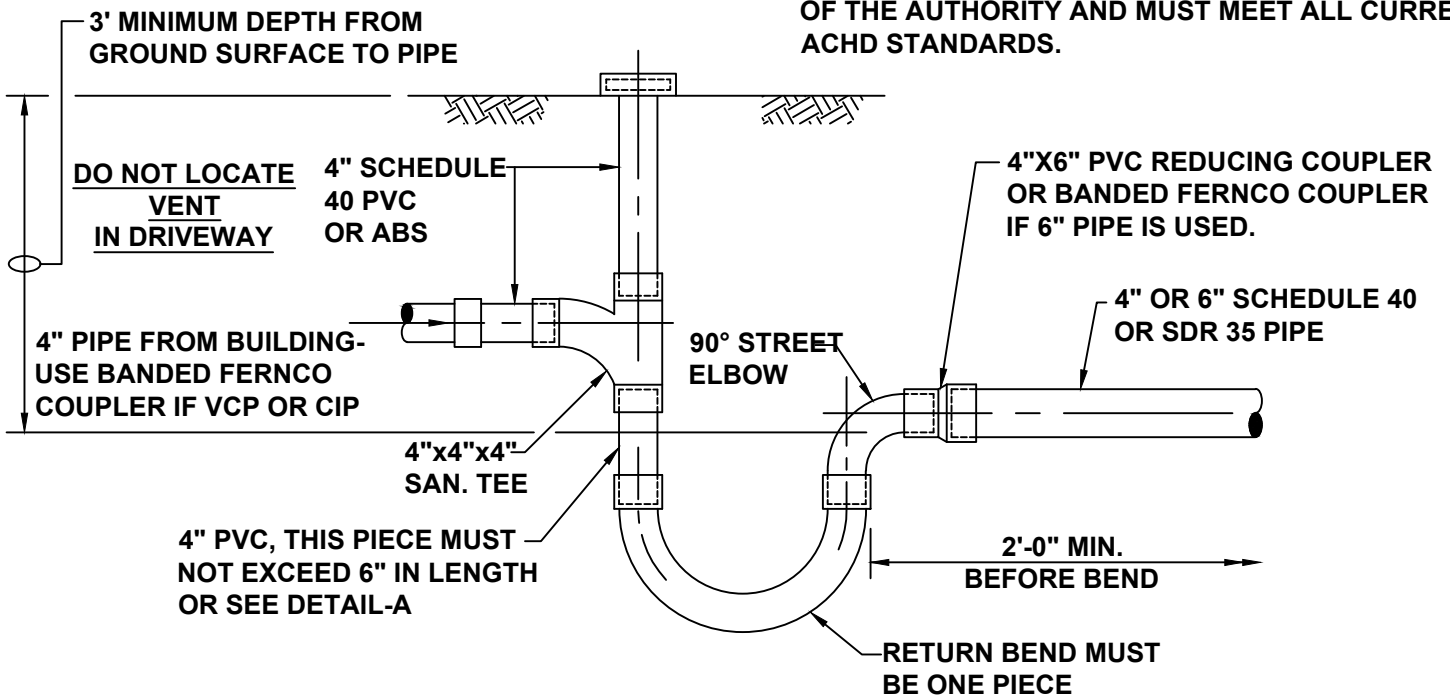
MATERIAL	ASTM SPECIFICATIONS	JOINT	ASTM SPEC.
ABS	D-2751 SCH-40	SOLVENT WELD	D-2751
PVC	D-3034 SDR-35	ELASTOMERIC	D-3212
PVC	D-1875 SCH-40	SOLVENT WELD	D-2564

Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		<b>SERVICE CONNECTION TO          SANITARY SEWER          FROM A NEW INSTALLATION</b>
Not to scale	February 2025	Standard Detail SD-025



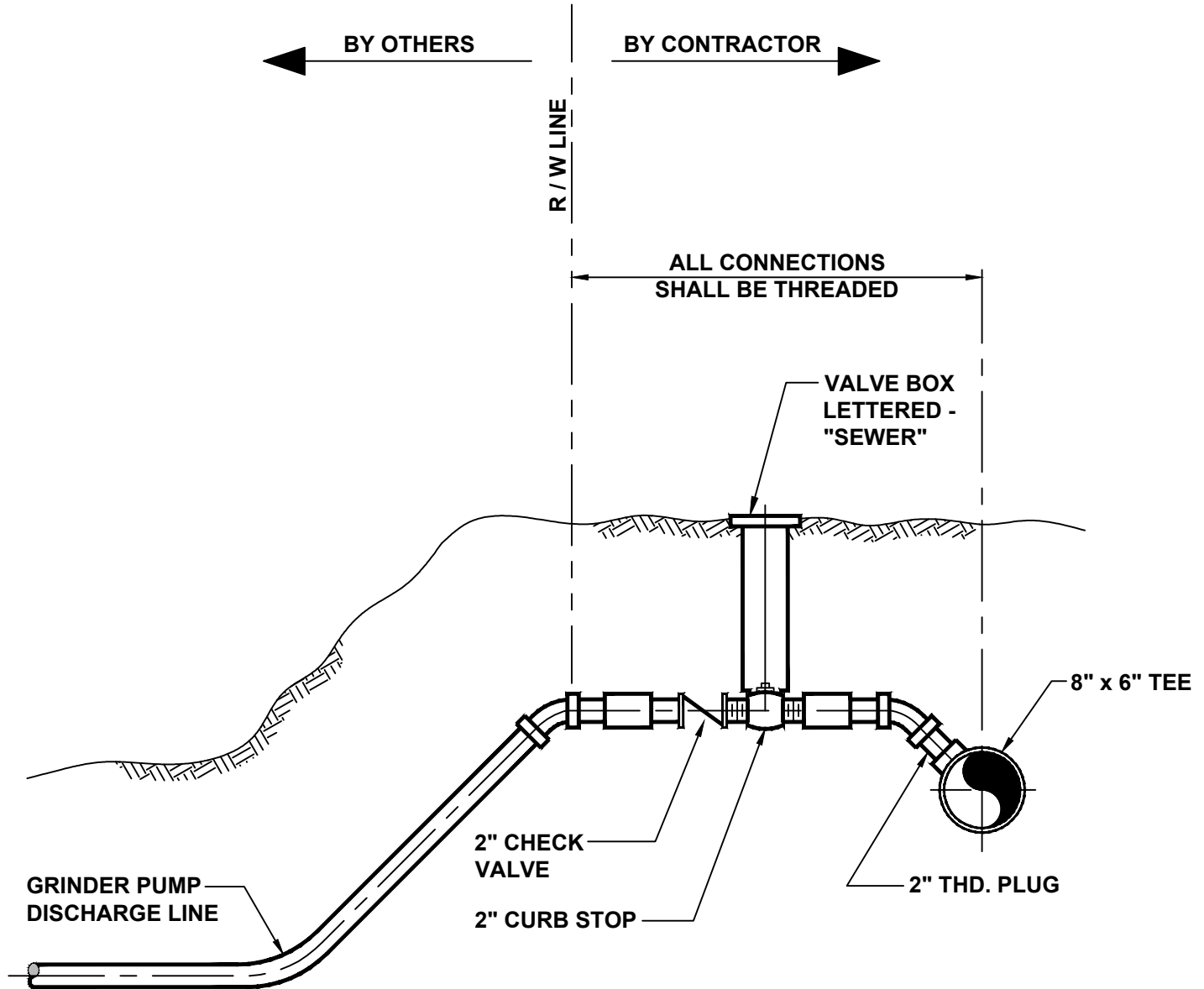
**SHALLOW BUILDING SEWER TRAP DETAIL**

**CONDENSED INSTALLATION SPECIFICATIONS**  
**SEWER SERVICE LINE AND SEWER SERVICE**  
**CONNECTIONS SHALL BE INSTALLED BY REGISTERED**  
**MASTER PLUMBER AT THE COST OF THE CUSTOMER**  
**IN ACCORDANCE WITH APPENDIX C OF THE RULES**  
**AND REGULATIONS AND DETAILED SPECIFICATIONS**  
**OF THE AUTHORITY AND MUST MEET ALL CURRENT**  
**ACHD STANDARDS.**

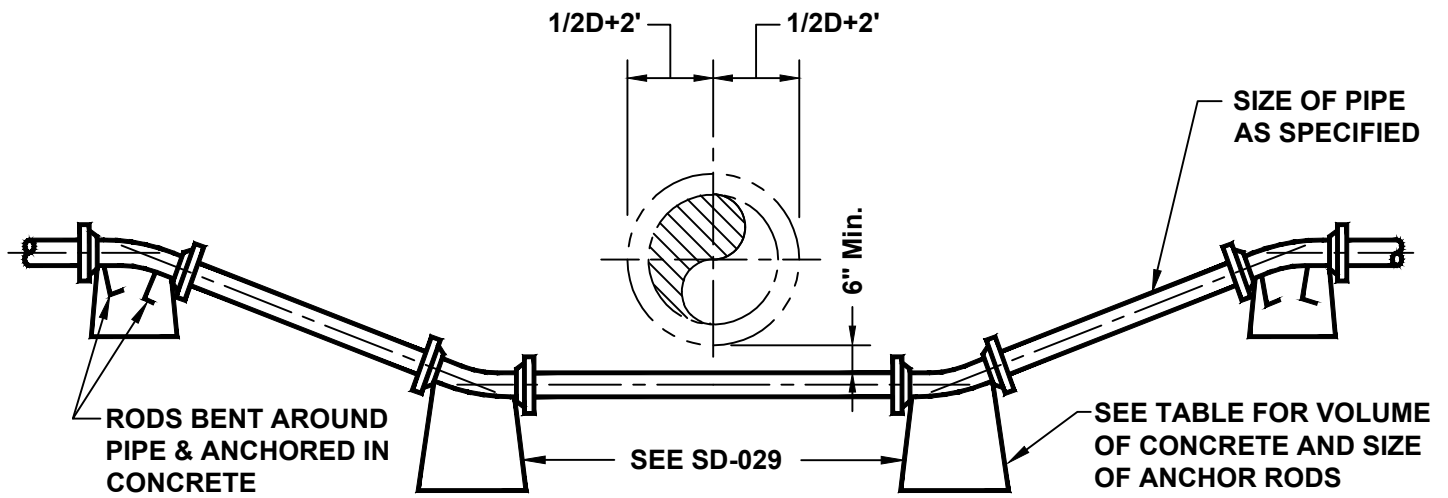


**TYPICAL FABRICATED PVC VENT/ TRAP ASSEMBLY**

<p>Municipal Authority Of The          Township Of South Fayette          700 Holland Street          Bridgeville, Pa 15017</p>		<p><b>BUILDING SEWER TRAP DETAILS</b></p>
<p>Not to scale</p>	<p>February 2025</p>	<p>Standard Detail SD-026</p>



<p>Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017</p>		<p>SMALL DIAMETER FORCE MAIN CONNECTION</p>
<p>Not to scale</p>	<p>February 2025</p>	<p>Standard Detail SD-027</p>



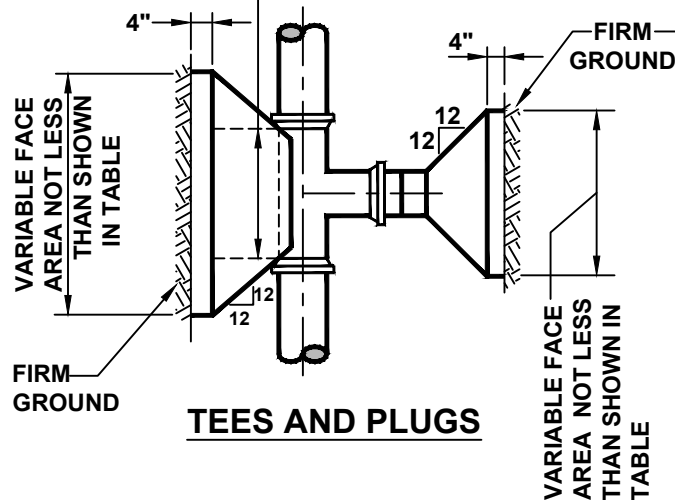
**NOTE:**  
 THE TABLE IS BASED ON 225 PSI TEST PRESSURE. ALL BLOCKS HAVING LENGTH OF 3'-0" OR MORE TO BE REINFORCED WITH #4 @ 6" PLACED 3" FROM TOP OF BLOCK.

**NOTE:**  
 ALL FITTINGS SHALL BE WRAPPED IN PLASTIC PRIOR TO POURING CONCRETE ANCHORS.

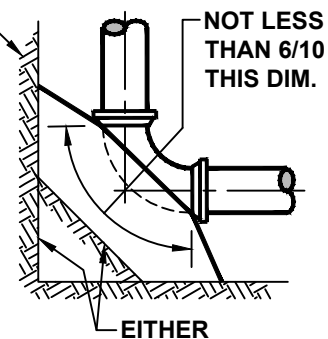
PIPE SIZE	TOTAL FORCE (lbs)	VOLUME IN CUBIC FEET			SIZE AND NO. OF ANCHOR RODS		
		45 DEGREE BENDS	22 1/2 DEGREE BENDS	11 1/4 DEGREE BENDS	45 DEGREE BENDS	22 1/2 DEGREE BENDS	11 1/4 DEGREE BENDS
4	4275	22.7	11.6	5.9	1-#4	1-#4	1-#4
6	8550	45.5	23.3	11.9	2-#4	1-#4	1-#4
8	14625	77.8	39.6	20.3	2-#4	2-#4	1-#4
10	21825	116.1	59.1	30.3	2-#4	2-#4	2-#4
12	30825	164.0	83.5	42.8	2-#5	2-#4	2-#4
14	41400	220.2	112.1	57.5	2-#6	2-#4	2-#4
16	53550	284.9	145.0	73.4	2-#7	2-#5	2-#4
18	67275	357.9	182.2	93.4	2-#7	2-#5	2-#4
20	82575	439.2	223.6	114.7	2-#8	2-#6	2-#4
24	117675	626.0	318.7	183.4	2-#9	2-#7	2-#5

Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		<b>CONCRETE ANCHORS AND          METHOD OF LAYING FORCE MAINS          UNDER OBSTRUCTIONS</b>
Not to scale	February 2025	Standard Detail SD-028

NOT LESS THAN  
6/10 THIS DIM.

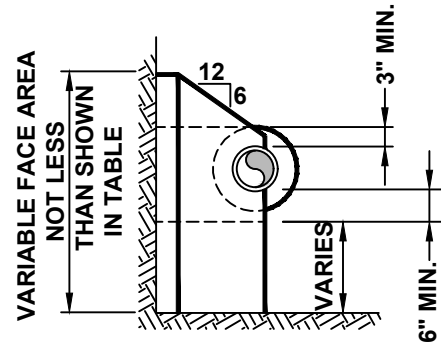


**TEES AND PLUGS**



**NOTE:**  
OUTSIDE FACE AREA NOT  
LESS THAN SHOWN IN TABLE

**BENDS**



**TEES, WYES,  
AND BENDS**

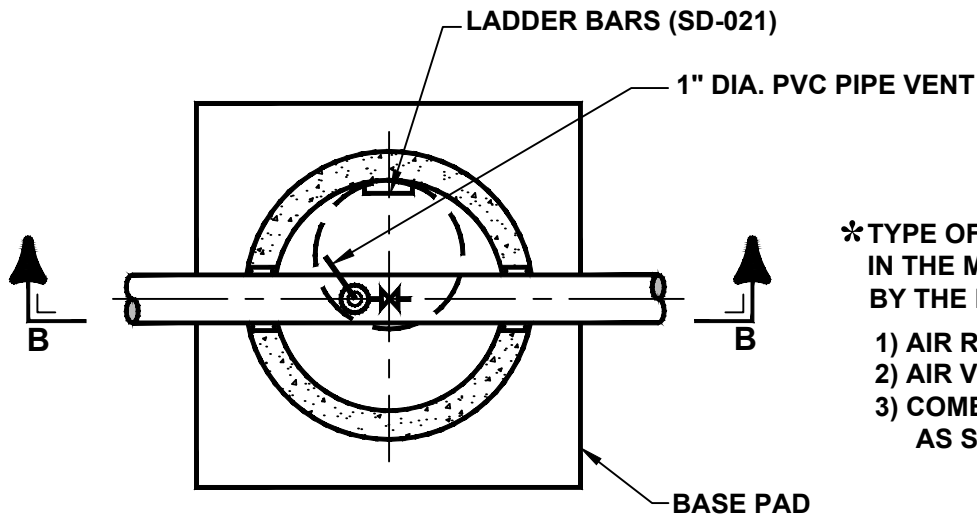
**NOTES:**

1. ALL TEES, WYES, CROSSES, PLUGS AND BENDS OF 10° OR MORE SHALL BE BLOCKED AGAINST FIRM EARTH WITH CONCRETE.
2. EARTH PRESSURE FIGURED AT 4000 PSF. IF EARTH ENCOUNTERED WILL NOT WITHSTAND THIS PRESSURE, THE AREA OF THE BLOCK MUST BE INCREASED PROPORTIONATELY.
3. ALL FITTINGS SHALL BE WRAPPED IN PLASTIC PRIOR TO POURING CONCRETE BLOCKING.

PIPE SIZE (in)	AREA* (sq in)	TOTAL FORCE (lbs)	AREA OF BLOCK IN SQUARE FEET				
			TEES & PLUGS	90 DEGREE BENDS	45 DEGREE BENDS	22 1/2 DEGREE BENDS	11 1/4 DEGREE BENDS
4	19	4,275	1.1	1.5	1.0	1.0	1.0
6	38	8,550	2.2	3.0	1.6	1.0	1.0
8	65	14,625	3.7	5.2	2.8	1.4	1.0
10	97	21,825	5.5	7.7	4.2	2.1	1.1
12	137	30,825	7.7	10.9	5.9	3.0	1.5
14	184	41,400	10.4	14.6	7.9	4.0	2.1
16	238	53,550	13.4	18.9	10.3	5.2	2.7
18	299	67,275	16.8	23.8	12.9	6.6	3.4
20	367	82,575	20.7	29.2	15.8	8.1	4.1
24	523	117,675	29.4	41.6	22.5	11.5	5.9
30	805	96,600	24.2	34.2	18.5	9.4	4.8
36	1152	138,240	34.6	48.9	26.5	13.5	6.9

CALCULATIONS ARE BASED ON 225 PSI PRESSURE OR 150 PSI WORKING PRESSURE PLUS 50% INCREASE FOR WATER HAMMER FOR SIZES 4" TO 24" INCLUSIVE. FOR SIZES 30" & 36" THE TABLE IS BASED ON 120 PSI PRESSURE OR 75 PSI WORKING PRESSURE PLUS 50% WATER HAMMER.

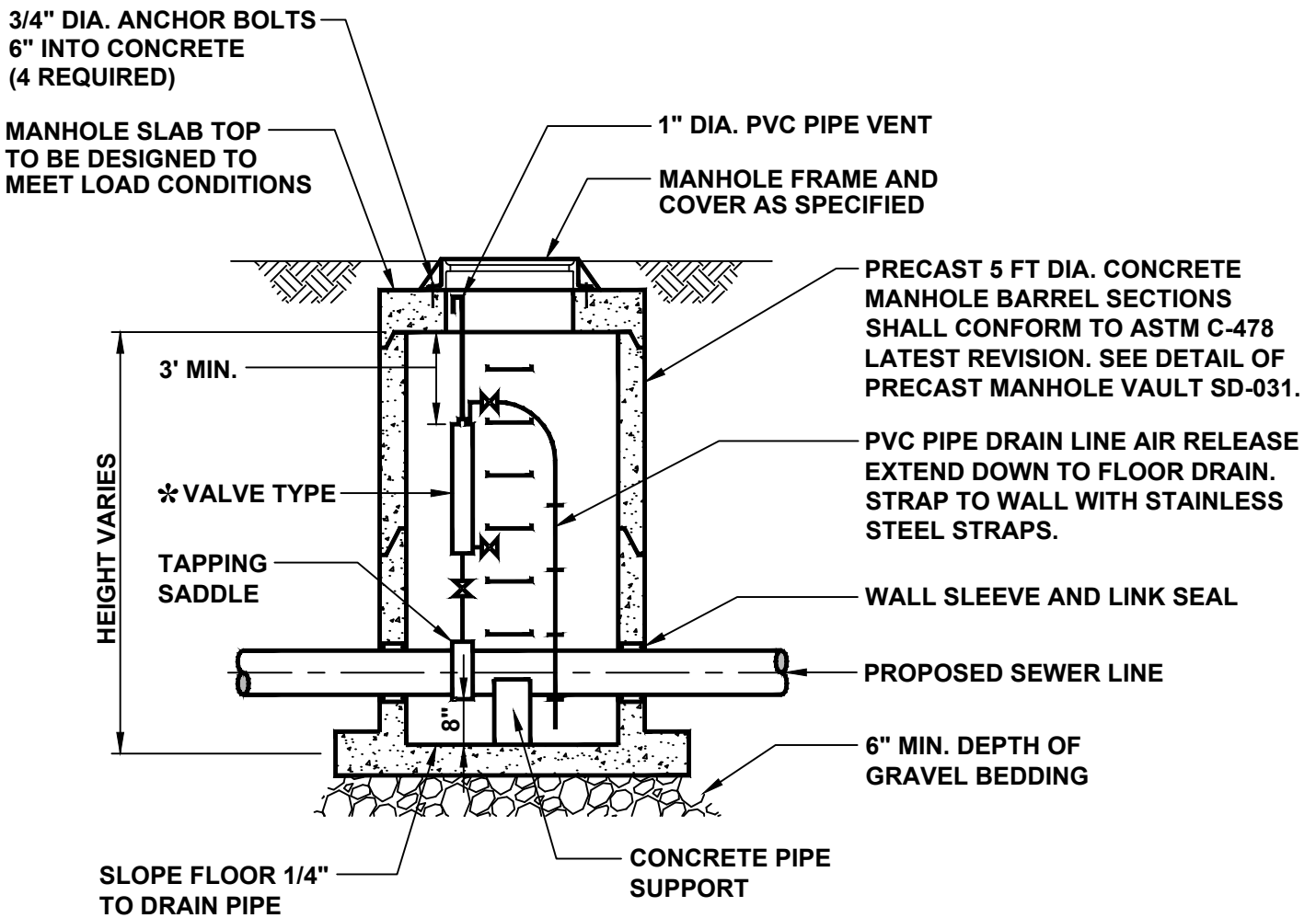
<p>Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017</p>		<p>CONCRETE THRUST BLOCKING</p>
<p>Not to scale</p>	<p>February 2025</p>	<p>Standard Detail SD-029</p>



\*TYPE OF VALVE INSTALLED IN THE MANHOLE AS REQUIRED BY THE ENGINEER

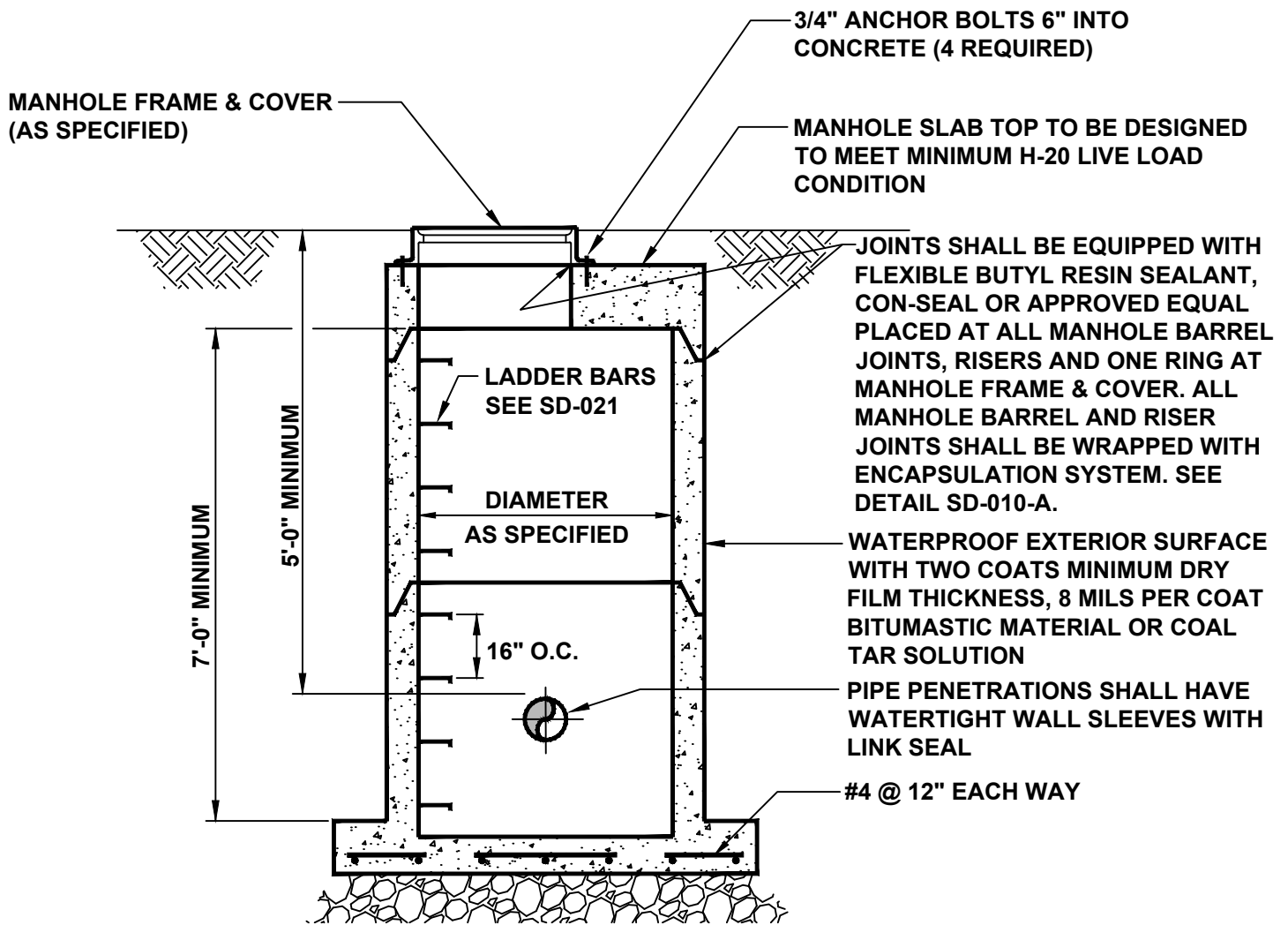
- 1) AIR RELEASE VALVE
- 2) AIR VACUUM VALVE
- 3) COMBINATION AIR VALVE AS SPECIFIED

**PLAN 2-040-A**



**SECTION B**

Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		<b>SEWAGE AIR AND          VACUUM RELEASE VALVE          AND MANHOLE</b>
Not to scale	February 2025	Standard Detail SD-030

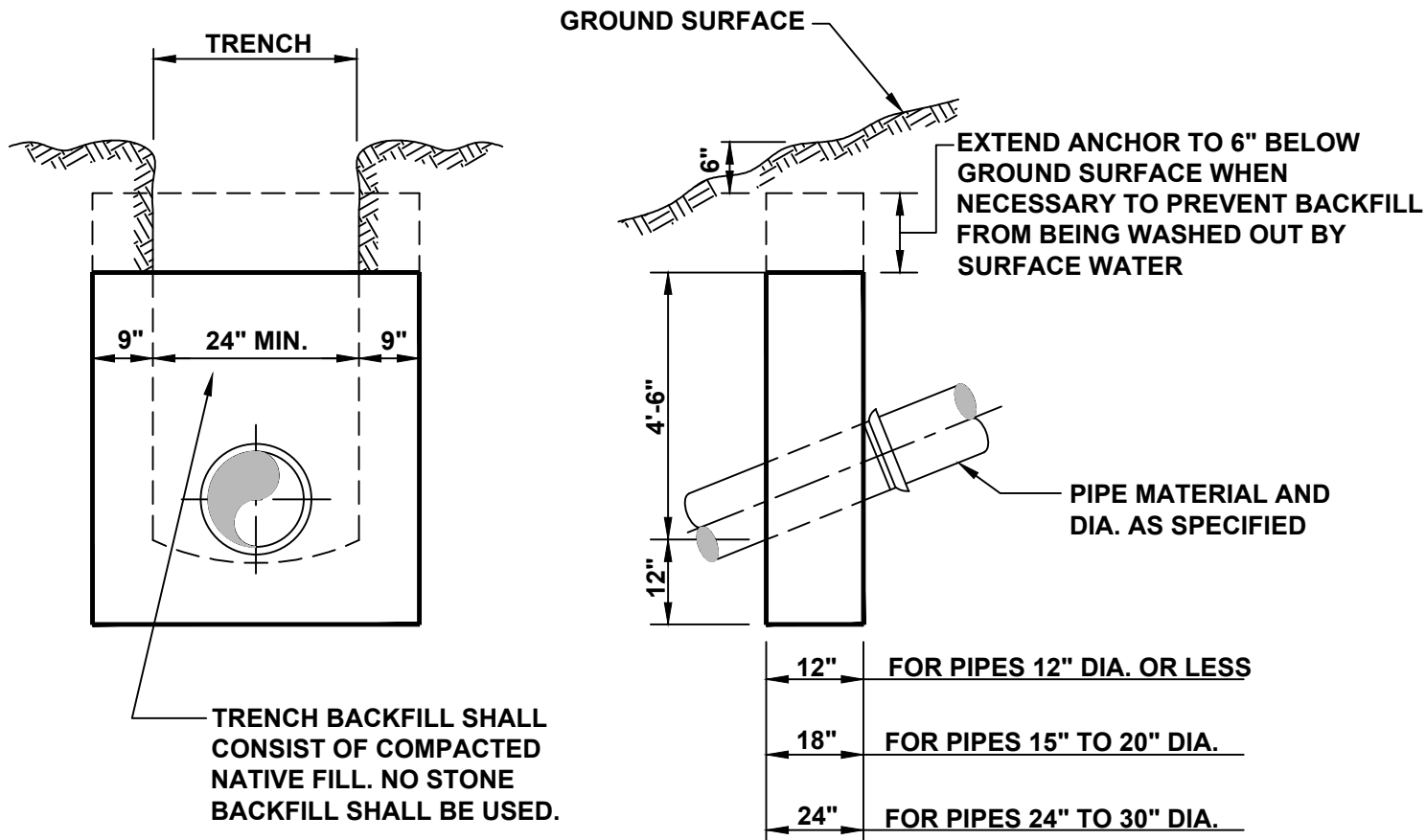


**SECTION A-A**

**NOTES:**

1. PRECAST CONCRETE MANHOLE SECTIONS SHALL CONFORM TO ASTM-C478, LATEST REVISION.
2. WHERE MANHOLE FOUNDATION IS IN ROCK, REINFORCEMENT WILL NOT BE REQUIRED.
3. LIFTING HOLES SHALL BE PAINTED WITH MORTAR, MADE WATERTIGHT AND LEFT NEAT & SMOOTH.
4. SUPPORT MANHOLE STRUCTURE AND ALL PIPING CONNECTIONS ON A MINIMUM OF 6" THICKNESS 2B BEDDING MATERIAL. ENCAPSILATE ALL PIPES WITHIN MANHOLE EXCAVATION IN THE SAME MATERIAL TO AN ELEVATION OF 12" ABOVE THE TOPS OF PIPES.

Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		PRECAST CONCRETE MANHOLE VAULT
Not to scale	February 2025	Standard Detail SD-031



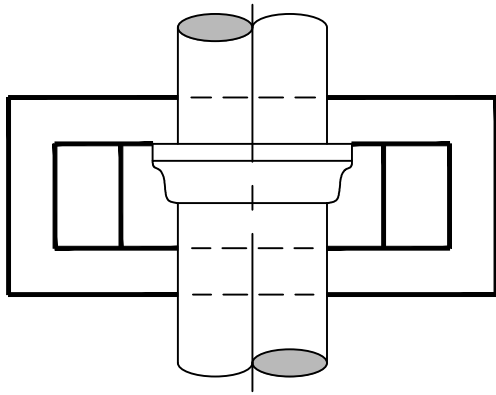
### **CONCRETE ANCHORS FOR PIPES ON STEEP GRADES**

**PROVIDE NO ANCHORS ON GRADES LESS THAN 20% UNLESS NOTED**  
**PROVIDE ANCHORS 36' C-C ON GRADES BETWEEN 20% AND 34%**  
**PROVIDE ANCHORS 24' C-C ON GRADES BETWEEN 34% AND 50%**  
**PROVIDE ANCHORS 16' C-C ON GRADES BETWEEN 50% AND 70%**

**NOTE:**

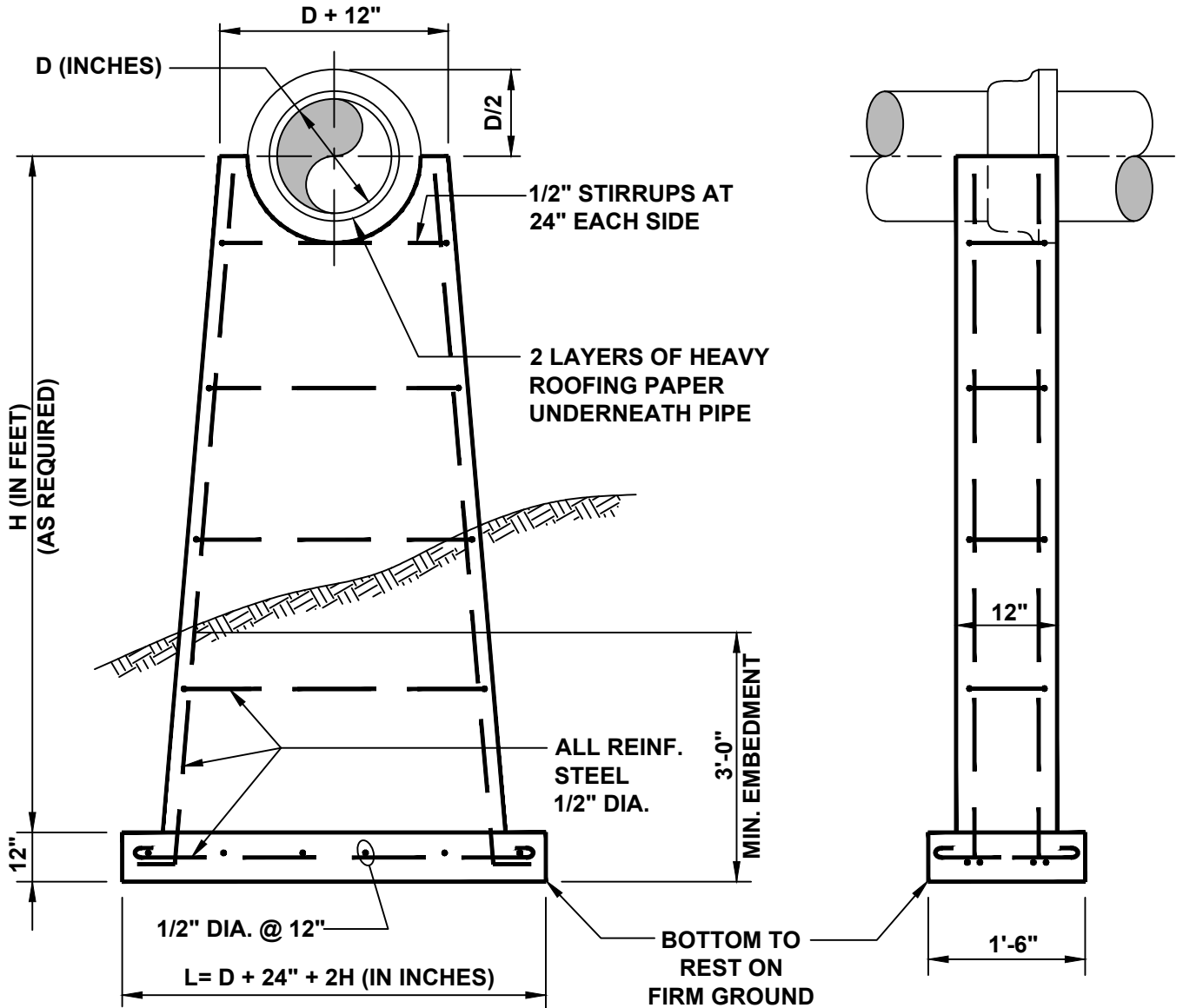
- 1. FOR CONDITIONS OTHER THAN SHOWN HEREON ANCHORS SHALL BE PROVIDED AS REQUIRED BY THE CONTRACT PLANS OR ORDERED IN THE FIELD BY THE OWNER'S REPRESENTATIVE.**
- 2. ALL PIPE ON SLOPES GREATER THAN 30% SHALL BE DUCTILE IRON WITH FIELD LOK GASKETS.**
- 3. WHERE PIPES ARE INSTALLED ON STEEP GRADES, CONTRACTOR SHALL INSTALL CONCRETE THRUST BLOCKING AT THE BOTTOM OF THE PIPE RUN AT THE MANHOLE CONNECTION.**

<b>Municipal Authority Of The          Township Of South Fayette          700 Holland Street          Bridgeville, Pa 15017</b>		<b>CONCRETE ANCHORS          FOR PIPELINES</b>
<b>Not to scale</b>	<b>February 2025</b>	<b>Standard Detail SD-032</b>



**NOTE:**

THESE PIERS SHALL BE CONSTRUCTED AT ALL LOCATIONS WHERE PIPE ALIGNMENT OR PROFILE PROHIBITS PIPE SUPPORT ON ORIGINAL UNDISTURBED GROUND. SPACING BETWEEN PIERS SHALL ACCOMODATE PIPE JOINTS UNLESS OTHERWISE SHOWN ON THE THE PLANS OR DIRECTED IN THE FIELD



EXAMPLE:  $D=12"$   
 $H=10'-0"$   
 $L=12"+24"+(2 \times 10)=56"$

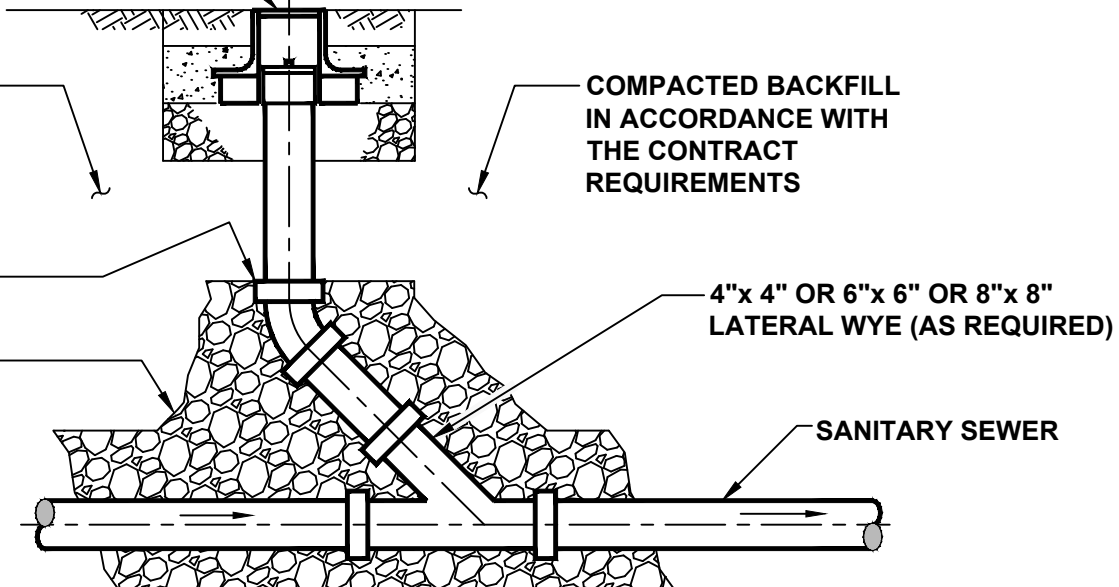
Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017		PIPE SUPPORT PIERS FOR ALIGNEMENTS ABOVE ORIGINAL UNDISTURBED GROUND
Not to scale	February 2025	Standard Detail SD-033

TAMPER RESISTANT CAP  
SEE 34-C & 34-D

COMPACTED BACKFILL  
IN ACCORDANCE WITH  
THE CONTRACT  
REQUIREMENTS

45° BEND

EXTEND PIPE BEDDING  
MATERIAL TO TOP OF  
45° BEND



**IN-LINE CLEANOUT DETAIL A**



LOCKING COVER  
LETTERED- 'SEWER'

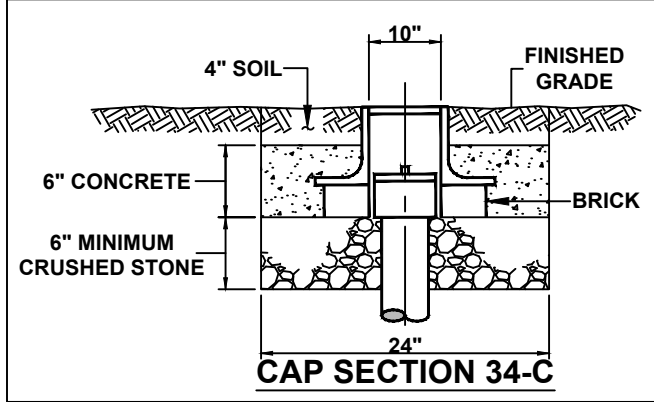
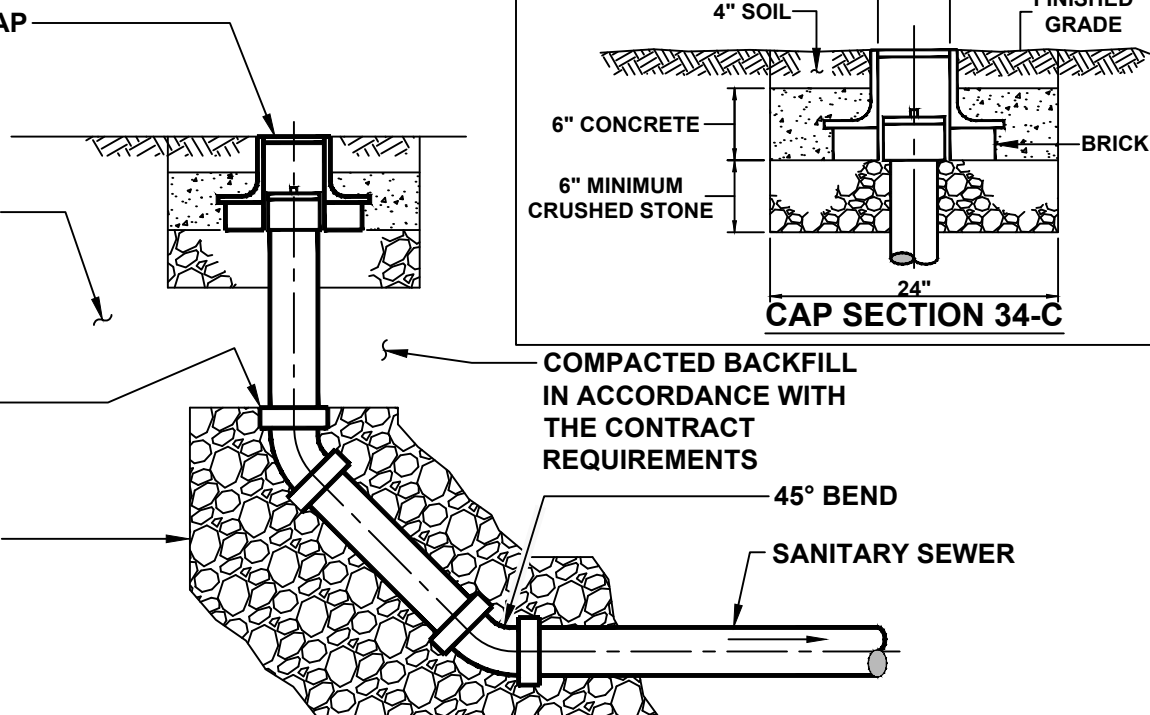
**CAP COVER 34-D**

TAMPER RESISTANT CAP  
SEE 34-C & 34-D

COMPACTED BACKFILL  
IN ACCORDANCE WITH  
THE CONTRACT  
REQUIREMENTS

45° BEND

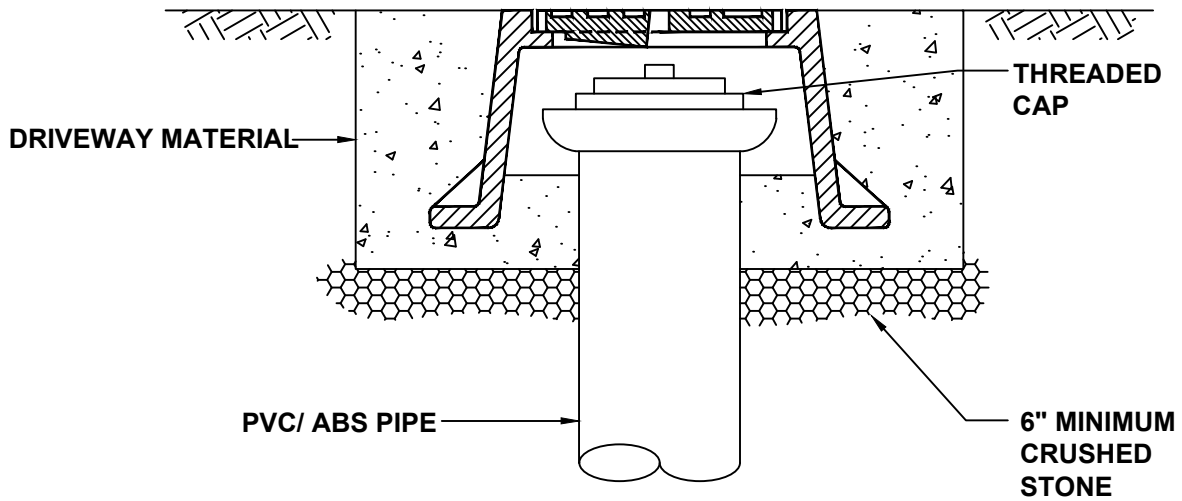
EXTEND PIPE BEDDING  
MATERIAL TO TOP OF  
45° BEND



**CAP SECTION 34-C**

**END-LINE CLEANOUT DETAIL B**

<p>Municipal Authority Of The Township Of South Fayette 700 Holland Street Bridgeville, Pa 15017</p>		<p>MAIN LINE, IN-LINE, AND END LINE CLEANOUT FOR 6" AND 8" PVC SEWER</p>
<p>Not to scale</p>	<p>February 2025</p>	<p>Standard Detail SD-034</p>



**NOTE:  
 FRAME & COVER SHALL BE VALVCO  
 INC. #668 OR APPROVED EQUAL.**

<b>Municipal Authority Of The          Township Of South Fayette          700 Holland Street          Bridgeville, Pa 15017</b>		<b>LATERAL          SITE TEE/ CLEANOUT          IN PAVED AREAS</b>
<b>Not to scale</b>	<b>February 2025</b>	<b>Standard Detail SD-035</b>



# GATEWAY ENGINEERS

C-18927-0096

February 2026

## Hastings Phase 5

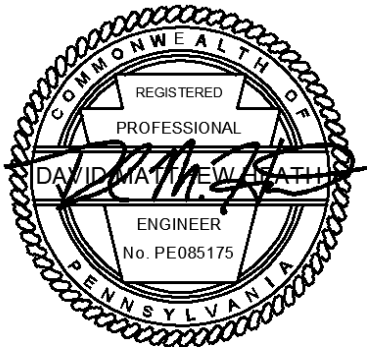
South Fayette Township  
Allegheny County, PA

### PREPARED FOR

Charter Homes at Hastings, Inc.  
322 North Arch Street, First Floor  
Lancaster, PA 17603

### SUBMITTED BY

Benjamin R. Landin, E.I.T.  
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### REVIEWED BY

Ryan R. Richard, E.I.T.

# PCSSM REPORT

## POST CONSTRUCTION STORMWATER MANAGEMENT REPORT



A FULL-SERVICE CIVIL ENGINEERING FIRM

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## PROJECT NARRATIVE

PLAN NAME: **Hastings Phase 5**

LOCATION: **South Fayette Township, Allegheny County, PA**

### Introduction & Description

Charter Homes at Hastings, Inc. is proposing Phase 5 of the Hastings development located off of Mayview Road in South Fayette Township, Allegheny County, PA. Phase 5 consists of single family and townhouse style homes, cartways, trails, utilities, stormwater management facilities, and green space. Construction is anticipated to begin in the summer of 2026 and be completed in the spring of 2027. The property is located within the Chartiers Creek watershed, and drains to Chartiers Creek, which is designated as a Warm Water Fishery (WWF) per PaCODE Chapter 93, Water Quality Standards.

The site is located within Point of Analysis (POA) 5 of the Charter Homes at Hastings PCSM Report, latest revision February 2021. For the purposes of this report, revised peak rate, volume and water quality calculations are provided for POA 5 only. The increase in the stormwater rate and volume from the proposed development will be controlled through the installation of an underground detention tank for peak rate control and an above/below ground infiltration basin.

### Site Conditions and Calculations

The proposed site was formerly the Mayview Hospital, which consisted of several buildings, access roads, parking areas, athletic fields, and green space. The site has since been razed (in 2009) and the lot is now largely comprised of rubble and impervious areas where buildings and parking areas once existed. Post Construction Stormwater Management SCMs are required to mitigate stormwater runoff in the area of the proposed development which includes an impervious buildings, sidewalks, and access drives.

### Methodology

Stormwater runoff from the project site will use structural and non-structural Stormwater Control Measures (SCMs) to adequately protect against adverse impacts at both the site and downstream by addressing peak discharge, stormwater volume storage, and water quality.

Hydraflow Hydrographs Extension for AutoCAD Civil 3D ® 2024, by Autodesk, Inc., was used to develop and analyze the watershed models and hydrographs. The software uses methodologies defined in Technical Release No. 55 (TR-55) to perform routing and develop outflow hydrographs.

Rainfall amounts for the indicated storms can be found in Appendix C. South Fayette Township Stormwater Ordinance § 215-78.E were used to obtain the 24-hr rainfall depth for the project site.

<b>Design Storm</b>	<b>1-Year</b>	<b>2-Year</b>	<b>5-Year</b>	<b>10-Year</b>	<b>25-Year</b>	<b>50-Year</b>	<b>100-Year</b>
<b>Precipitation (in)</b>	1.97	2.35	2.88	3.30	3.90	4.40	4.92

Time of concentration (Tc) was based on the Soil Cover Complex Method in accordance with Urban Hydrology for Small Watersheds, Technical Release No. 55 (TR-55) by the USDA, Natural Resources Conservation Service. See Appendix B for the soil series and hydrologic soil group for each soil. Refer to Appendix C for the Tc path and calculations used to determine the value used in the pre-development calculations. The following surface conditions were used for the hydrologic modeling for the pre-developed condition:

<b>Soil Cover</b>	<b>HSG C</b>
<b>Meadow (Good Condition)</b>	71
<b>Woodland</b>	70
<b>Compacted Dirt Drive</b>	87
<b>Impervious</b>	98

The following surface conditions were used in the hydrologic modeling for the post-developed condition:

<b>Soil Cover</b>	<b>HSG C</b>
<b>Open Space</b>	74
<b>Wooded</b>	70
<b>Impervious</b>	98

As stated above, the proposed Phase 5 development will result in an increase in runoff. The existing point of analysis 5 (POA 5) is revised to include the entirety of the Phase 5 development and was determined as the study point for stormwater calculations in the existing and proposed conditions. In the existing conditions, PRE POA-5 is 6.98 acres

(3.26 acres from the most recently approved PCSM Narrative + 3.72 additional acres due to the Phase 5 development). In the proposed conditions, POST DA-5A Detained is 0.36 acres, POST POA-5B Detained is 3.09 acres, and POST POA-5C Undetained is 2.69 acres which gives a total of 6.14 acres in post condition (2.42 acres from the most recently approved PCSM Narrative + 3.72 additional acres due to the Phase 5 development). Please refer to the pre and post drainage area maps in Appendix C. The proposed site is not covered by a release rate map from an approved Act 167 plan. The allowable release rate for the watershed is 100% following the requirements of the South Fayette Township Stormwater Ordinance.

### **Stormwater Management Facilities**

The project will include the construction of permanent residential structures, roads, sidewalks, and impervious driveways. The addition of these impervious surfaces will require stormwater management. The design considered the use of an underground detention tank for peak rate mitigation and an above/below ground infiltration basin to address the increase in stormwater and after soil evaluation and infiltration testing performed at the basin location showed that the infiltration basin was suitable at the preferred location.

Soil evaluation and infiltration testing performed at the infiltration basin location showed the area was suitable for infiltration. TP-1, TP-2, and TP-3 showed a stabilized rate of infiltration of 2.5 inches per hour, 2.6 inches per hour, and 2.4 inches per hour respectively, yielding an average rate of 1.75 inches per hour. Design rates utilize a 2.0 safety factor, a temperature adjustment factor of 1.7, and the resulting geometric mean of 2.13 inches per hour was used. No evidence of seasonal high groundwater table or bedrock was encountered within 24 inches of the testing elevation. **See Appendix F for the summary of the infiltration testing and calculations for the rate used in the design calculations.**

The facilities have been designed and routing calculations performed to ensure the reduction (100% release rate) of post-development flows to levels below those of the pre-development conditions. The above/below ground infiltration basin for POA-5 was designed so that the required 2-year storage volume and structural volume requirement of 7,303 c.f. (PCSM Spreadsheet for POA-5) and at least 1-inch of runoff from the net increase in impervious surfaces (4,881 CF) is achieved using infiltration and storage volume below the lowest orifice from the infiltration basin. See Appendix F for stage storage tables (available SCM volumes) for the proposed facilities.

Each detention facility has an associated outlet structure in order to control the release of stormwater. The table below summarizes the controls of the outlet structures:

SCM #	STORMWATER MANAGEMENT FACILITY	ORIFICE ELEV.	TOP OF OUTLET STRUCTURE ELEV.	OUTLET ELEV.	EMERGENCY SPILLWAY ELEV.
SCM 5.1	UNDERGROUND DETENTION TANK	854.50	859.25 (15-INCH RISER)	854.50 (15" Ø SLCPP)	N/A
SCM 5.2	ABOVE/BELOW GROUND INFILTRATION BASIN	852.00	852.25	846.00 (18" Ø SLCPP)	852.70 (40-FT WIDE EMBANKMENT)

The following tables summarize the results of the watershed modeling.

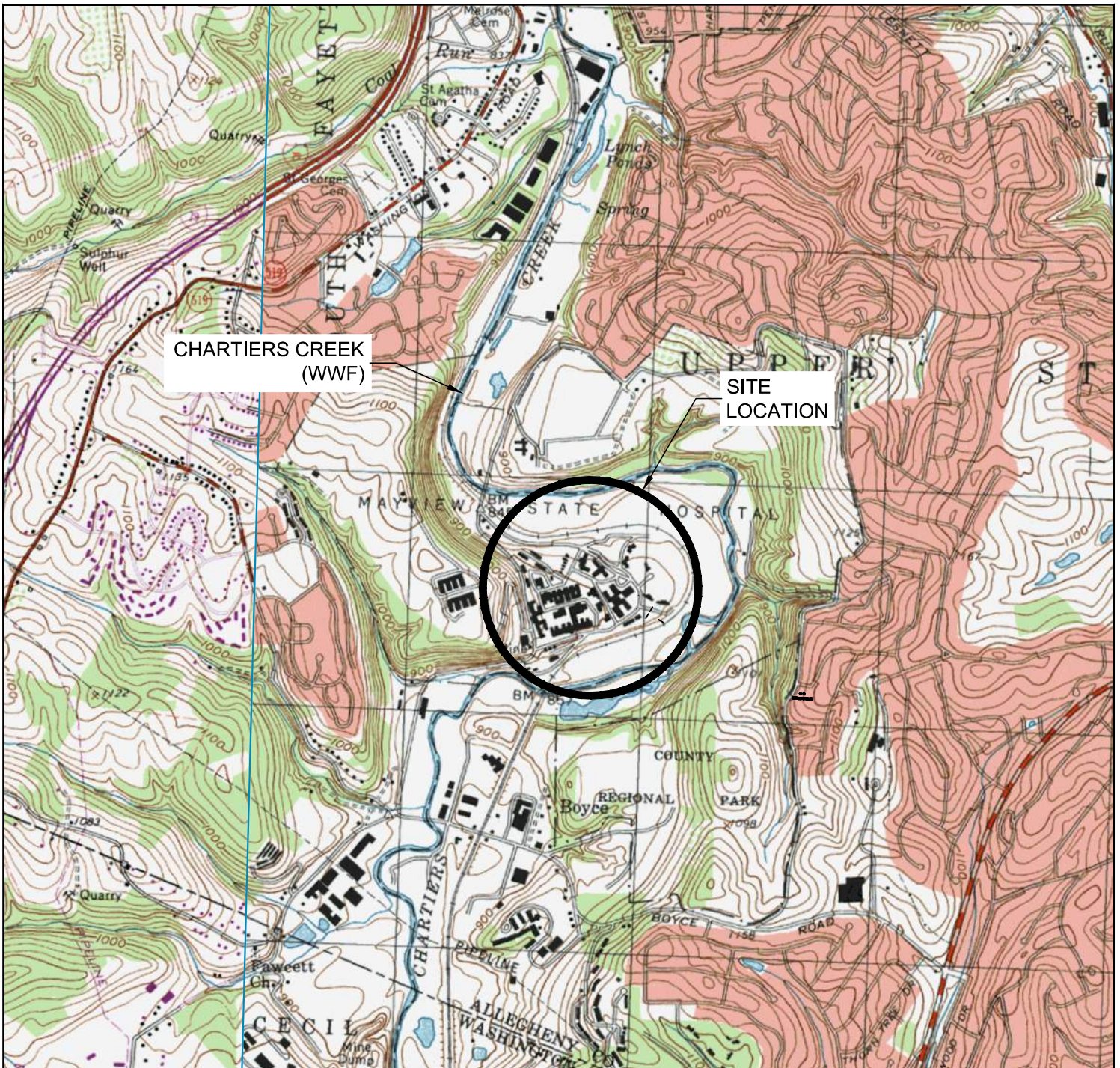
Design Storms (POA-5)							
	1-YR	2-YR	5-YR	10-YR	25-YR	50-YR	100-YR
Pre-Development Flow Rates (POA-5)							
PRE POA-5 (CFS) (Hyd 1)	3.17	5.50	9.19	12.40	17.30	21.58	26.19
Post Development Flow Rates (POA-5)							
SCM 5.1 Tank Outflow (CFS) (Hyd 3)	0.28	0.30	0.33	0.36	0.39	0.82	1.72
SCM 5.1 Tank Stage Elevation	856.63	857.00	857.52	857.95	858.64	859.35	859.46
SCM 5.2 Inf Basin Outflow (CFS) (Hyd 7)	0.00	0.00	0.59	1.72	7.26	11.47	14.69
SCM 5.2 Inf Basin Stage Elevation	851.27	851.84	852.14	852.28	852.50	852.61	852.69
POST DA-5C Undetained (CFS) (Hyd 6)	1.38	2.31	3.78	5.04	6.97	8.65	10.44
POST POA-5 Total (CFS) (Hyd 8)	1.38	2.31	3.78	5.05	12.62	18.90	24.97
Peak Rate Net Chage (CFS)	-1.79	-3.19	-5.41	-7.35	-4.68	-2.68	-1.22
Runoff Volumes (2-Year Design Storm - See PCSM Worksheet)							
POA-5	Pre-Development (cuft)		14,000	Post-Development (cuft)			21,303

\*Increase in runoff volume from pre-development to post-development is handled by the above/below ground infiltration basin #1, which has the capacity to permanently remove a total of 7,743 cuft. Refer to Appendix C & E for volume calculations and models.

**Conclusion**

The stormwater analysis contained herein demonstrates that the strategies described in this report will address water quality and quantity, will not increase stormwater peak flow rates or runoff volumes, and will meet the requirements of the PA Department of Environmental Protection Stormwater Best Management Practices as well as the South Fayette Township Stormwater Ordinance.

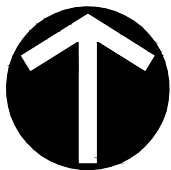
**APPENDIX A  
USGS SITE LOCATION MAP**



CHARTIERS CREEK  
(WWF)

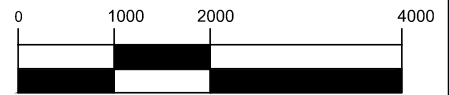
SITE  
LOCATION

USGS SITE LOCATION MAP  
BRIDGEVILLE QUAD  
SCALE 1"=2,000'



NORTH

GRAPHIC SCALE



( IN FEET )

1 inch = 2,000 ft.

SITE LOCATION MAP

Project Number: 18927-0016  
Drawing Scale: 1"=2000'  
Date Issued: MAY 2016  
Index Number: \_\_\_\_\_  
Drawn By: \_\_\_\_\_  
Checked By: DMH  
Project Manager: DMH

USGS

HASTINGS MASTER PLAN

MAYVIEW RD,  
PITTSBURGH, PA 15241

PREPARED FOR:

CHARTER HOMES & NEIGHBORHOODS  
114 FOXSHIRE DRIVE  
LANCASTER, PA 17601

Date	No	REVISION RECORD
-	01	-
-	02	-
-	03	-
-	04	-
-	05	-
-	06	-
-	07	-
-	08	-

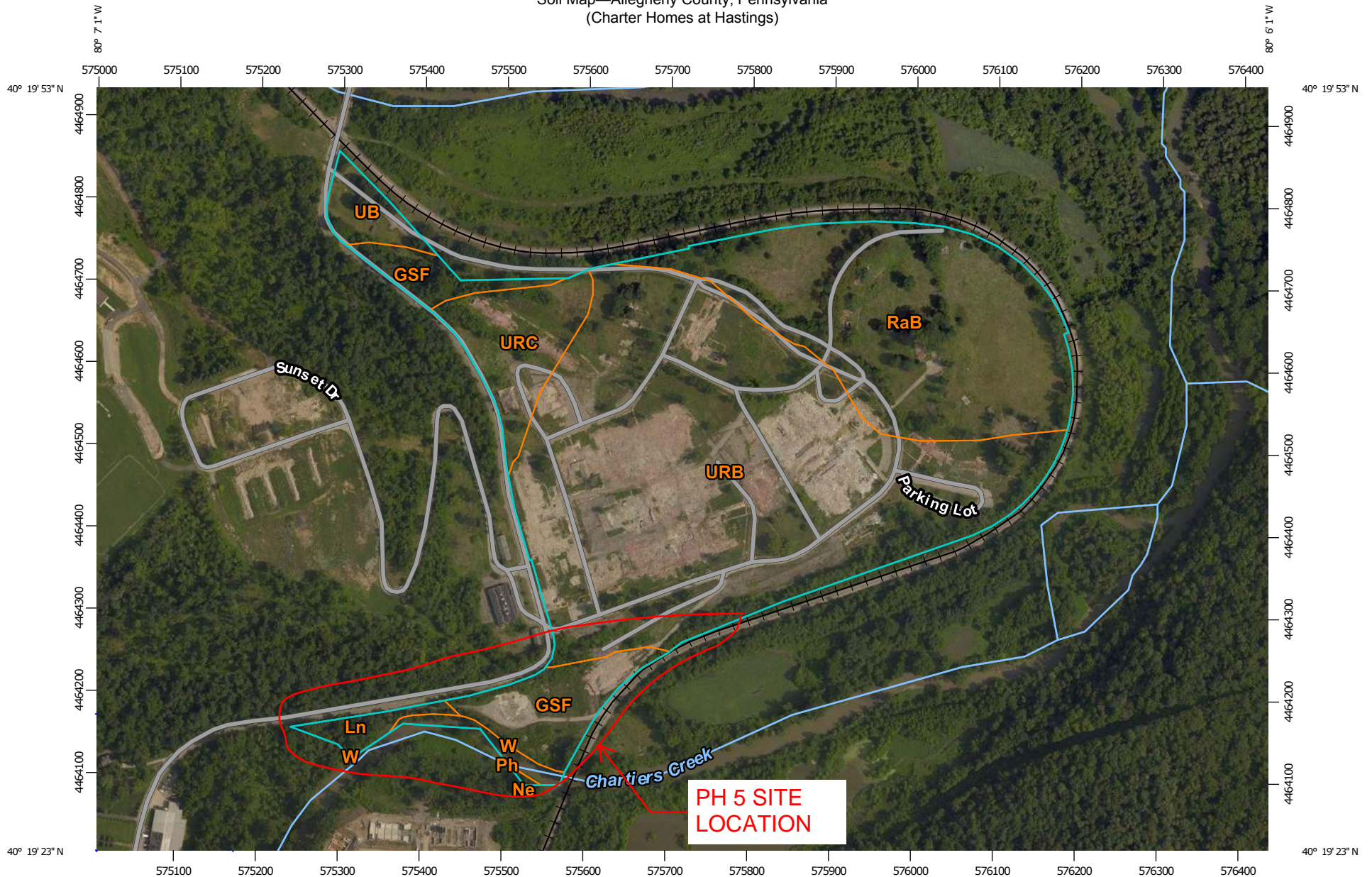


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Pittsburgh, PA  
gatewayengineers.com 855-634-9284

## **APPENDIX B WEB SOIL SURVEY**

Soil Map—Allegheny County, Pennsylvania  
(Charter Homes at Hastings)



Map Scale: 1:6,540 if printed on A landscape (11" x 8.5") sheet.

0 50 100 200 300 Meters

0 300 600 1200 1800 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84




## MAP LEGEND

### Area of Interest (AOI)

Area of Interest (AOI)

### Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

### Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

### Water Features



Streams and Canals

### Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

### Background



Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Allegheny County, Pennsylvania  
Survey Area Data: Version 9, Nov 16, 2015

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

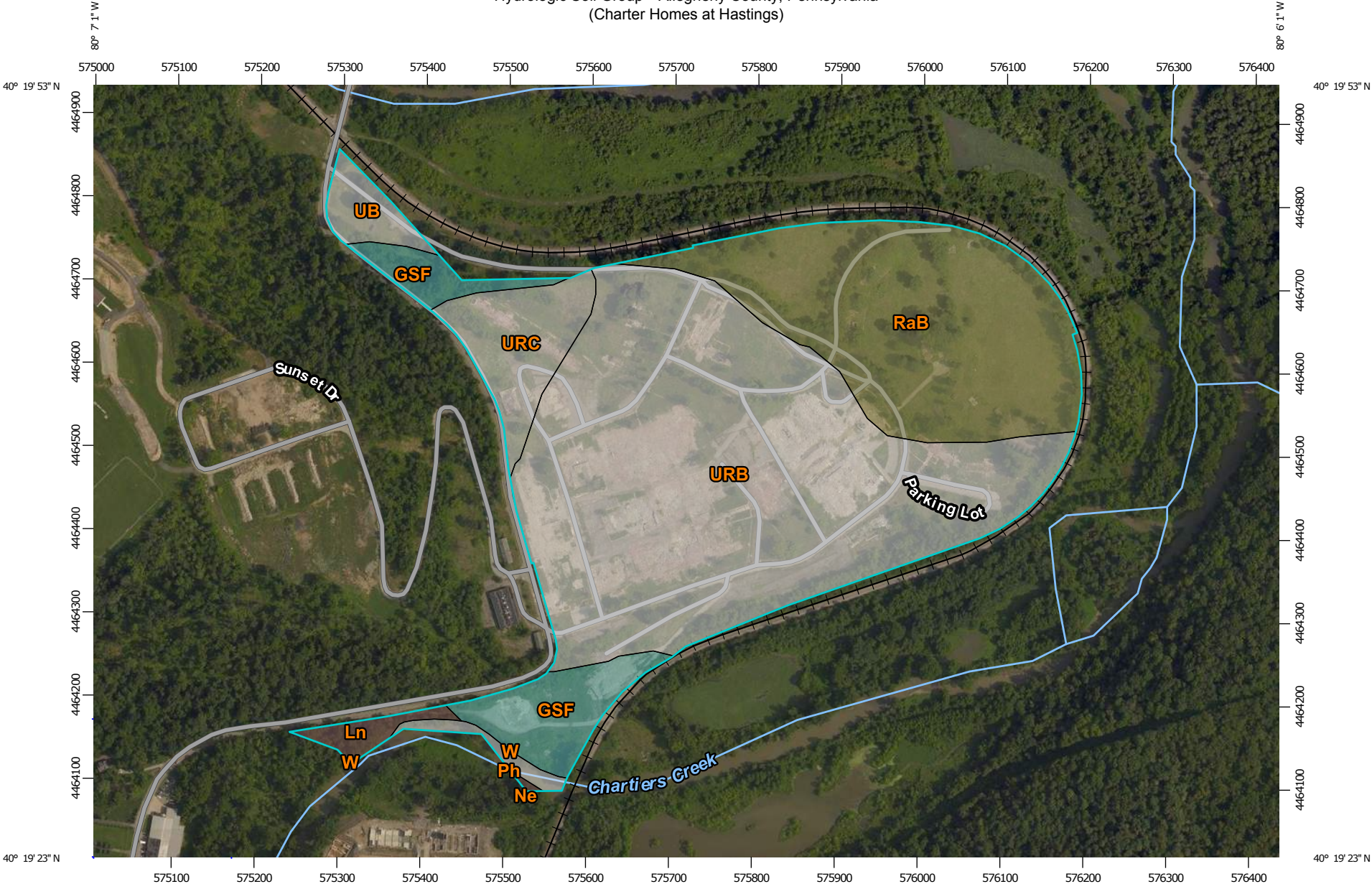
Date(s) aerial images were photographed: Jul 5, 2014—Aug 28, 2014

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Allegheny County, Pennsylvania (PA003)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
GSF	Gilpin, Weikert, and Culleoka shaly silt loams, very steep	6.0	7.3%
Ln	Lindside silt loam, 0 to 3 percent slopes, occasionally flooded	1.1	1.4%
Ne	Newark silt loam	0.1	0.1%
Ph	Philo silt loam, 0 to 3 percent slopes, occasionally flooded	0.0	0.0%
RaB	Rainsboro silt loam, 3 to 8 percent slopes	21.4	26.3%
UB	Urban land	1.9	2.3%
URB	Urban land-Rainsboro complex, gently sloping	45.1	55.4%
URC	Urban land-Rainsboro complex, sloping	5.0	6.2%
W	Water	0.8	1.0%
<b>Totals for Area of Interest</b>		<b>81.3</b>	<b>100.0%</b>

Hydrologic Soil Group—Allegheny County, Pennsylvania  
(Charter Homes at Hastings)



Map Scale: 1:6,540 if printed on A landscape (11" x 8.5") sheet.

0 50 100 200 300 Meters

0 300 600 1200 1800 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84


































Natural Resources  
Conservation Service

Web Soil Survey  
National Cooperative Soil Survey

4/28/2016  
Page 1 of 4

## MAP LEGEND

<b>Area of Interest (AOI)</b>	 C
Area of Interest (AOI)	 C/D
<b>Soils</b>	 D
<b>Soil Rating Polygons</b>	 Not rated or not available
 A	
 A/D	
 B	
 B/D	
 C	
 C/D	
 D	
 Not rated or not available	
<b>Soil Rating Lines</b>	
 A	
 A/D	
 B	
 B/D	
 C	
 C/D	
 D	
 Not rated or not available	
<b>Soil Rating Points</b>	
 A	
 A/D	
 B	
 B/D	
<b>Water Features</b>	 Streams and Canals
<b>Transportation</b>	 Rails
	 Interstate Highways
	 US Routes
	 Major Roads
	 Local Roads
<b>Background</b>	 Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Allegheny County, Pennsylvania  
Survey Area Data: Version 9, Nov 16, 2015

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 5, 2014—Aug 28, 2014

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Hydrologic Soil Group

Hydrologic Soil Group— Summary by Map Unit — Allegheny County, Pennsylvania (PA003)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
GSF	Gilpin, Weikert, and Culleoka shaly silt loams, very steep	C	6.0	7.3%
Ln	Lindside silt loam, 0 to 3 percent slopes, occasionally flooded	B/D	1.1	1.4%
Ne	Newark silt loam	B/D	0.1	0.1%
Ph	Philo silt loam, 0 to 3 percent slopes, occasionally flooded	B/D	0.0	0.0%
RaB	Rainsboro silt loam, 3 to 8 percent slopes	C/D	21.4	26.3%
UB	Urban land		1.9	2.3%
URB	Urban land-Rainsboro complex, gently sloping		45.1	55.4%
URC	Urban land-Rainsboro complex, sloping		5.0	6.2%
W	Water		0.8	1.0%
<b>Totals for Area of Interest</b>			<b>81.3</b>	<b>100.0%</b>

## Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

## Rating Options

*Aggregation Method:* Dominant Condition

*Component Percent Cutoff:* None Specified

*Tie-break Rule:* Higher

## Map Unit Description (Brief, Generated)

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions in this report, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

The Map Unit Description (Brief, Generated) report displays a generated description of the major soils that occur in a map unit. Descriptions of non-soil (miscellaneous areas) and minor map unit components are not included. This description is generated from the underlying soil attribute data.

Additional information about the map units described in this report is available in other Soil Data Mart reports, which give properties of the soils and the limitations, capabilities, and potentials for many uses. Also, the narratives that accompany the Soil Data Mart reports define some of the properties included in the map unit descriptions.

## Report—Map Unit Description (Brief, Generated)

### Allegheny County, Pennsylvania

**Map Unit:** GSF—Gilpin, Weikert, and Culleoka shaly silt loams, very steep

**Component:** Gilpin (35%)

The Gilpin component makes up 35 percent of the map unit. Slopes are 25 to 60 percent. This component is on hillslopes. The parent material consists of residuum weathered from acid fine-grained sandstone, siltstone, and shale. Depth to a root restrictive layer, bedrock, lithic, is 20 to 40 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is low. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 2 percent. Nonirrigated land capability classification is 7e. This soil does not meet hydric criteria.

**Component:** Weikert (30%)

The Weikert component makes up 30 percent of the map unit. Slopes are 25 to 80 percent. This component is on hillslopes. The parent material consists of gravelly residuum weathered from shale and siltstone. Depth to a root restrictive layer, bedrock, lithic, is 10 to 20 inches. The natural drainage class is somewhat excessively drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is very low. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 3 percent. Nonirrigated land capability classification is 7e. This soil does not meet hydric criteria.

**Component:** Culleoka (25%)

The Culleoka component makes up 25 percent of the map unit. Slopes are 25 to 35 percent. This component is on hillslopes. The parent material consists of residuum weathered from nonacid siltstone, fine-grained sandstone, and shale. Depth to a root restrictive layer, bedrock, lithic, is 20 to 40 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is very low. Available water to a depth of 60 inches (or restricted depth) is low. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Organic matter content in the surface horizon is about 3 percent. Nonirrigated land capability classification is 7e. This soil does not meet hydric criteria.

**Component:** Hazleton (5%)

Generated brief soil descriptions are created for major soil components. The Hazleton soil is a minor component.

**Component:** Wharton (3%)

Generated brief soil descriptions are created for major soil components. The Wharton soil is a minor component.

**Component:** Dormont (2%)

Generated brief soil descriptions are created for major soil components. The Dormont soil is a minor component.

**Map Unit:** Ln—Lindside silt loam, 0 to 3 percent slopes, occasionally flooded

**Component:** Lindside, occasionally flooded (90%)

The Lindside, occasionally flooded component makes up 90 percent of the map unit. Slopes are 0 to 3 percent. This component is on flood plains on hills or valleys. The parent material consists of fine-silty alluvium derived from sedimentary rock. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is moderately well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is very high. Shrink-swell potential is low. This soil is occasionally flooded. It is not ponded. A seasonal zone of water saturation is at 17 inches during January, February, March, April. Organic matter content in the surface horizon is about 3 percent. Nonirrigated land capability classification is 2w. This soil does not meet hydric criteria.

**Component:** Newark, occasionally flooded (5%)

Generated brief soil descriptions are created for major soil components. The Newark soil is a minor component.

**Component:** Melvin, occasionally flooded (5%)

Generated brief soil descriptions are created for major soil components. The Melvin soil is a minor component.

**Map Unit:** Ne—Newark silt loam

**Component:** Newark (85%)

The Newark component makes up 85 percent of the map unit. Slopes are 0 to 2 percent. This component is on flood plains. The parent material consists of mixed alluvium derived from limestone, sandstone, and shale. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is somewhat poorly drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is very high. Shrink-swell potential is low. This soil is frequently flooded. It is not ponded. A seasonal zone of water saturation is at 12 inches during January, February, March, April, May, December. Organic matter content in the surface horizon is about 3 percent. Nonirrigated land capability classification is 2w. This soil does not meet hydric criteria.

**Component:** Clarksburg (5%)

Generated brief soil descriptions are created for major soil components. The Clarksburg soil is a minor component.

**Component:** Melvin (5%)

Generated brief soil descriptions are created for major soil components. The Melvin soil is a minor component.

**Component:** Brinkerton (5%)

Generated brief soil descriptions are created for major soil components. The Brinkerton soil is a minor component.

**Map Unit:** Ph—Philo silt loam, 0 to 3 percent slopes, occasionally flooded

**Component:** Philo (90%)

The Philo component makes up 90 percent of the map unit. Slopes are 0 to 3 percent. This component is on flood plains on valleys. The parent material consists of recent coarse-loamy alluvium derived from sandstone and shale over old sandy and gravelly alluvium derived from sandstone. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is moderately well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is low. This soil is occasionally flooded. It is not ponded. A seasonal zone of water saturation is at 16 inches during January, February, March, April. Organic matter content in the surface horizon is about 3 percent. Nonirrigated land capability classification is 2w. This soil does not meet hydric criteria.

**Component:** Pope (5%)

Generated brief soil descriptions are created for major soil components. The Pope soil is a minor component.

**Component:** Atkins (5%)

Generated brief soil descriptions are created for major soil components. The Atkins soil is a minor component.

**Map Unit:** RaB—Rainsboro silt loam, 3 to 8 percent slopes

**Component:** Rainsboro (90%)

The Rainsboro component makes up 90 percent of the map unit. Slopes are 3 to 8 percent. This component is on terraces. The parent material consists of old alluvium. Depth to a root restrictive layer, fragipan, is 22 to 34 inches. The natural drainage class is moderately well drained. Water movement in the most restrictive layer is moderately low. Available water to a depth of 60 inches (or restricted depth) is high. Shrink-swell potential is moderate. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 21 inches during January, February, March, April, December. Organic matter content in the surface horizon is about 2 percent. Nonirrigated land capability classification is 2e. This soil does not meet hydric criteria.

**Component:** Ginat (5%)

Generated brief soil descriptions are created for major soil components. The Ginat soil is a minor component.

**Component:** Allegheny (5%)

Generated brief soil descriptions are created for major soil components. The Allegheny soil is a minor component.

**Map Unit:** UB—Urban land**Component:** Urban land (90%)

Generated brief soil descriptions are created for major soil components. The Urban land is a miscellaneous area.

**Component:** Udorthents, steep (10%)

The Udorthents component makes up 90 percent of the map unit. Slopes are 0 to 50 percent. This component is on mountains. The parent material consists of coal extraction mine spoil. Depth to a root restrictive layer, bedrock, lithic, is 20 to 99 inches. Available water to a depth of 60 inches (or restricted depth) is very low. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 72 inches. Nonirrigated land capability classification is 8s. This soil does not meet hydric criteria.

**Map Unit:** URB—Urban land-Rainsboro complex, gently sloping**Component:** Urban land (75%)

Generated brief soil descriptions are created for major soil components. The Urban land is a miscellaneous area.

**Component:** Rainsboro (20%)

The Rainsboro component makes up 20 percent of the map unit. Slopes are 0 to 8 percent. This component is on terraces. The parent material consists of old alluvium. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is moderately well drained. Water movement in the most restrictive layer is moderately low. Available water to a depth of 60 inches (or restricted depth) is high. Shrink-swell potential is moderate. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 26 inches during January, February, March, April. Organic matter content in the surface horizon is about 2 percent. Nonirrigated land capability classification is 2e. This soil does not meet hydric criteria.

**Component:** Ginat (5%)

Generated brief soil descriptions are created for major soil components. The Ginat soil is a minor component.

**Map Unit:** URC—Urban land-Rainsboro complex, sloping**Component:** Urban land (75%)

Generated brief soil descriptions are created for major soil components. The Urban land is a miscellaneous area.

**Component: Rainsboro (15%)**

The Rainsboro component makes up 15 percent of the map unit. Slopes are 8 to 25 percent. This component is on terraces. The parent material consists of old alluvium. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is moderately well drained. Water movement in the most restrictive layer is moderately low. Available water to a depth of 60 inches (or restricted depth) is high. Shrink-swell potential is moderate. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 26 inches during January, February, March, April. Organic matter content in the surface horizon is about 2 percent. This soil does not meet hydric criteria.

**Component: Allegheny (5%)**

Generated brief soil descriptions are created for major soil components. The Allegheny soil is a minor component.

**Component: Ernest (5%)**

Generated brief soil descriptions are created for major soil components. The Ernest soil is a minor component.

**Map Unit: W—Water****Component: Water (100%)**

Generated brief soil descriptions are created for major soil components. The Water is a miscellaneous area.

**Data Source Information**

Soil Survey Area: Allegheny County, Pennsylvania  
Survey Area Data: Version 9, Nov 16, 2015

## WORKSHEET 1

List the soils that will be encountered by earthmoving required to construct the drill pad(s), access road(s), pits, impoundments, collector & feeder lines, or other activities associated with the proposed well site(s).

Limiting Soil Characteristics									
Map Symbol	Soil Name	Erodible	Cut Banks Cave	Corrosive to Concrete or Steel	High Water Table	Low Strength	Piping	Poor Topsoil	Potentially Hydric
GSF	Gilpin, Weikert, and Culleoka shaly silt loams, very steep	X	X	C		X	X	X	
Ln	Lindside silt loam, 0 to 3 percent slopes, occasionally flooded		X	S	X	X	X		X
Ne	Newark silt loam	X	X	S	X	X	X	X	X
Ph	Philo silt loam, 0 to 3 percent slopes, occasionally flooded	X	X	C/S	X	X	X	X	X
RaB	Rainsboro silt loam, 3 to 8 percent slopes	X	X	X	X	X			X
UB	Urban land	X	X	C/S	X	X		X	X
URB	Urban land-Rainsboro complex, gently sloping	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
URC	Urban land-Rainsboro complex, sloping	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
W	Water	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

### REMEDIAL ACTIONS

#### Soils susceptible to high water tables and/or piping and seeping:

- Provide pumped water sediment removal facilities
- Use clay embankment cores
- Utilize anti-seep collars or gravel packs

#### Soils susceptible to moderate or high erosion potential:

- Limit time of exposure
- Utilize erosion control blankets
- Select seed mixtures with rapidly germinating species
- Sodding
- Use of special stabilization products (cellular grids, interlocking concrete blocks, etc.)

#### Soils susceptible to slips and landslides:

- Prevent saturation of slopes
- Provide anchoring or retaining systems
- Provide benching to catch falling debris

#### Soils susceptible to cutbanks cave:

- Prevent saturation of slopes
- Provide anchoring or retaining systems
- Provide benching to catch falling debris
- Provide trench boxes for utility installation

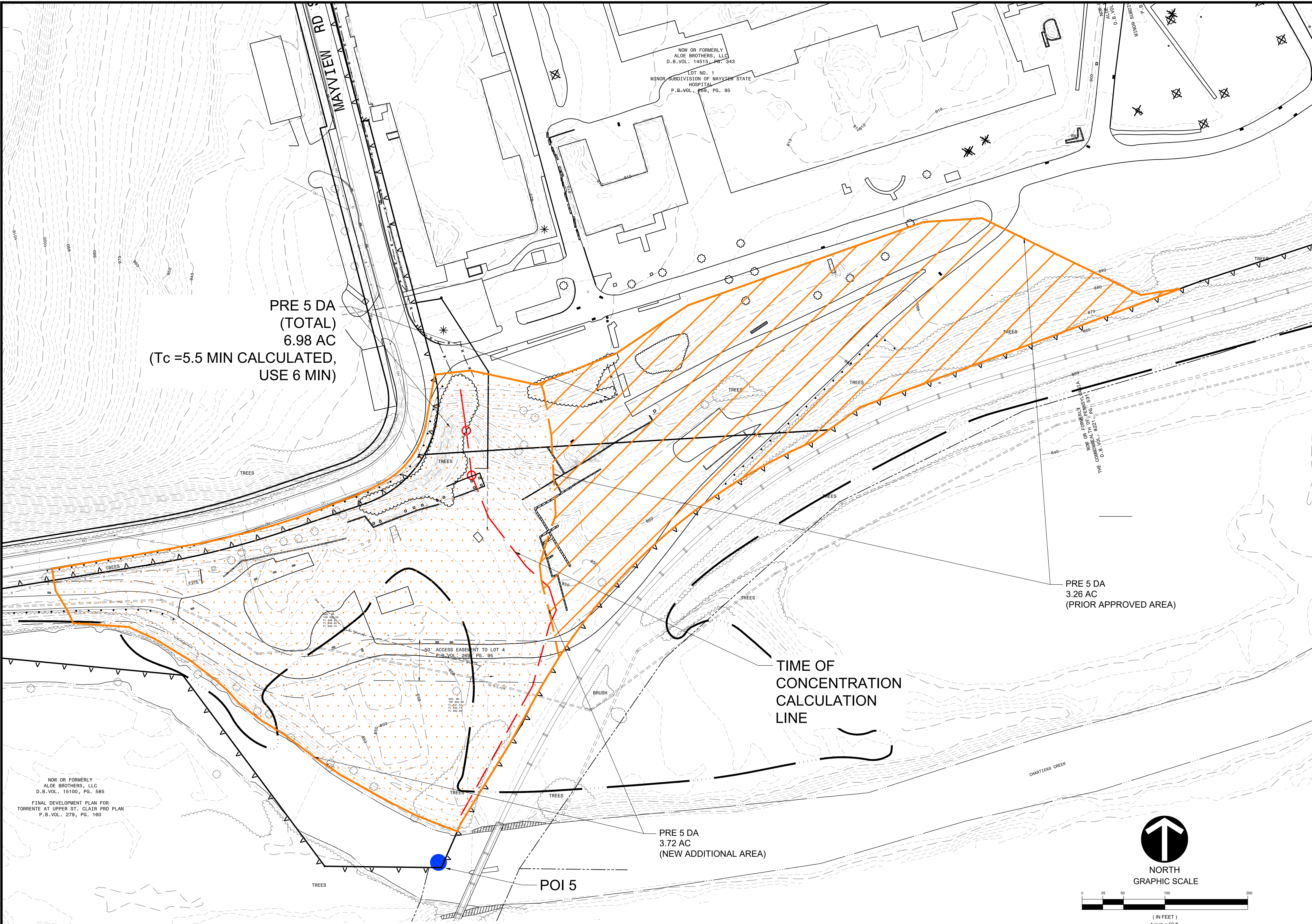
#### Soils corrosive to concrete/steel:

- Minimize the amount of soil disturbance
- Provide protective coating to concrete and steel
- Provide extra concrete and steel thickness

#### Soils that are poor sources of topsoil:

- Perform soil tests to determine proper application of soil amendments and to determine the proper moisture content for proposed vegetative cover
- Import topsoil as needed

**APPENDIX C**  
**PRE & POST DEVELOPMENT RUNOFF CALCULATIONS &**  
**MAPS**



REVISION RECORD	
No.	Date
01	
02	
03	
04	
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06	
07	
08	

**HASTINGS**  
 South Fayette Township/Pittsburgh, PA  
 CHARTER HOMES & NEIGHBORHOODS

**HASTINGS PHASE 5**  
 MAYVIEW ROAD  
 PITTSBURGH, PA 15102  
 PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA 17603

PRE DEVELOPMENT  
 DRAINAGE AREA MAP  
 Project Number: 18927-0096  
 Drawing Scale: 1" = 50'  
 Date Issued: FEB 2026  
 Index Number:  
 Drawn By: CRS  
 Checked By: DMH  
 Project Manager: DMH  
**PRE DA**

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 Plot Date: 2/26/26 9:52 PM (Employee: R. Larkin, E.L.T.)  
 Save Date: 2/26/26 9:53 PM

REVISION RECORD	
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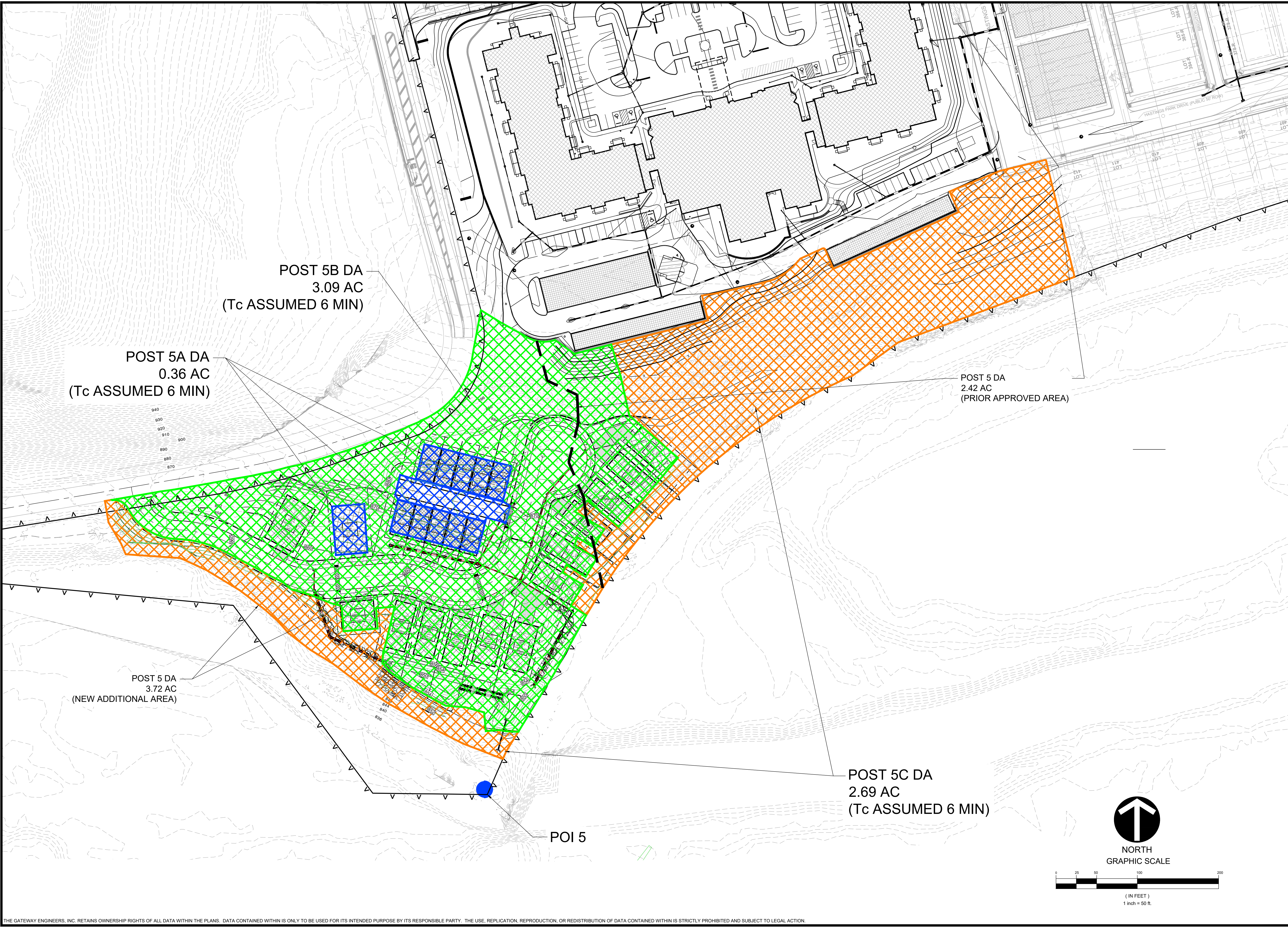
**HASTINGS**  
South Fayette Township/Pittsburgh, PA  
CHARTER Homes & Neighborhoods

**HASTINGS PHASE 5**  
MAYVIEW ROAD  
PITTSBURGH, PA 15102  
PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

POST DEVELOPMENT  
DRAINAGE AREA MAP

Project Number: 18927-0096  
Drawing Scale: 1" = 50'  
Date Issued: FEB 2026  
Index Number: \_\_\_\_\_  
Drawn By: CRS  
Checked By: DMH  
Project Manager: DMH

**POST DA**



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Plot Date: 2/26/26 2:54 PM  
User: CRIS  
Scale: 1/8" = 1'-0"

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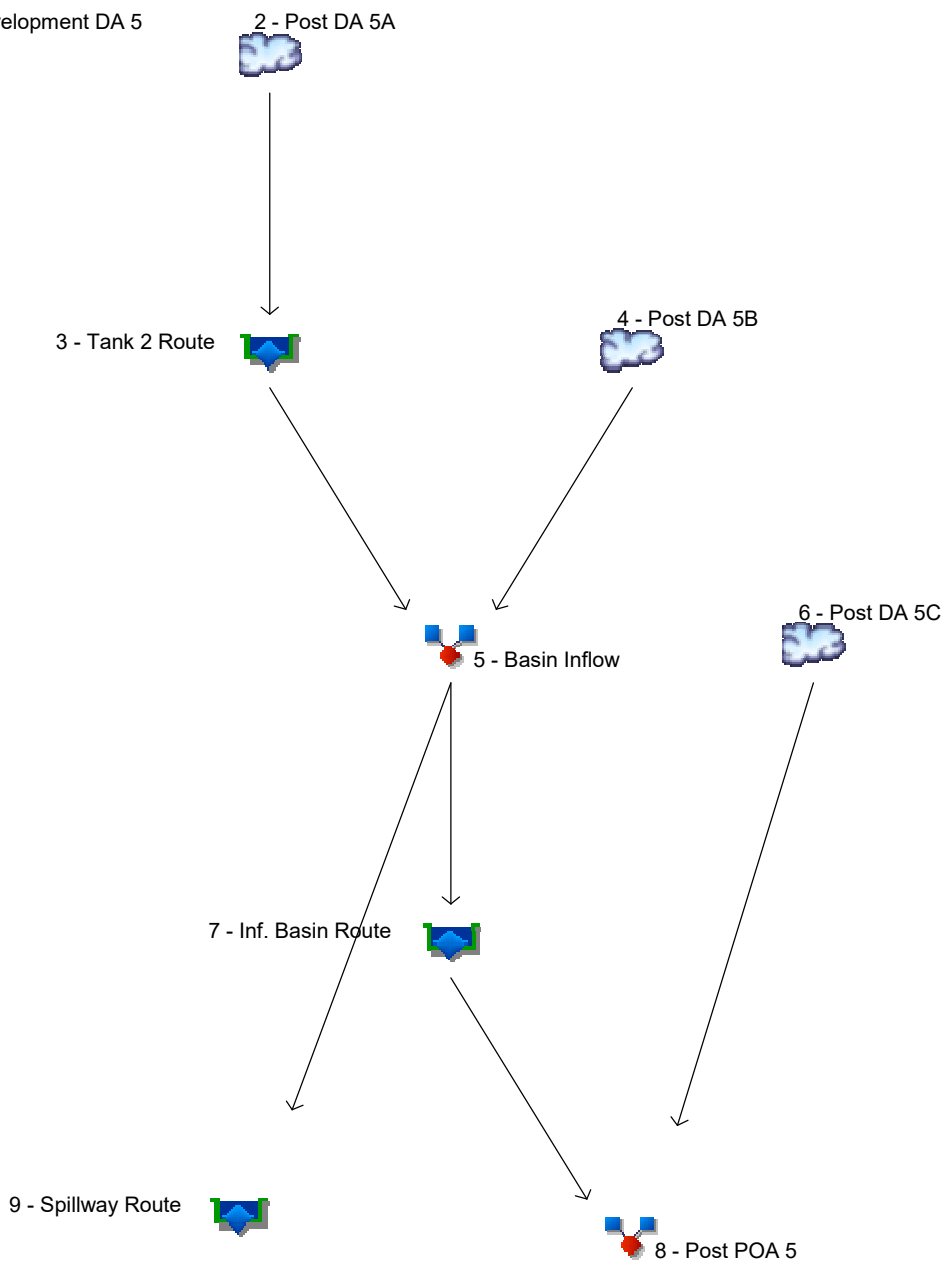
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# Watershed Model Schematic

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024



## Legend

Hyd.	Origin	Description
1	SCS Runoff	Pre-Development DA 5
2	SCS Runoff	Post DA 5A
3	Reservoir	Tank 2 Route
4	SCS Runoff	Post DA 5B
5	Combine	Basin Inflow
6	SCS Runoff	Post DA 5C
7	Reservoir	Inf. Basin Route
8	Combine	Post POA 5
9	Reservoir	Spillway Route

# Hydrograph Return Period Recap

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No.	Hydrograph type (origin)	Inflow hyd(s)	Peak Outflow (cfs)								Hydrograph Description
			1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
1	SCS Runoff	-----	3.165	5.495	-----	9.192	12.40	17.30	21.58	26.19	Pre-Development DA 5
2	SCS Runoff	-----	0.941	1.131	-----	1.396	1.604	1.902	2.150	2.407	Post DA 5A
3	Reservoir	2	0.276	0.301	-----	0.333	0.357	0.394	0.815	1.719	Tank 2 Route
4	SCS Runoff	-----	3.545	4.958	-----	7.041	8.802	11.39	13.59	15.89	Post DA 5B
5	Combine	3, 4	3.802	5.237	-----	7.347	9.107	11.72	13.94	16.26	Basin Inflow
6	SCS Runoff	-----	1.380	2.313	-----	3.781	5.047	6.970	8.647	10.44	Post DA 5C
7	Reservoir	5	0.000	0.000	-----	0.587	1.719	7.259	11.47	14.69	Inf. Basin Route
8	Combine	6, 7	1.380	2.313	-----	3.781	5.047	12.62	18.90	24.97	Post POA 5
9	Reservoir	5	3.585	5.063	-----	7.231	9.014	11.62	13.82	16.12	Spillway Route

# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	3.165	2	718	7,294	-----	-----	-----	Pre-Development DA 5	
2	SCS Runoff	0.941	2	716	2,137	-----	-----	-----	Post DA 5A	
3	Reservoir	0.276	2	724	2,136	2	856.63	599	Tank 2 Route	
4	SCS Runoff	3.545	2	718	7,095	-----	-----	-----	Post DA 5B	
5	Combine	3.802	2	718	9,231	3, 4	-----	-----	Basin Inflow	
6	SCS Runoff	1.380	2	718	3,075	-----	-----	-----	Post DA 5C	
7	Reservoir	0.000	2	1472	0	5	851.27	4,932	Inf. Basin Route	
8	Combine	1.380	2	718	3,075	6, 7	-----	-----	Post POA 5	
9	Reservoir	3.585	2	718	9,111	5	852.81	11,403	Spillway Route	
Ph 5 Hydrographs.gpw					Return Period: 1 Year			Monday, 02 / 9 / 2026		

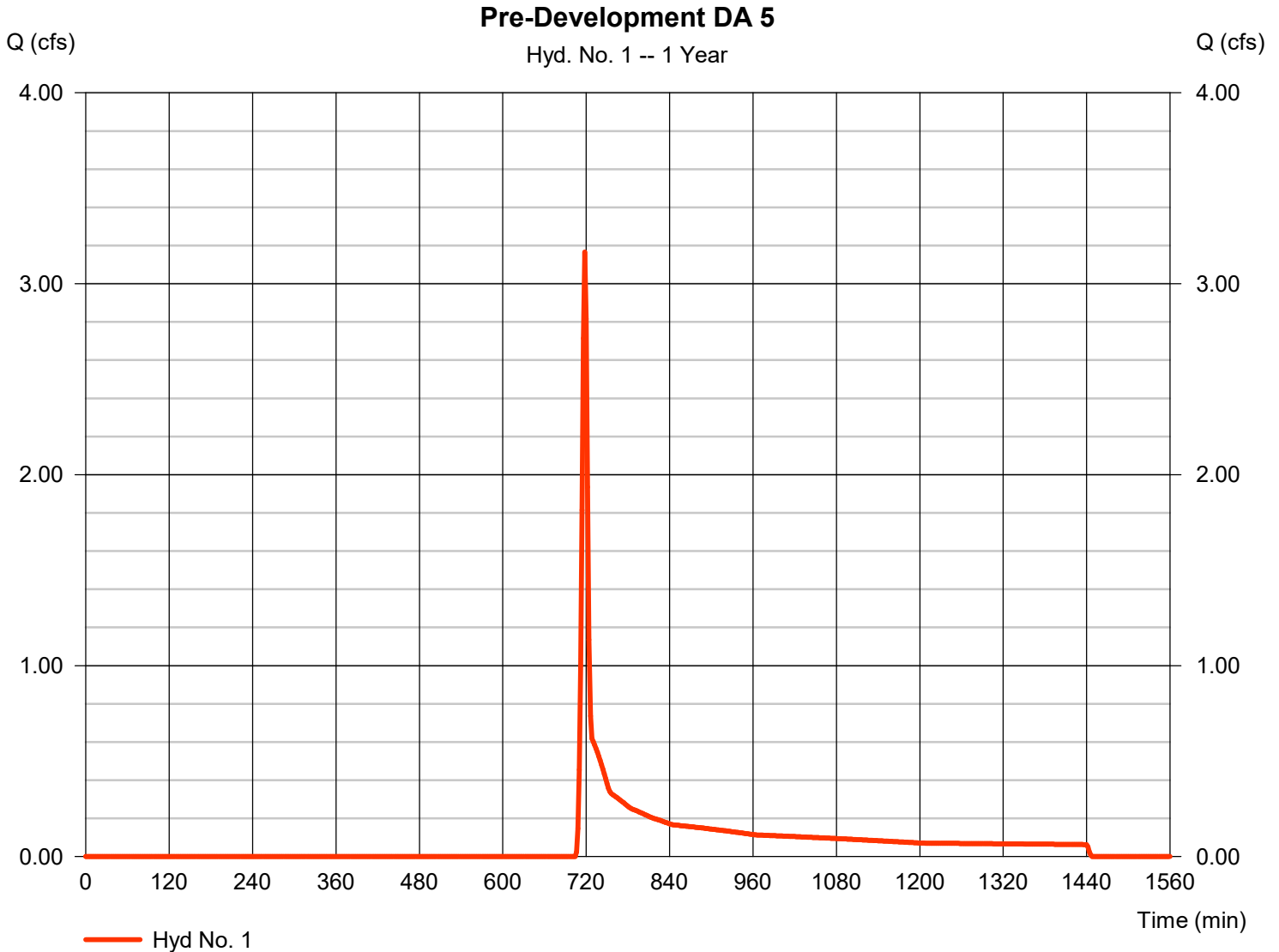
# Hydrograph Report

## Hyd. No. 1

Pre-Development DA 5

Hydrograph type	= SCS Runoff	Peak discharge	= 3.165 cfs
Storm frequency	= 1 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 7,294 cuft
Drainage area	= 6.980 ac	Curve number	= 73*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 1.97 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.270 x 98) + (0.070 x 71) + (5.290 x 71) + (0.700 x 70) + (0.650 x 87)] / 6.980



# TR55 Tc Worksheet

## Hyd. No. 1

Pre-Development DA 5

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
<b>Sheet Flow</b>				
Manning's n-value	= 0.150	0.011	0.011	
Flow length (ft)	= 50.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 2.37	0.00	0.00	
Land slope (%)	= 8.00	0.00	0.00	
<b>Travel Time (min)</b>	<b>= 3.76</b>	<b>+ 0.00</b>	<b>+ 0.00</b>	<b>= 3.76</b>
<b>Shallow Concentrated Flow</b>				
Flow length (ft)	= 55.00	465.00	0.00	
Watercourse slope (%)	= 36.00	8.00	0.00	
Surface description	= Unpaved	Unpaved	Paved	
Average velocity (ft/s)	=9.68	4.56	0.00	
<b>Travel Time (min)</b>	<b>= 0.09</b>	<b>+ 1.70</b>	<b>+ 0.00</b>	<b>= 1.79</b>
<b>Channel Flow</b>				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=0.00	0.00	0.00	
Flow length (ft)	{{0}}0.0	0.0	0.0	
<b>Travel Time (min)</b>	<b>= 0.00</b>	<b>+ 0.00</b>	<b>+ 0.00</b>	<b>= 0.00</b>
<b>Total Travel Time, Tc .....</b>				<b>5.55 min</b>

Use 6.0 Min

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

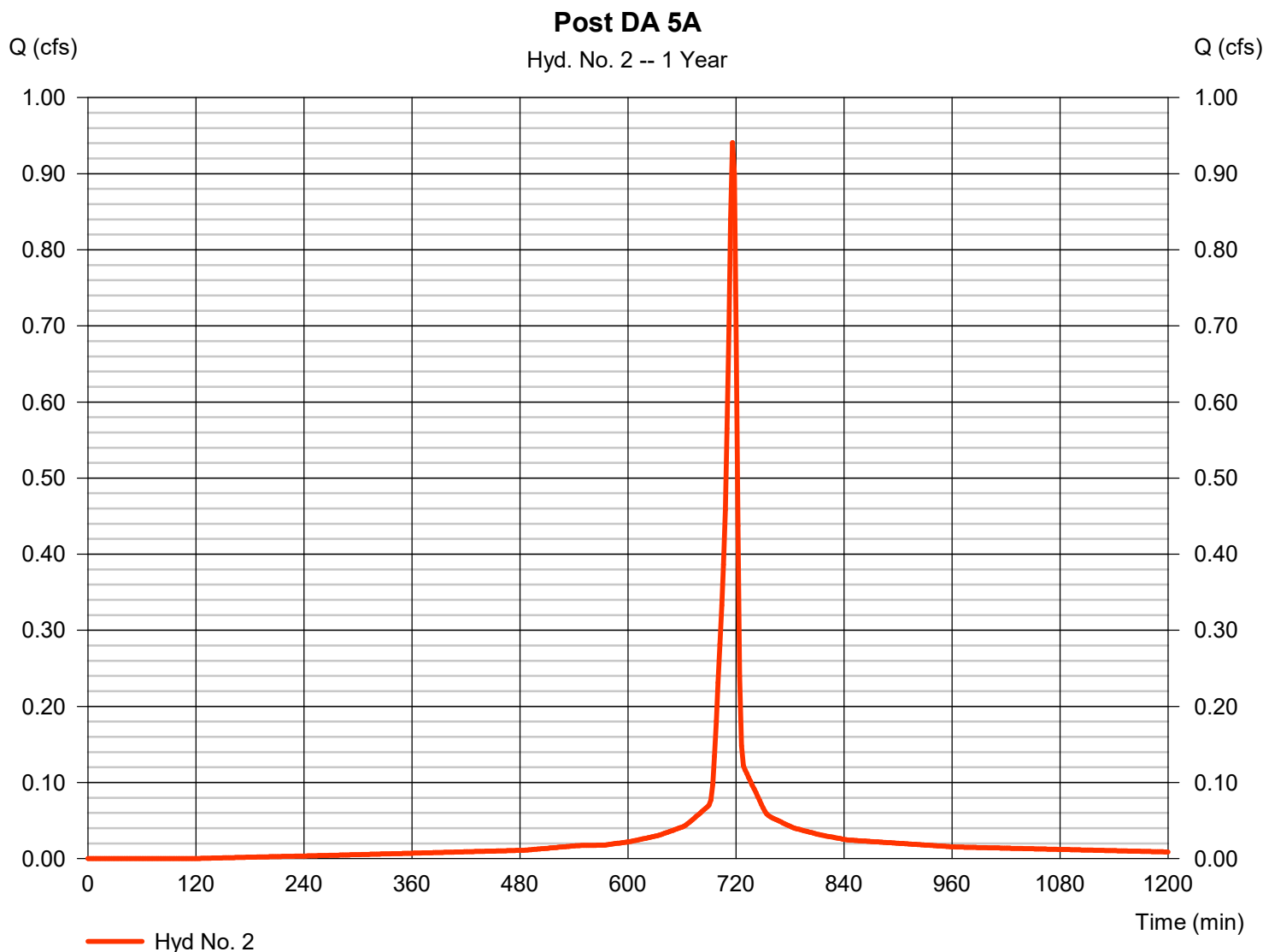
Monday, 02 / 9 / 2026

## Hyd. No. 2

Post DA 5A

Hydrograph type	= SCS Runoff	Peak discharge	= 0.941 cfs
Storm frequency	= 1 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 2,137 cuft
Drainage area	= 0.360 ac	Curve number	= 98*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 1.97 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.360 x 98)] / 0.360



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

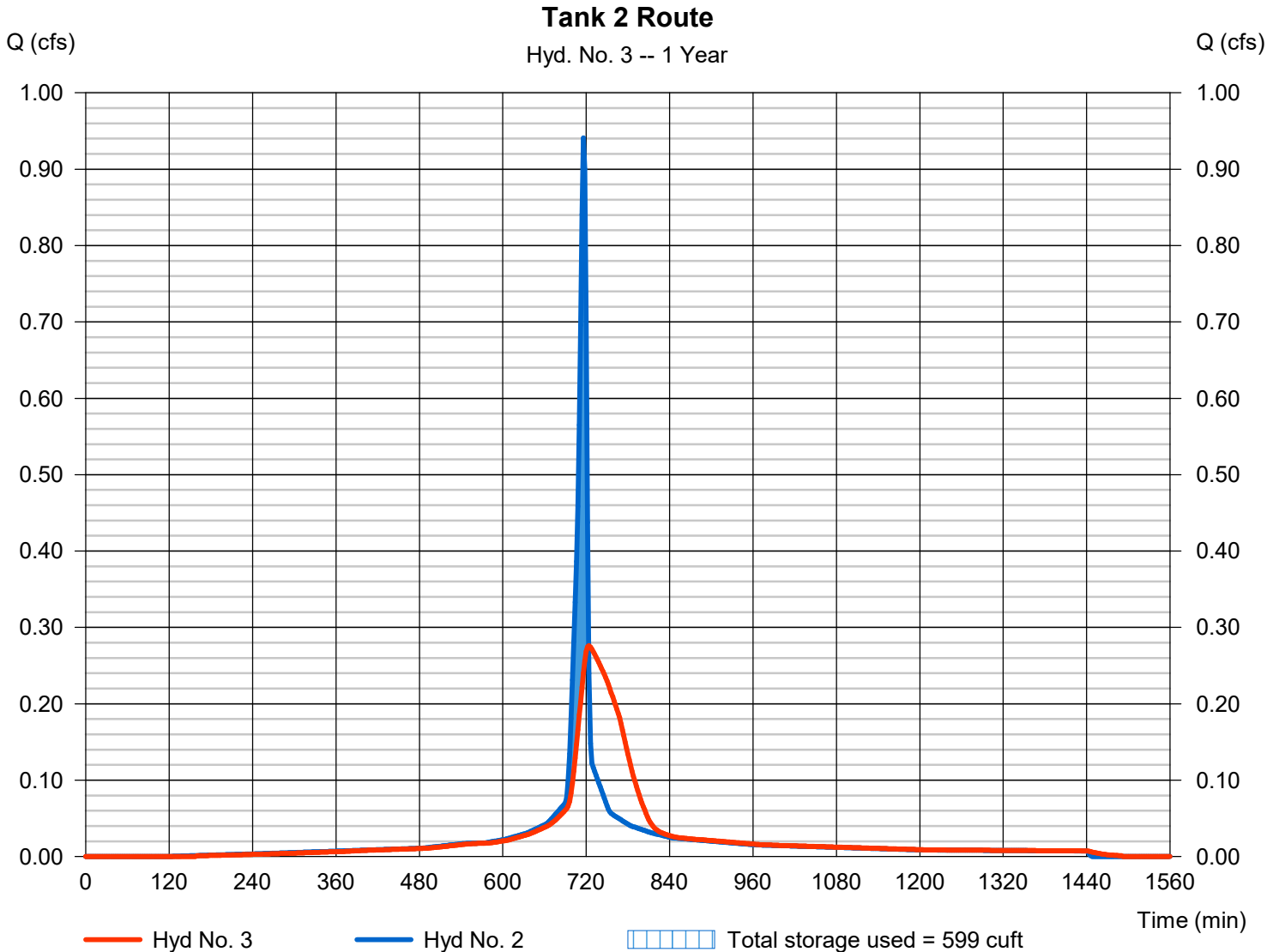
Monday, 02 / 9 / 2026

## Hyd. No. 3

Tank 2 Route

Hydrograph type	= Reservoir	Peak discharge	= 0.276 cfs
Storm frequency	= 1 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 2,136 cuft
Inflow hyd. No.	= 2 - Post DA 5A	Max. Elevation	= 856.63 ft
Reservoir name	= SCM 5.1 Det Tank	Max. Storage	= 599 cuft

Storage Indication method used.



# Pond Report

## Pond No. 3 - SCM 5.1 Det Tank

### Pond Data

**UG Chambers** -Invert elev. = 855.50 ft, Rise x Span = 3.50 x 3.50 ft, Barrel Len = 110.00 ft, No. Barrels = 1, Slope = 0.00%, Headers = No  
**Encasement** -Invert elev. = 854.50 ft, Width = 4.50 ft, Height = 5.00 ft, Voids = 40.00%

### Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	854.50	n/a	0	0
0.50	855.00	n/a	99	99
1.00	855.50	n/a	99	198
1.50	856.00	n/a	155	353
2.00	856.50	n/a	193	546
2.50	857.00	n/a	209	755
3.00	857.50	n/a	214	969
3.50	858.00	n/a	209	1,179
4.00	858.50	n/a	193	1,372
4.50	859.00	n/a	155	1,526
5.00	859.50	n/a	99	1,625

### Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 15.00	2.00	0.00	0.00
Span (in)	= 15.00	3.00	0.00	0.00
No. Barrels	= 1	1	0	0
Invert El. (ft)	= 854.50	854.50	0.00	0.00
Length (ft)	= 69.00	0.00	0.00	0.00
Slope (%)	= 1.45	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	Yes	No	No

### Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 3.93	0.00	0.00	0.00
Crest El. (ft)	= 859.25	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= 1	---	---	---
Multi-Stage	= Yes	No	No	No
Exfil.(in/hr)	= 0.000 (by Wet area)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

### Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	854.50	0.00	0.00	---	---	0.00	---	---	---	---	---	0.000
0.05	10	854.55	0.01 ic	0.01 ic	---	---	0.00	---	---	---	---	---	0.007
0.10	20	854.60	0.02 ic	0.02 ic	---	---	0.00	---	---	---	---	---	0.023
0.15	30	854.65	0.05 ic	0.04 ic	---	---	0.00	---	---	---	---	---	0.043
0.20	40	854.70	0.06 ic	0.06 ic	---	---	0.00	---	---	---	---	---	0.061
0.25	50	854.75	0.08 ic	0.07 ic	---	---	0.00	---	---	---	---	---	0.072
0.30	59	854.80	0.08 ic	0.08 ic	---	---	0.00	---	---	---	---	---	0.083
0.35	69	854.85	0.10 ic	0.09 ic	---	---	0.00	---	---	---	---	---	0.093
0.40	79	854.90	0.11 ic	0.10 ic	---	---	0.00	---	---	---	---	---	0.102
0.45	89	854.95	0.12 ic	0.11 ic	---	---	0.00	---	---	---	---	---	0.110
0.50	99	855.00	0.12 ic	0.12 ic	---	---	0.00	---	---	---	---	---	0.118
0.55	109	855.05	0.13 ic	0.13 ic	---	---	0.00	---	---	---	---	---	0.126
0.60	119	855.10	0.14 ic	0.13 ic	---	---	0.00	---	---	---	---	---	0.133
0.65	129	855.15	0.14 ic	0.14 ic	---	---	0.00	---	---	---	---	---	0.139
0.70	139	855.20	0.15 ic	0.15 ic	---	---	0.00	---	---	---	---	---	0.146
0.75	149	855.25	0.16 ic	0.15 ic	---	---	0.00	---	---	---	---	---	0.152
0.80	158	855.30	0.16 ic	0.16 ic	---	---	0.00	---	---	---	---	---	0.158
0.85	168	855.35	0.17 ic	0.16 ic	---	---	0.00	---	---	---	---	---	0.164
0.90	178	855.40	0.17 ic	0.17 ic	---	---	0.00	---	---	---	---	---	0.170
0.95	188	855.45	0.18 ic	0.17 ic	---	---	0.00	---	---	---	---	---	0.175
1.00	198	855.50	0.18 ic	0.18 ic	---	---	0.00	---	---	---	---	---	0.181
1.05	214	855.55	0.19 ic	0.19 ic	---	---	0.00	---	---	---	---	---	0.186
1.10	229	855.60	0.20 ic	0.19 ic	---	---	0.00	---	---	---	---	---	0.191
1.15	244	855.65	0.20 ic	0.20 ic	---	---	0.00	---	---	---	---	---	0.196
1.20	260	855.70	0.20 ic	0.20 ic	---	---	0.00	---	---	---	---	---	0.200
1.25	275	855.75	0.21 ic	0.21 ic	---	---	0.00	---	---	---	---	---	0.205
1.30	291	855.80	0.21 ic	0.21 ic	---	---	0.00	---	---	---	---	---	0.210
1.35	306	855.85	0.21 ic	0.21 ic	---	---	0.00	---	---	---	---	---	0.214
1.40	322	855.90	0.23 ic	0.22 ic	---	---	0.00	---	---	---	---	---	0.219
1.45	337	855.95	0.23 ic	0.22 ic	---	---	0.00	---	---	---	---	---	0.223
1.50	353	856.00	0.23 ic	0.23 ic	---	---	0.00	---	---	---	---	---	0.228
1.55	372	856.05	0.24 ic	0.23 ic	---	---	0.00	---	---	---	---	---	0.231

Continues on next page...

SCM 5.1 Det Tank

**Stage / Storage / Discharge Table**

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
1.60	391	856.10	0.24 ic	0.24 ic	---	---	0.00	---	---	---	---	---	0.236
1.65	411	856.15	0.24 ic	0.24 ic	---	---	0.00	---	---	---	---	---	0.240
1.70	430	856.20	0.24 ic	0.24 ic	---	---	0.00	---	---	---	---	---	0.244
1.75	449	856.25	0.26 ic	0.25 ic	---	---	0.00	---	---	---	---	---	0.248
1.80	469	856.30	0.26 ic	0.25 ic	---	---	0.00	---	---	---	---	---	0.252
1.85	488	856.35	0.26 ic	0.26 ic	---	---	0.00	---	---	---	---	---	0.256
1.90	507	856.40	0.26 ic	0.26 ic	---	---	0.00	---	---	---	---	---	0.259
1.95	527	856.45	0.27 ic	0.26 ic	---	---	0.00	---	---	---	---	---	0.263
2.00	546	856.50	0.27 ic	0.27 ic	---	---	0.00	---	---	---	---	---	0.267
2.05	567	856.55	0.27 ic	0.27 ic	---	---	0.00	---	---	---	---	---	0.270
2.10	588	856.60	0.27 ic	0.27 ic	---	---	0.00	---	---	---	---	---	0.274
2.15	609	856.65	0.28 ic	0.28 ic	---	---	0.00	---	---	---	---	---	0.277
2.20	630	856.70	0.29 ic	0.28 ic	---	---	0.00	---	---	---	---	---	0.281
2.25	650	856.75	0.29 ic	0.28 ic	---	---	0.00	---	---	---	---	---	0.284
2.30	671	856.80	0.29 ic	0.29 ic	---	---	0.00	---	---	---	---	---	0.288
2.35	692	856.85	0.29 ic	0.29 ic	---	---	0.00	---	---	---	---	---	0.291
2.40	713	856.90	0.29 ic	0.29 ic	---	---	0.00	---	---	---	---	---	0.294
2.45	734	856.95	0.31 ic	0.30 ic	---	---	0.00	---	---	---	---	---	0.298
2.50	755	857.00	0.31 ic	0.30 ic	---	---	0.00	---	---	---	---	---	0.301
2.55	777	857.05	0.31 ic	0.30 ic	---	---	0.00	---	---	---	---	---	0.304
2.60	798	857.10	0.31 ic	0.31 ic	---	---	0.00	---	---	---	---	---	0.308
2.65	819	857.15	0.31 ic	0.31 ic	---	---	0.00	---	---	---	---	---	0.311
2.70	841	857.20	0.31 ic	0.31 ic	---	---	0.00	---	---	---	---	---	0.314
2.75	862	857.25	0.33 ic	0.32 ic	---	---	0.00	---	---	---	---	---	0.317
2.80	884	857.30	0.33 ic	0.32 ic	---	---	0.00	---	---	---	---	---	0.320
2.85	905	857.35	0.33 ic	0.32 ic	---	---	0.00	---	---	---	---	---	0.323
2.90	927	857.40	0.33 ic	0.33 ic	---	---	0.00	---	---	---	---	---	0.326
2.95	948	857.45	0.33 ic	0.33 ic	---	---	0.00	---	---	---	---	---	0.329
3.00	969	857.50	0.33 ic	0.33 ic	---	---	0.00	---	---	---	---	---	0.332
3.05	990	857.55	0.35 ic	0.33 ic	---	---	0.00	---	---	---	---	---	0.335
3.10	1,011	857.60	0.35 ic	0.34 ic	---	---	0.00	---	---	---	---	---	0.338
3.15	1,032	857.65	0.35 ic	0.34 ic	---	---	0.00	---	---	---	---	---	0.341
3.20	1,053	857.70	0.35 ic	0.34 ic	---	---	0.00	---	---	---	---	---	0.344
3.25	1,074	857.75	0.35 ic	0.35 ic	---	---	0.00	---	---	---	---	---	0.347
3.30	1,095	857.80	0.35 ic	0.35 ic	---	---	0.00	---	---	---	---	---	0.349
3.35	1,116	857.85	0.35 ic	0.35 ic	---	---	0.00	---	---	---	---	---	0.352
3.40	1,137	857.90	0.37 ic	0.35 ic	---	---	0.00	---	---	---	---	---	0.355
3.45	1,158	857.95	0.37 ic	0.36 ic	---	---	0.00	---	---	---	---	---	0.358
3.50	1,179	858.00	0.37 ic	0.36 ic	---	---	0.00	---	---	---	---	---	0.360
3.55	1,198	858.05	0.37 ic	0.36 ic	---	---	0.00	---	---	---	---	---	0.363
3.60	1,217	858.10	0.37 ic	0.37 ic	---	---	0.00	---	---	---	---	---	0.366
3.65	1,237	858.15	0.37 ic	0.37 ic	---	---	0.00	---	---	---	---	---	0.369
3.70	1,256	858.20	0.37 ic	0.37 ic	---	---	0.00	---	---	---	---	---	0.371
3.75	1,275	858.25	0.37 ic	0.37 ic	---	---	0.00	---	---	---	---	---	0.374
3.80	1,294	858.30	0.39 ic	0.38 ic	---	---	0.00	---	---	---	---	---	0.376
3.85	1,314	858.35	0.39 ic	0.38 ic	---	---	0.00	---	---	---	---	---	0.379
3.90	1,333	858.40	0.39 ic	0.38 ic	---	---	0.00	---	---	---	---	---	0.382
3.95	1,352	858.45	0.39 ic	0.38 ic	---	---	0.00	---	---	---	---	---	0.384
4.00	1,372	858.50	0.39 ic	0.39 ic	---	---	0.00	---	---	---	---	---	0.387
4.05	1,387	858.55	0.39 ic	0.39 ic	---	---	0.00	---	---	---	---	---	0.389
4.10	1,403	858.60	0.39 ic	0.39 ic	---	---	0.00	---	---	---	---	---	0.392
4.15	1,418	858.65	0.39 ic	0.39 ic	---	---	0.00	---	---	---	---	---	0.394
4.20	1,433	858.70	0.41 ic	0.40 ic	---	---	0.00	---	---	---	---	---	0.397
4.25	1,449	858.75	0.41 ic	0.40 ic	---	---	0.00	---	---	---	---	---	0.399
4.30	1,464	858.80	0.41 ic	0.40 ic	---	---	0.00	---	---	---	---	---	0.402
4.35	1,480	858.85	0.41 ic	0.40 ic	---	---	0.00	---	---	---	---	---	0.404
4.40	1,495	858.90	0.41 ic	0.41 ic	---	---	0.00	---	---	---	---	---	0.407
4.45	1,511	858.95	0.41 ic	0.41 ic	---	---	0.00	---	---	---	---	---	0.409
4.50	1,526	859.00	0.41 ic	0.41 ic	---	---	0.00	---	---	---	---	---	0.412
4.55	1,536	859.05	0.41 ic	0.41 ic	---	---	0.00	---	---	---	---	---	0.414
4.60	1,546	859.10	0.42 ic	0.42 ic	---	---	0.00	---	---	---	---	---	0.416
4.65	1,556	859.15	0.43 ic	0.42 ic	---	---	0.00	---	---	---	---	---	0.419
4.70	1,566	859.20	0.43 ic	0.42 ic	---	---	0.00	---	---	---	---	---	0.421
4.75	1,576	859.25	0.43 ic	0.42 ic	---	---	0.00	---	---	---	---	---	0.423
4.80	1,586	859.30	0.59 ic	0.42 ic	---	---	0.15	---	---	---	---	---	0.569
4.85	1,596	859.35	0.84 ic	0.42 ic	---	---	0.41	---	---	---	---	---	0.835
4.90	1,606	859.40	1.20 ic	0.42 ic	---	---	0.76	---	---	---	---	---	1.180
4.95	1,615	859.45	1.59 ic	0.42 ic	---	---	1.17	---	---	---	---	---	1.588
5.00	1,625	859.50	2.07 ic	0.42 ic	---	---	1.64	---	---	---	---	---	2.052

...End

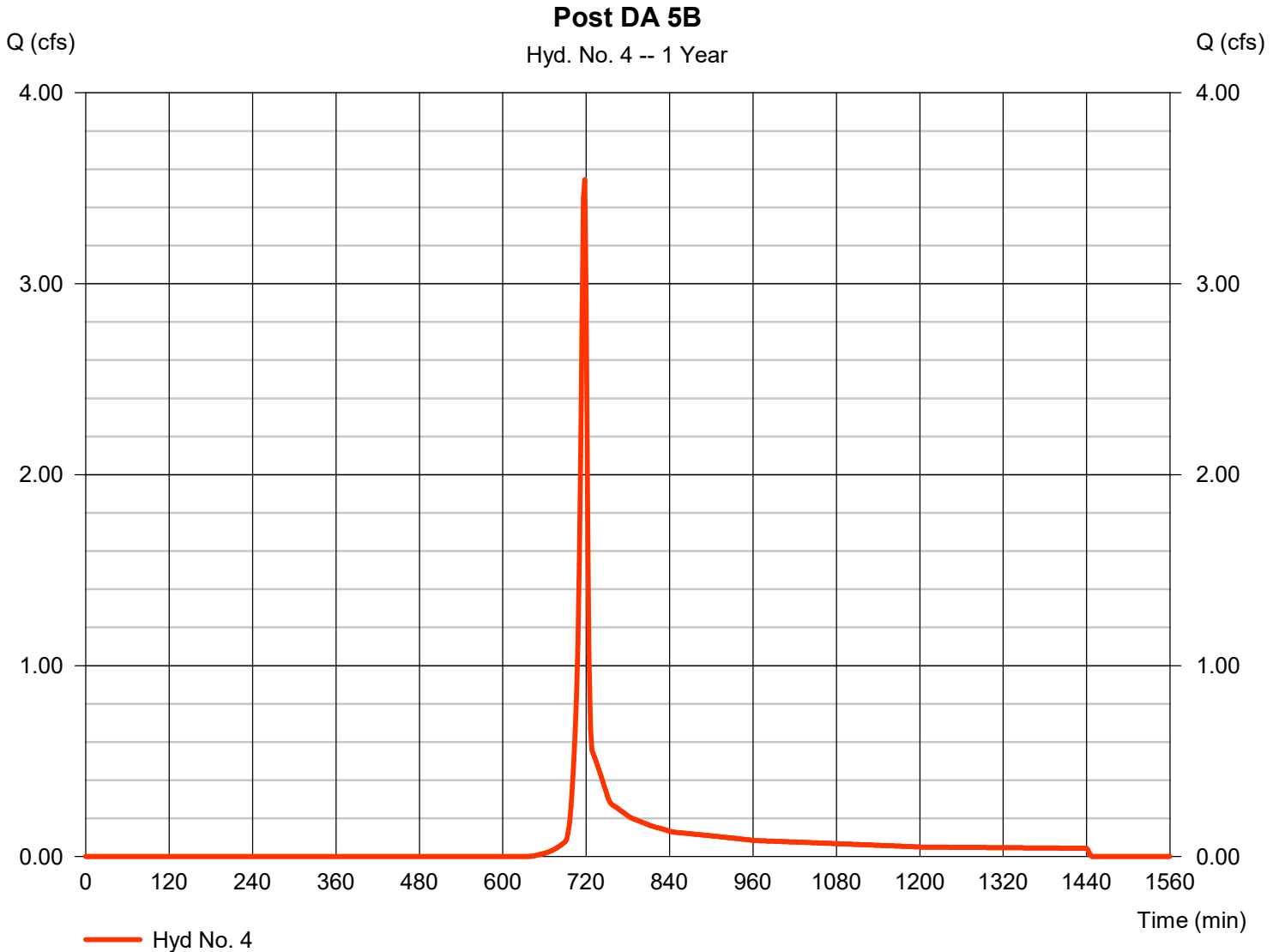
# Hydrograph Report

## Hyd. No. 4

Post DA 5B

Hydrograph type	= SCS Runoff	Peak discharge	= 3.545 cfs
Storm frequency	= 1 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 7,095 cuft
Drainage area	= 3.090 ac	Curve number	= 83*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 1.97 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(1.210 x 98) + (1.880 x 74)] / 3.090



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

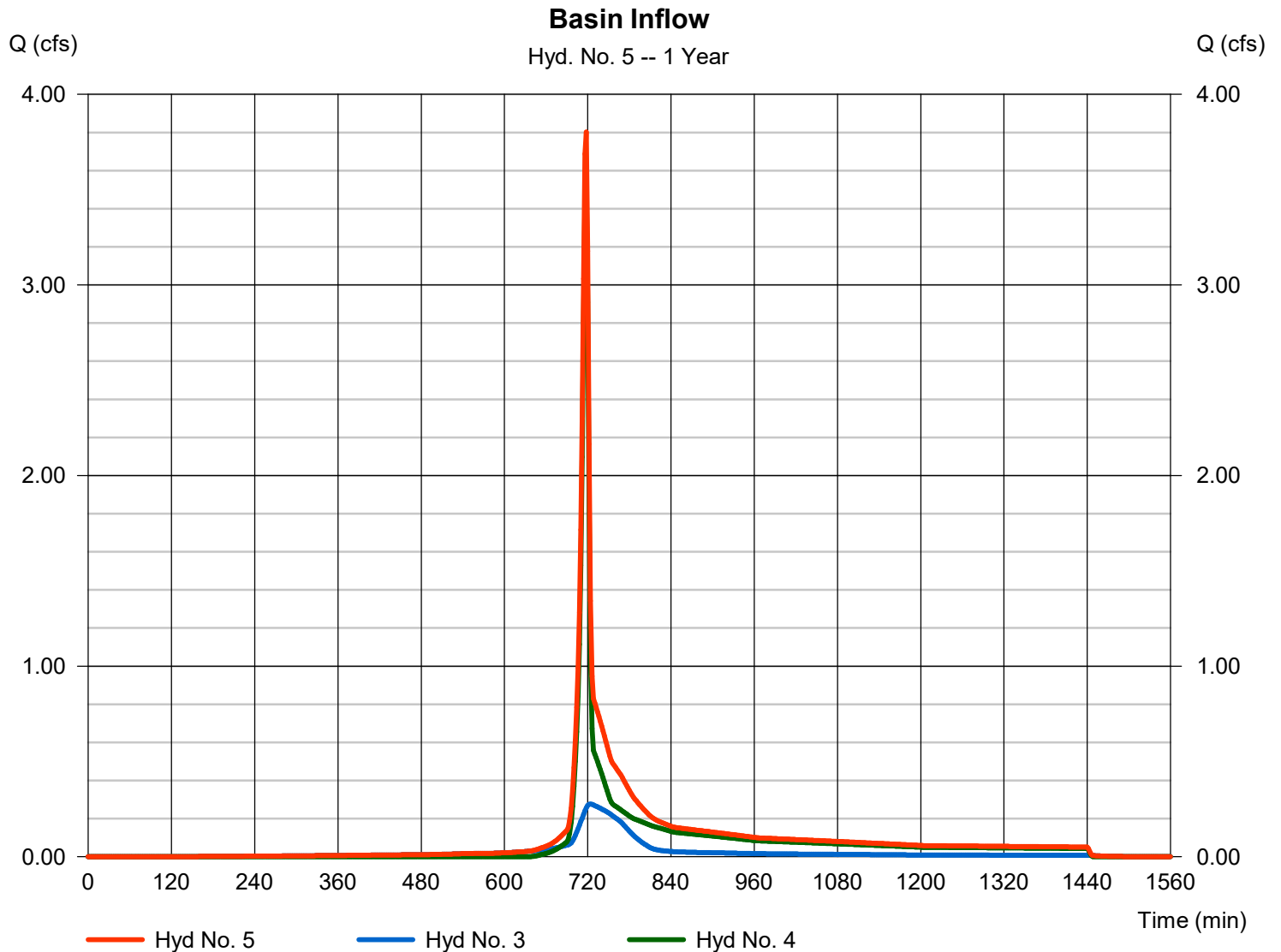
Monday, 02 / 9 / 2026

## Hyd. No. 5

### Basin Inflow

Hydrograph type = Combine  
Storm frequency = 1 yrs  
Time interval = 2 min  
Inflow hyds. = 3, 4

Peak discharge = 3.802 cfs  
Time to peak = 718 min  
Hyd. volume = 9,231 cuft  
Contrib. drain. area = 3.090 ac



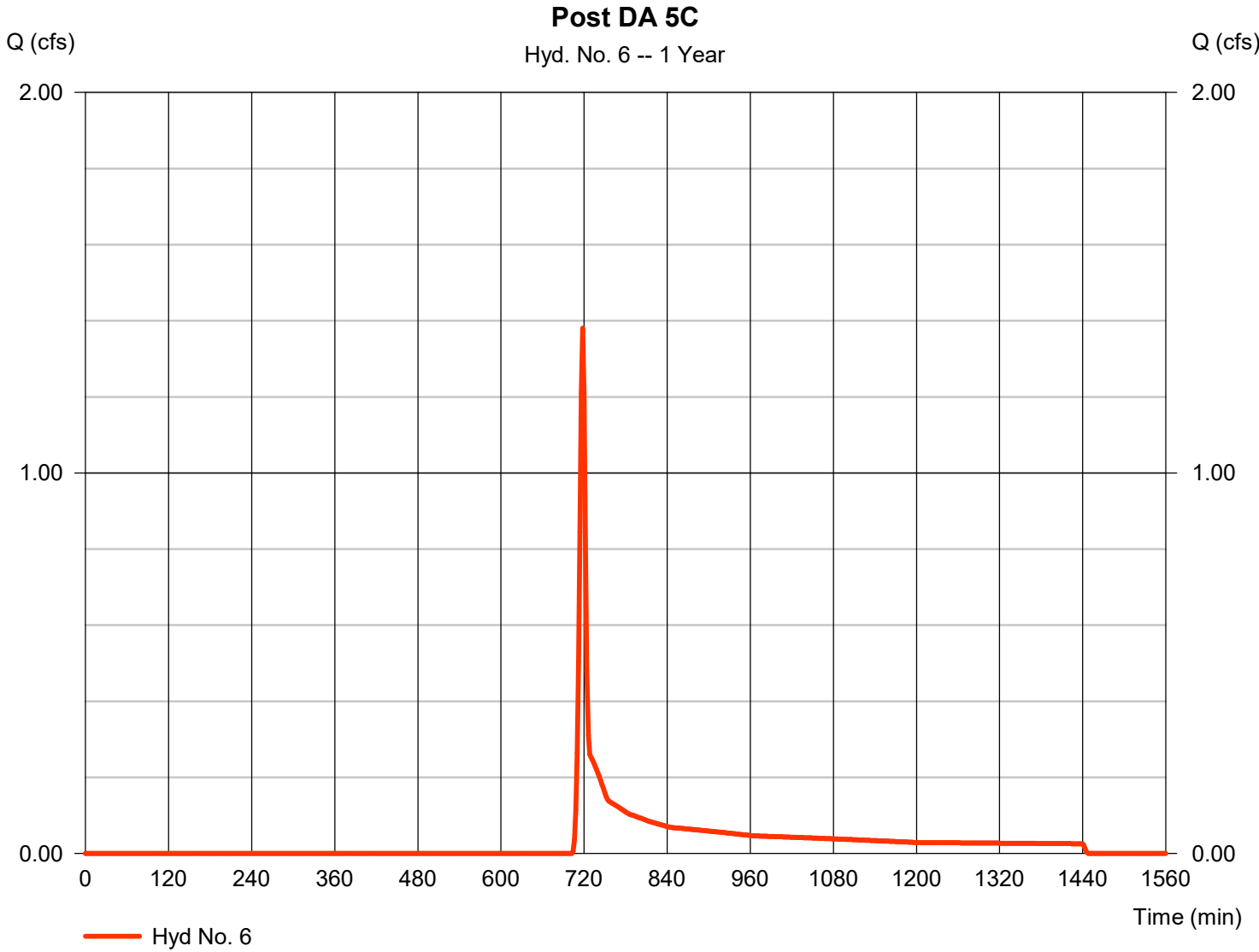
# Hydrograph Report

## Hyd. No. 6

Post DA 5C

Hydrograph type	= SCS Runoff	Peak discharge	= 1.380 cfs
Storm frequency	= 1 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 3,075 cuft
Drainage area	= 2.690 ac	Curve number	= 74*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 1.97 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.130 x 98) + (2.040 x 74) + (0.520 x 70)] / 2.690



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

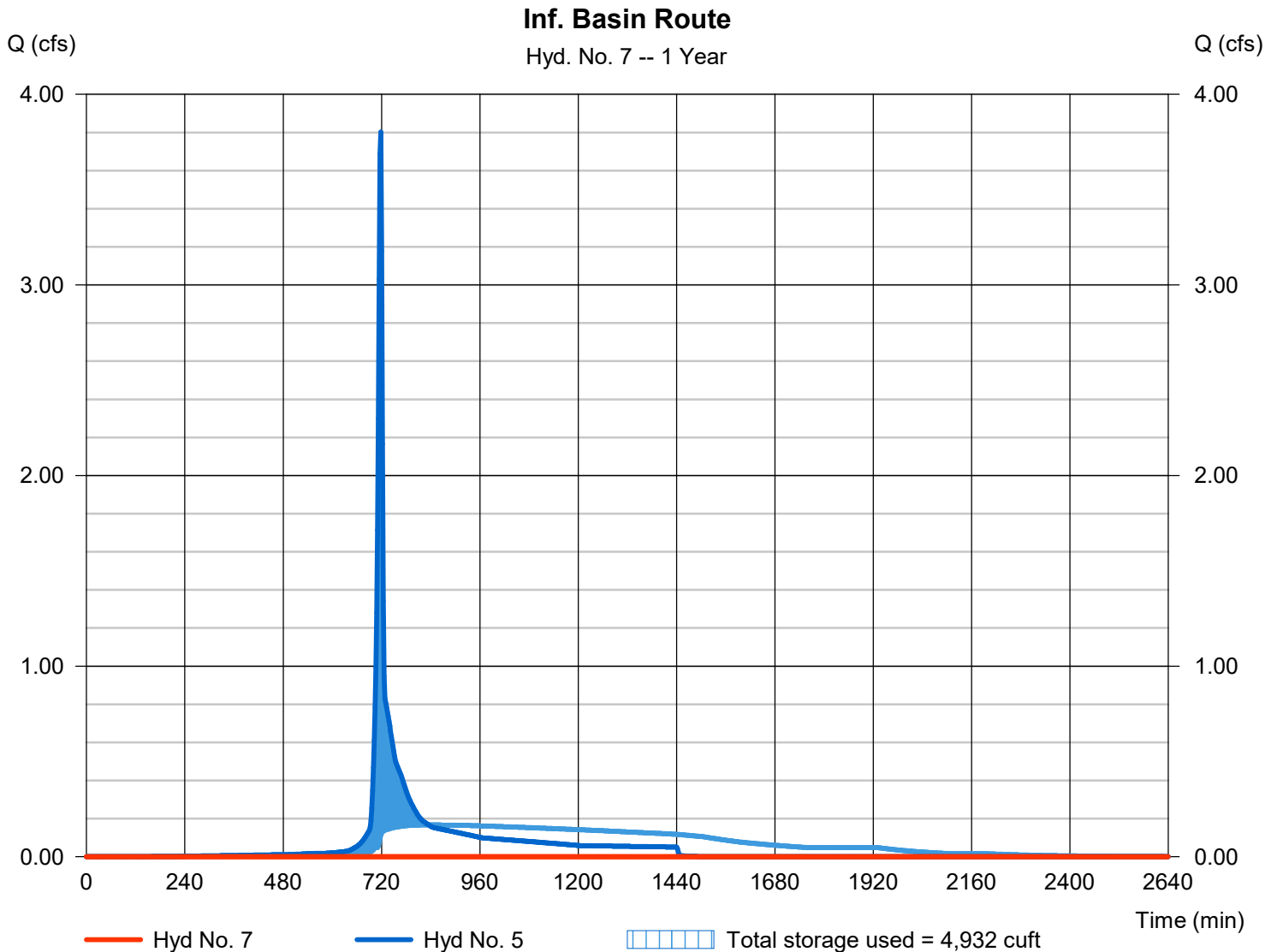
Monday, 02 / 9 / 2026

## Hyd. No. 7

Inf. Basin Route

Hydrograph type	= Reservoir	Peak discharge	= 0.000 cfs
Storm frequency	= 1 yrs	Time to peak	= 1472 min
Time interval	= 2 min	Hyd. volume	= 0 cuft
Inflow hyd. No.	= 5 - Basin Inflow	Max. Elevation	= 851.27 ft
Reservoir name	= SCM 5.2 Inf Basin	Max. Storage	= 4,932 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



## Pond No. 2 - SCM 5.2 Inf Basin

### Pond Data

Contours -User-defined contour areas. Conic method used for volume calculation. Begining Elevation = 848.00 ft

### Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	848.00	941	0	0
0.25	848.25	329	152	152
0.50	848.50	329	82	234
1.00	849.00	963	309	544
1.50	849.50	963	481	1,025
2.00	850.00	1,575	628	1,653
2.25	850.25	2,123	461	2,114
2.50	850.50	2,466	573	2,687
2.75	850.75	2,768	654	3,341
3.00	851.00	3,046	726	4,067
3.25	851.25	3,359	800	4,867
3.50	851.50	3,655	876	5,744
3.75	851.75	3,935	948	6,692
4.00	852.00	4,200	1,017	7,709
4.25	852.25	4,459	1,082	8,791
4.50	852.50	4,693	1,144	9,934
4.75	852.75	4,886	1,197	11,132
5.00	853.00	4,875	1,220	12,352
5.50	853.50	5,564	2,608	14,959
6.00	854.00	5,620	2,796	17,755

### Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 18.00	3.00	0.00	0.00
Span (in)	= 18.00	38.00	0.00	0.00
No. Barrels	= 1	1	0	0
Invert El. (ft)	= 846.00	852.00	0.00	0.00
Length (ft)	= 39.00	0.00	0.00	0.00
Slope (%)	= 5.10	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	Yes	No	No

### Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 12.00	40.00	0.00	0.00
Crest El. (ft)	= 852.25	852.70	0.00	0.00
Weir Coeff.	= 3.33	2.60	3.33	3.33
Weir Type	= 1	Broad	---	---
Multi-Stage	= Yes	No	No	No
Exfil.(in/hr)	= 2.130 (by Contour)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

### Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Civ A cfs	Civ B cfs	Civ C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	848.00	0.00	0.00	---	---	0.00	0.00	---	---	0.000	---	0.000
0.03	15	848.03	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.002	---	0.002
0.05	30	848.05	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.003	---	0.003
0.08	46	848.08	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.005	---	0.005
0.10	61	848.10	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.006	---	0.006
0.13	76	848.13	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.008	---	0.008
0.15	91	848.15	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.010	---	0.010
0.17	107	848.18	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.011	---	0.011
0.20	122	848.20	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.013	---	0.013
0.22	137	848.23	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.015	---	0.015
0.25	152	848.25	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.016	---	0.016
0.28	160	848.28	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.016	---	0.016
0.30	169	848.30	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.016	---	0.016
0.32	177	848.33	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.016	---	0.016
0.35	185	848.35	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.016	---	0.016
0.38	193	848.38	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.016	---	0.016
0.40	202	848.40	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.016	---	0.016
0.43	210	848.43	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.016	---	0.016
0.45	218	848.45	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.016	---	0.016
0.48	226	848.48	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.016	---	0.016
0.50	234	848.50	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.016	---	0.016
0.55	265	848.55	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.019	---	0.019
0.60	296	848.60	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.022	---	0.022

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SCM 5.2 Inf Basin

**Stage / Storage / Discharge Table**

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.65	327	848.65	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.026	---	0.026
0.70	358	848.70	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.029	---	0.029
0.75	389	848.75	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.032	---	0.032
0.80	420	848.80	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.035	---	0.035
0.85	451	848.85	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.038	---	0.038
0.90	482	848.90	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.041	---	0.041
0.95	513	848.95	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.044	---	0.044
1.00	544	849.00	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.047	---	0.047
1.05	592	849.05	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.047	---	0.047
1.10	640	849.10	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.047	---	0.047
1.15	688	849.15	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.047	---	0.047
1.20	736	849.20	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.047	---	0.047
1.25	784	849.25	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.047	---	0.047
1.30	832	849.30	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.047	---	0.047
1.35	881	849.35	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.047	---	0.047
1.40	929	849.40	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.047	---	0.047
1.45	977	849.45	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.047	---	0.047
1.50	1,025	849.50	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.047	---	0.047
1.55	1,088	849.55	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.050	---	0.050
1.60	1,151	849.60	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.054	---	0.054
1.65	1,213	849.65	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.057	---	0.057
1.70	1,276	849.70	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.060	---	0.060
1.75	1,339	849.75	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.063	---	0.063
1.80	1,402	849.80	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.066	---	0.066
1.85	1,465	849.85	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.069	---	0.069
1.90	1,528	849.90	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.072	---	0.072
1.95	1,590	849.95	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.075	---	0.075
2.00	1,653	850.00	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.078	---	0.078
2.03	1,699	850.03	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.080	---	0.080
2.05	1,745	850.05	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.083	---	0.083
2.08	1,791	850.08	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.086	---	0.086
2.10	1,837	850.10	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.088	---	0.088
2.13	1,883	850.13	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.091	---	0.091
2.15	1,929	850.15	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.094	---	0.094
2.18	1,976	850.18	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.097	---	0.097
2.20	2,022	850.20	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.099	---	0.099
2.23	2,068	850.23	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.102	---	0.102
2.25	2,114	850.25	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.105	---	0.105
2.28	2,171	850.28	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.106	---	0.106
2.30	2,228	850.30	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.108	---	0.108
2.33	2,286	850.33	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.110	---	0.110
2.35	2,343	850.35	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.111	---	0.111
2.38	2,400	850.38	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.113	---	0.113
2.40	2,458	850.40	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.115	---	0.115
2.43	2,515	850.43	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.117	---	0.117
2.45	2,572	850.45	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.118	---	0.118
2.48	2,629	850.48	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.120	---	0.120
2.50	2,687	850.50	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.122	---	0.122
2.53	2,752	850.53	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.123	---	0.123
2.55	2,817	850.55	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.125	---	0.125
2.58	2,883	850.58	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.126	---	0.126
2.60	2,948	850.60	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.128	---	0.128
2.63	3,014	850.63	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.129	---	0.129
2.65	3,079	850.65	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.131	---	0.131
2.68	3,144	850.68	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.132	---	0.132
2.70	3,210	850.70	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.133	---	0.133
2.73	3,275	850.73	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.135	---	0.135
2.75	3,341	850.75	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.136	---	0.136
2.78	3,413	850.78	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.138	---	0.138
2.80	3,486	850.80	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.139	---	0.139
2.83	3,558	850.83	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.141	---	0.141
2.85	3,631	850.85	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.142	---	0.142
2.88	3,704	850.88	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.143	---	0.143
2.90	3,776	850.90	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.145	---	0.145
2.93	3,849	850.93	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.146	---	0.146
2.95	3,922	850.95	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.147	---	0.147
2.98	3,994	850.98	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.149	---	0.149
3.00	4,067	851.00	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.150	---	0.150
3.03	4,147	851.03	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.152	---	0.152
3.05	4,227	851.05	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.153	---	0.153
3.08	4,307	851.08	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.155	---	0.155
3.10	4,387	851.10	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.156	---	0.156

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SCM 5.2 Inf Basin

**Stage / Storage / Discharge Table**

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
3.13	4,467	851.13	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.158	---	0.158
3.15	4,547	851.15	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.159	---	0.159
3.18	4,627	851.18	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.161	---	0.161
3.20	4,707	851.20	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.163	---	0.163
3.23	4,787	851.23	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.164	---	0.164
3.25	4,867	851.25	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.166	---	0.166
3.28	4,955	851.28	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.167	---	0.167
3.30	5,042	851.30	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.169	---	0.169
3.33	5,130	851.33	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.170	---	0.170
3.35	5,218	851.35	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.171	---	0.171
3.38	5,305	851.38	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.173	---	0.173
3.40	5,393	851.40	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.174	---	0.174
3.43	5,481	851.43	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.176	---	0.176
3.45	5,568	851.45	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.177	---	0.177
3.48	5,656	851.48	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.179	---	0.179
3.50	5,744	851.50	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.180	---	0.180
3.53	5,838	851.53	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.182	---	0.182
3.55	5,933	851.55	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.183	---	0.183
3.58	6,028	851.58	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.184	---	0.184
3.60	6,123	851.60	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.186	---	0.186
3.63	6,218	851.63	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.187	---	0.187
3.65	6,313	851.65	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.188	---	0.188
3.68	6,407	851.68	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.190	---	0.190
3.70	6,502	851.70	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.191	---	0.191
3.73	6,597	851.73	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.193	---	0.193
3.75	6,692	851.75	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.194	---	0.194
3.78	6,794	851.78	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.195	---	0.195
3.80	6,895	851.80	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.197	---	0.197
3.83	6,997	851.83	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.198	---	0.198
3.85	7,099	851.85	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.199	---	0.199
3.88	7,200	851.88	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.201	---	0.201
3.90	7,302	851.90	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.202	---	0.202
3.93	7,404	851.93	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.203	---	0.203
3.95	7,505	851.95	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.204	---	0.204
3.98	7,607	851.98	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.206	---	0.206
4.00	7,709	852.00	9.51 ic	0.00	---	---	0.00	0.00	---	---	0.207	---	0.207
4.03	7,817	852.03	9.51 ic	0.04 ic	---	---	0.00	0.00	---	---	0.208	---	0.251
4.05	7,925	852.05	9.51 ic	0.12 ic	---	---	0.00	0.00	---	---	0.210	---	0.330
4.07	8,033	852.08	9.51 ic	0.22 ic	---	---	0.00	0.00	---	---	0.211	---	0.433
4.10	8,141	852.10	9.51 ic	0.34 ic	---	---	0.00	0.00	---	---	0.212	---	0.554
4.13	8,250	852.13	9.51 ic	0.48 ic	---	---	0.00	0.00	---	---	0.213	---	0.691
4.15	8,358	852.15	9.51 ic	0.63 ic	---	---	0.00	0.00	---	---	0.215	---	0.842
4.18	8,466	852.18	9.51 ic	0.79 ic	---	---	0.00	0.00	---	---	0.216	---	1.006
4.20	8,574	852.20	9.51 ic	0.97 ic	---	---	0.00	0.00	---	---	0.217	---	1.183
4.23	8,683	852.23	9.51 ic	1.15 ic	---	---	0.00	0.00	---	---	0.219	---	1.371
4.25	8,791	852.25	9.51 ic	1.35 ic	---	---	0.00	0.00	---	---	0.220	---	1.568
4.28	8,905	852.28	9.51 ic	1.48 ic	---	---	0.16	0.00	---	---	0.221	---	1.856
4.30	9,019	852.30	9.51 ic	1.59 ic	---	---	0.45	0.00	---	---	0.222	---	2.264
4.32	9,134	852.33	9.51 ic	1.71 ic	---	---	0.82	0.00	---	---	0.223	---	2.750
4.35	9,248	852.35	9.51 ic	1.81 ic	---	---	1.27	0.00	---	---	0.224	---	3.298
4.38	9,363	852.38	9.51 ic	1.91 ic	---	---	1.77	0.00	---	---	0.226	---	3.901
4.40	9,477	852.40	9.51 ic	2.00 ic	---	---	2.32	0.00	---	---	0.227	---	4.551
4.43	9,591	852.43	9.51 ic	2.09 ic	---	---	2.93	0.00	---	---	0.228	---	5.246
4.45	9,706	852.45	9.51 ic	2.17 ic	---	---	3.58	0.00	---	---	0.229	---	5.982
4.48	9,820	852.48	9.51 ic	2.26 ic	---	---	4.27	0.00	---	---	0.230	---	6.757
4.50	9,934	852.50	9.51 ic	2.33 ic	---	---	4.99	0.00	---	---	0.231	---	7.561
4.53	10,054	852.53	9.51 ic	2.41 ic	---	---	5.76	0.00	---	---	0.232	---	8.407
4.55	10,174	852.55	9.51 ic	2.49 ic	---	---	6.57	0.00	---	---	0.233	---	9.286
4.57	10,294	852.58	9.96 ic	2.56 ic	---	---	7.41	0.00	---	---	0.234	---	10.20
4.60	10,413	852.60	10.91 ic	2.63 ic	---	---	8.28	0.00	---	---	0.235	---	11.14
4.63	10,533	852.63	11.88 ic	2.70 ic	---	---	9.18	0.00	---	---	0.236	---	12.11
4.65	10,653	852.65	12.88 ic	2.76 ic	---	---	10.11	0.00	---	---	0.237	---	13.11
4.68	10,773	852.68	13.91 ic	2.83 ic	---	---	11.08	0.00	---	---	0.238	---	14.14
4.70	10,892	852.70	14.96 ic	2.89 ic	---	---	12.07	0.00	---	---	0.239	---	15.20
4.73	11,012	852.73	16.04 ic	2.95 ic	---	---	13.09	0.42	---	---	0.240	---	16.70
4.75	11,132	852.75	17.14 ic	3.01 ic	---	---	14.13	1.16	---	---	0.241	---	18.54
4.78	11,254	852.78	18.28 ic	3.07 ic	---	---	15.20	2.14	---	---	0.241	---	20.65
4.80	11,376	852.80	19.43 ic	3.13 ic	---	---	16.30	3.29	---	---	0.241	---	22.96
4.82	11,498	852.83	20.04 ic	2.77 ic	---	---	17.27 s	4.60	---	---	0.241	---	24.88
4.85	11,620	852.85	20.22 ic	2.56 ic	---	---	17.66 s	6.05	---	---	0.241	---	26.51
4.88	11,742	852.88	20.36 ic	2.40 ic	---	---	17.96 s	7.62	---	---	0.241	---	28.22
4.90	11,864	852.90	20.48 ic	2.27 ic	---	---	18.21 s	9.31	---	---	0.241	---	30.03

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SCM 5.2 Inf Basin

**Stage / Storage / Discharge Table**

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
4.93	11,986	852.93	20.59 ic	2.16 ic	---	---	18.43 s	11.11	---	---	0.241	---	31.94
4.95	12,108	852.95	20.68 ic	2.05 ic	---	---	18.63 s	13.01	---	---	0.240	---	33.94
4.98	12,230	852.98	20.77 ic	1.96 ic	---	---	18.81 s	15.01	---	---	0.240	---	36.02
5.00	12,352	853.00	20.85 ic	1.88 ic	---	---	18.97 s	17.09	---	---	0.240	---	38.18
5.05	12,612	853.05	21.00 ic	1.73 ic	---	---	19.28 s	21.53	---	---	0.244	---	42.78
5.10	12,873	853.10	21.14 ic	1.60 ic	---	---	19.54 s	26.31	---	---	0.247	---	47.69
5.15	13,134	853.15	21.27 ic	1.49 ic	---	---	19.78 s	31.39	---	---	0.251	---	52.90
5.20	13,395	853.20	21.38 ic	1.39 ic	---	---	19.99 s	36.76	---	---	0.254	---	58.40
5.25	13,655	853.25	21.49 ic	1.30 ic	---	---	20.19 s	42.41	---	---	0.257	---	64.16
5.30	13,916	853.30	21.60 ic	1.22 ic	---	---	20.37 s	48.32	---	---	0.261	---	70.18
5.35	14,177	853.35	21.70 ic	1.16 ic	---	---	20.55 s	54.49	---	---	0.264	---	76.45
5.40	14,438	853.40	21.80 ic	1.09 ic	---	---	20.71 s	60.89	---	---	0.268	---	82.96
5.45	14,698	853.45	21.90 ic	1.04 ic	---	---	20.86 s	67.53	---	---	0.271	---	89.70
5.50	14,959	853.50	21.99 ic	0.98 ic	---	---	21.00 s	74.41	---	---	0.274	---	96.67
5.55	15,239	853.55	22.09 ic	0.94 ic	---	---	21.15 s	81.50	---	---	0.275	---	103.86
5.60	15,518	853.60	22.18 ic	0.89 ic	---	---	21.27 s	88.79	---	---	0.275	---	111.23
5.65	15,798	853.65	22.27 ic	0.85 ic	---	---	21.40 s	96.29	---	---	0.275	---	118.82
5.70	16,078	853.70	22.35 ic	0.82 ic	---	---	21.54 s	103.99	---	---	0.275	---	126.62
5.75	16,357	853.75	22.44 ic	0.78 ic	---	---	21.64 s	111.89	---	---	0.276	---	134.59
5.80	16,637	853.80	22.53 ic	0.75 ic	---	---	21.76 s	119.97	---	---	0.276	---	142.76
5.85	16,916	853.85	22.61 ic	0.72 ic	---	---	21.89 s	128.24	---	---	0.276	---	151.13
5.90	17,196	853.90	22.70 ic	0.70 ic	---	---	21.98 s	136.69	---	---	0.277	---	159.65
5.95	17,475	853.95	22.78 ic	0.67 ic	---	---	22.09 s	145.32	---	---	0.277	---	168.36
6.00	17,755	854.00	22.86 ic	0.65 ic	---	---	22.21 s	154.15	---	---	0.277	---	177.28

...End

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

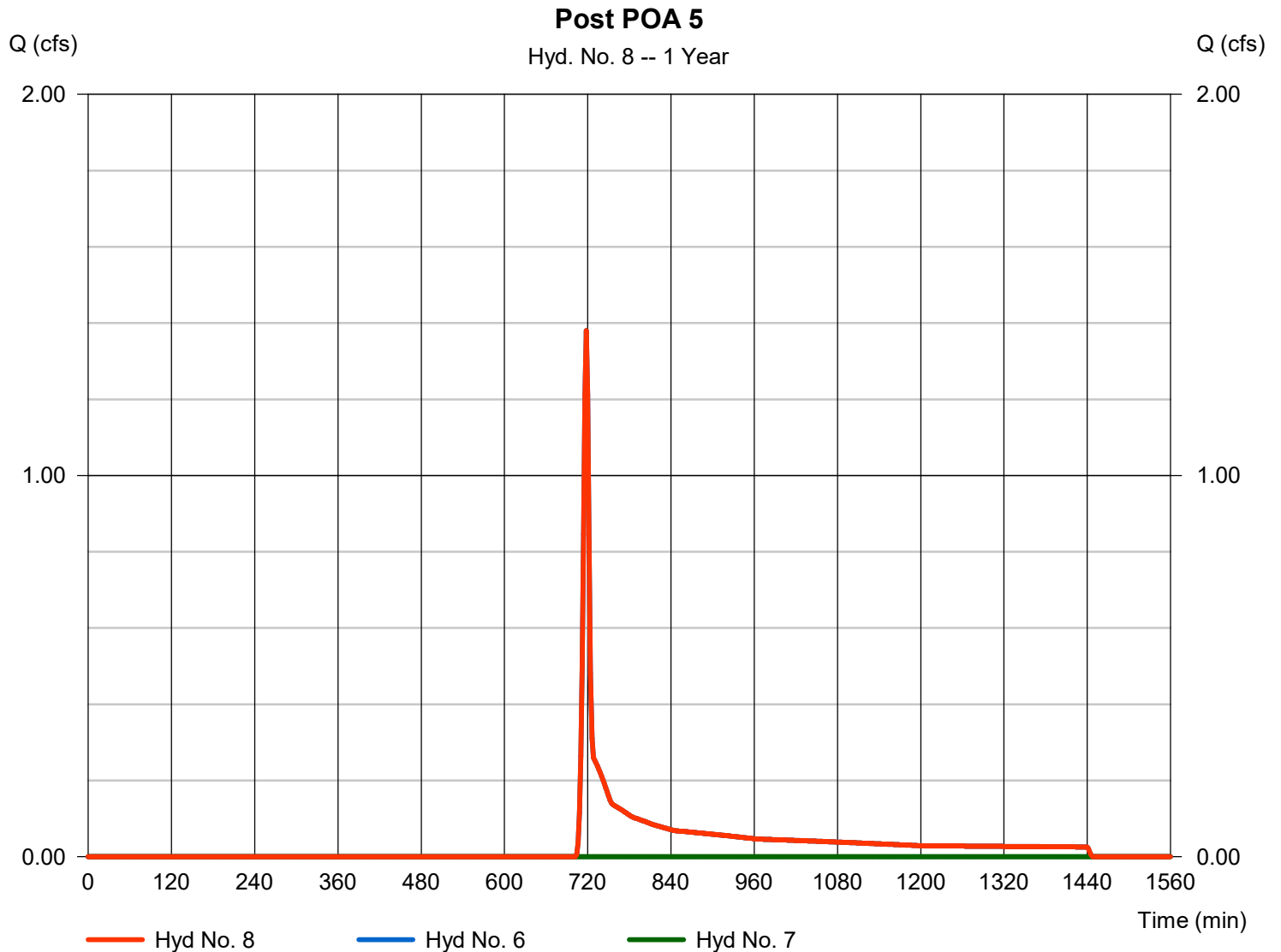
Monday, 02 / 9 / 2026

## Hyd. No. 8

Post POA 5

Hydrograph type = Combine  
Storm frequency = 1 yrs  
Time interval = 2 min  
Inflow hyds. = 6, 7

Peak discharge = 1.380 cfs  
Time to peak = 718 min  
Hyd. volume = 3,075 cuft  
Contrib. drain. area = 2.690 ac



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	5.495	2	718	11,601	-----	-----	-----	Pre-Development DA 5	
2	SCS Runoff	1.131	2	716	2,599	-----	-----	-----	Post DA 5A	
3	Reservoir	0.301	2	724	2,598	2	857.00	755	Tank 2 Route	
4	SCS Runoff	4.958	2	718	9,926	-----	-----	-----	Post DA 5B	
5	Combine	5.237	2	718	12,524	3, 4	-----	-----	Basin Inflow	
6	SCS Runoff	2.313	2	718	4,813	-----	-----	-----	Post DA 5C	
7	Reservoir	0.000	2	1578	0	5	851.84	7,058	Inf. Basin Route	
8	Combine	2.313	2	718	4,813	6, 7	-----	-----	Post POA 5	
9	Reservoir	5.063	2	718	12,404	5	852.83	11,537	Spillway Route	
Ph 5 Hydrographs.gpw					Return Period: 2 Year			Monday, 02 / 9 / 2026		

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

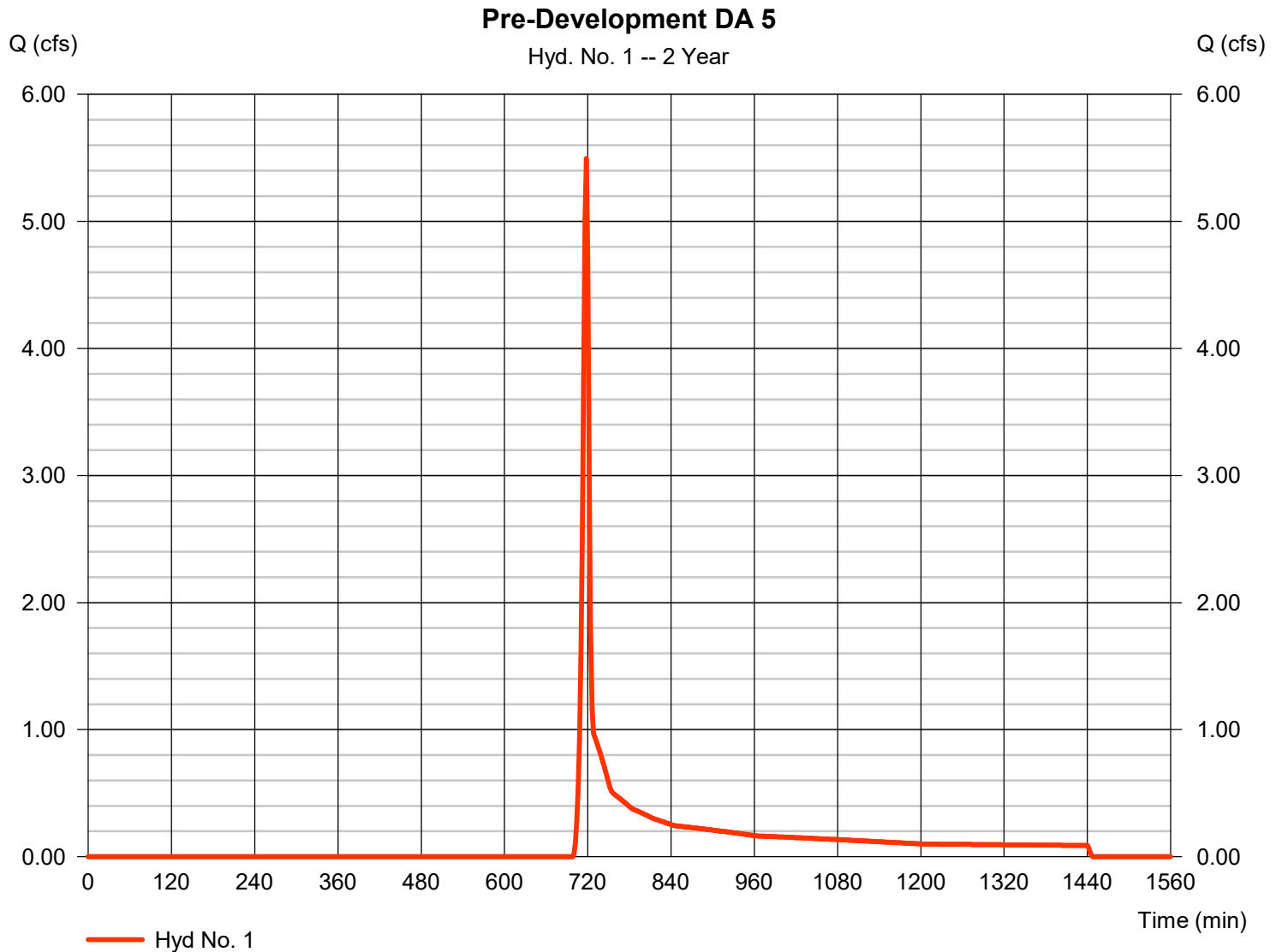
Monday, 02 / 9 / 2026

## Hyd. No. 1

Pre-Development DA 5

Hydrograph type	= SCS Runoff	Peak discharge	= 5.495 cfs
Storm frequency	= 2 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 11,601 cuft
Drainage area	= 6.980 ac	Curve number	= 73*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 2.35 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.270 x 98) + (0.070 x 71) + (5.290 x 71) + (0.700 x 70) + (0.650 x 87)] / 6.980



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

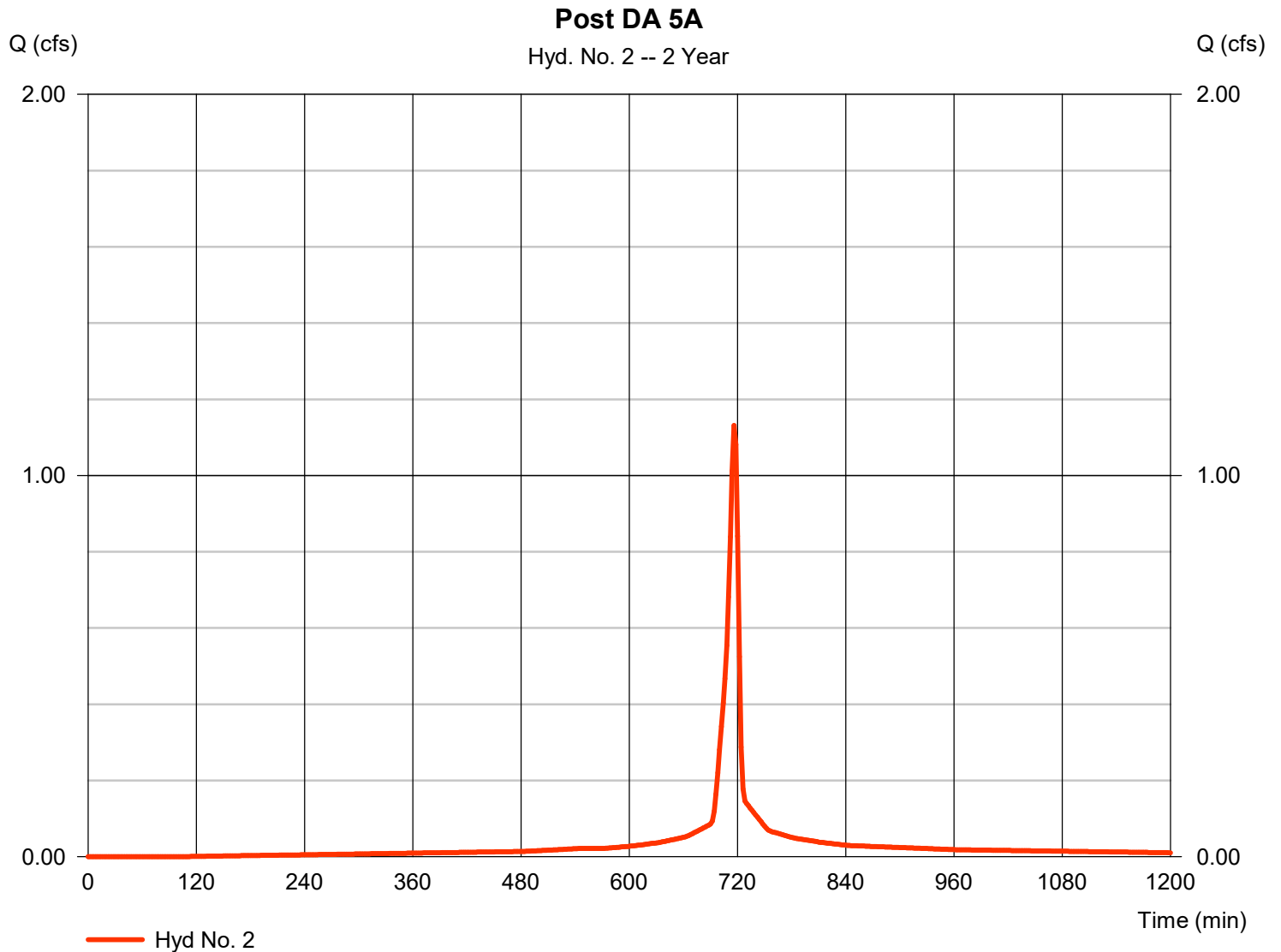
Monday, 02 / 9 / 2026

## Hyd. No. 2

Post DA 5A

Hydrograph type	= SCS Runoff	Peak discharge	= 1.131 cfs
Storm frequency	= 2 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 2,599 cuft
Drainage area	= 0.360 ac	Curve number	= 98*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 2.35 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.360 x 98)] / 0.360



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

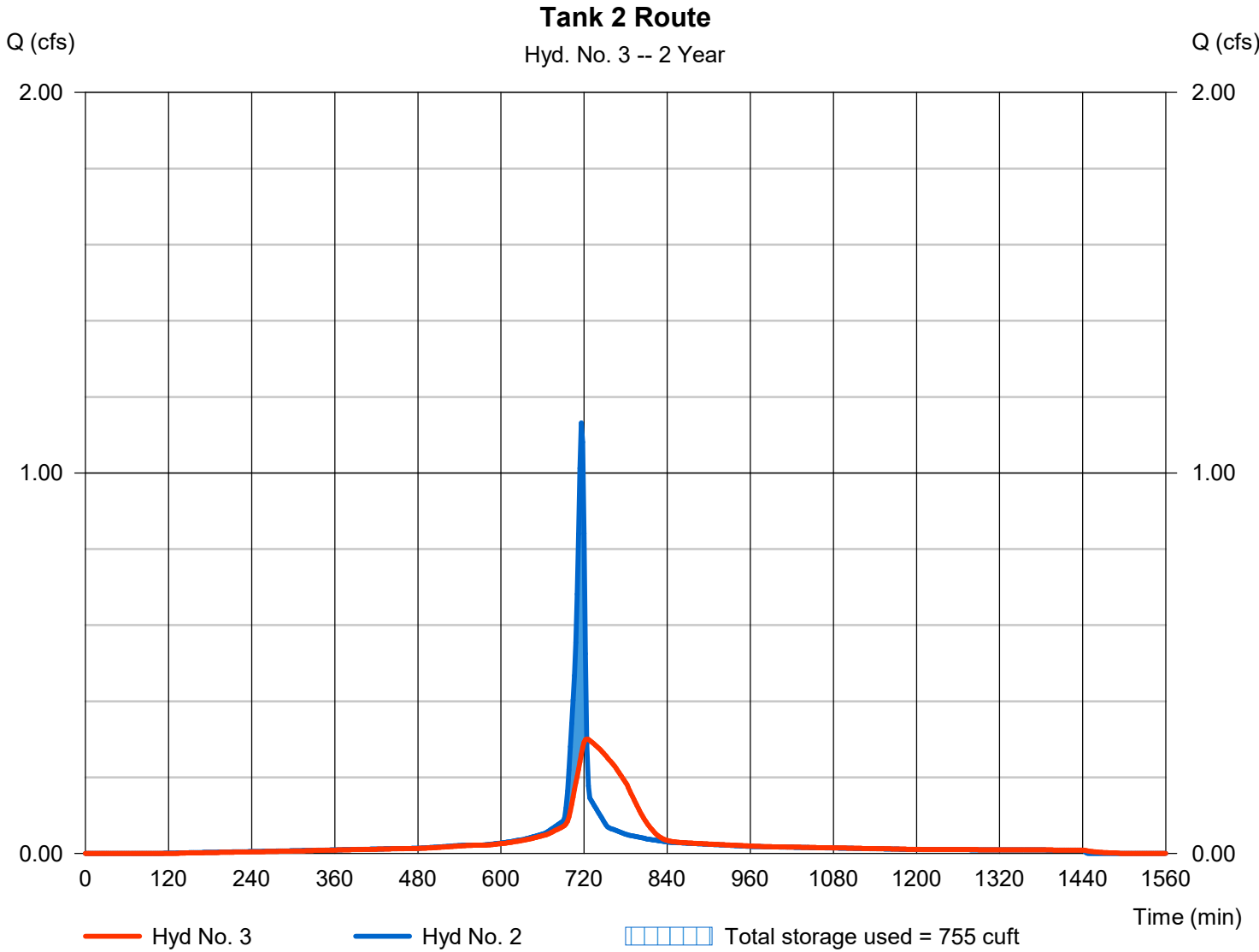
Monday, 02 / 9 / 2026

## Hyd. No. 3

Tank 2 Route

Hydrograph type	= Reservoir	Peak discharge	= 0.301 cfs
Storm frequency	= 2 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 2,598 cuft
Inflow hyd. No.	= 2 - Post DA 5A	Max. Elevation	= 857.00 ft
Reservoir name	= SCM 5.1 Det Tank	Max. Storage	= 755 cuft

Storage Indication method used.



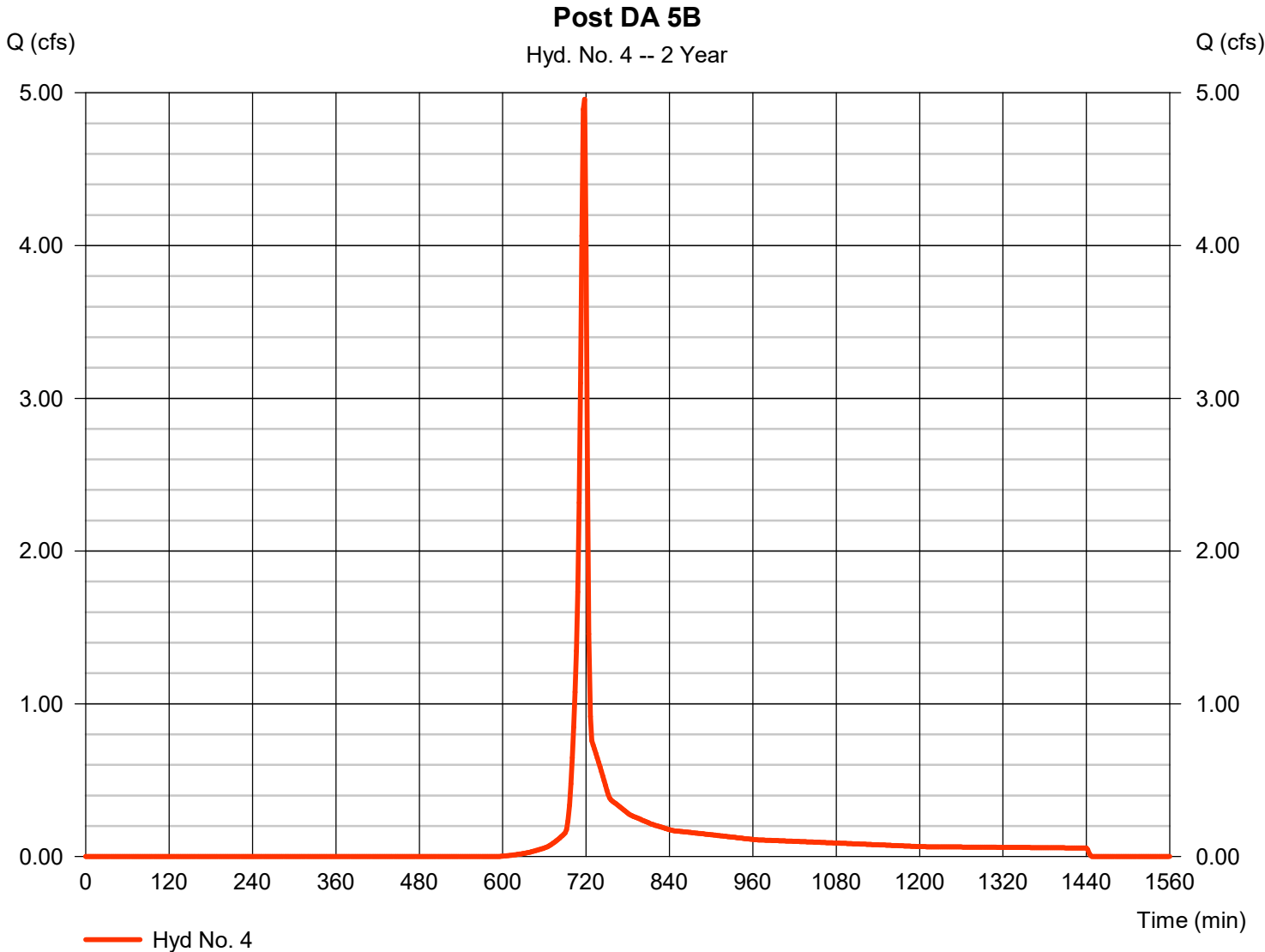
# Hydrograph Report

## Hyd. No. 4

Post DA 5B

Hydrograph type	= SCS Runoff	Peak discharge	= 4.958 cfs
Storm frequency	= 2 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 9,926 cuft
Drainage area	= 3.090 ac	Curve number	= 83*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 2.35 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(1.210 x 98) + (1.880 x 74)] / 3.090



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

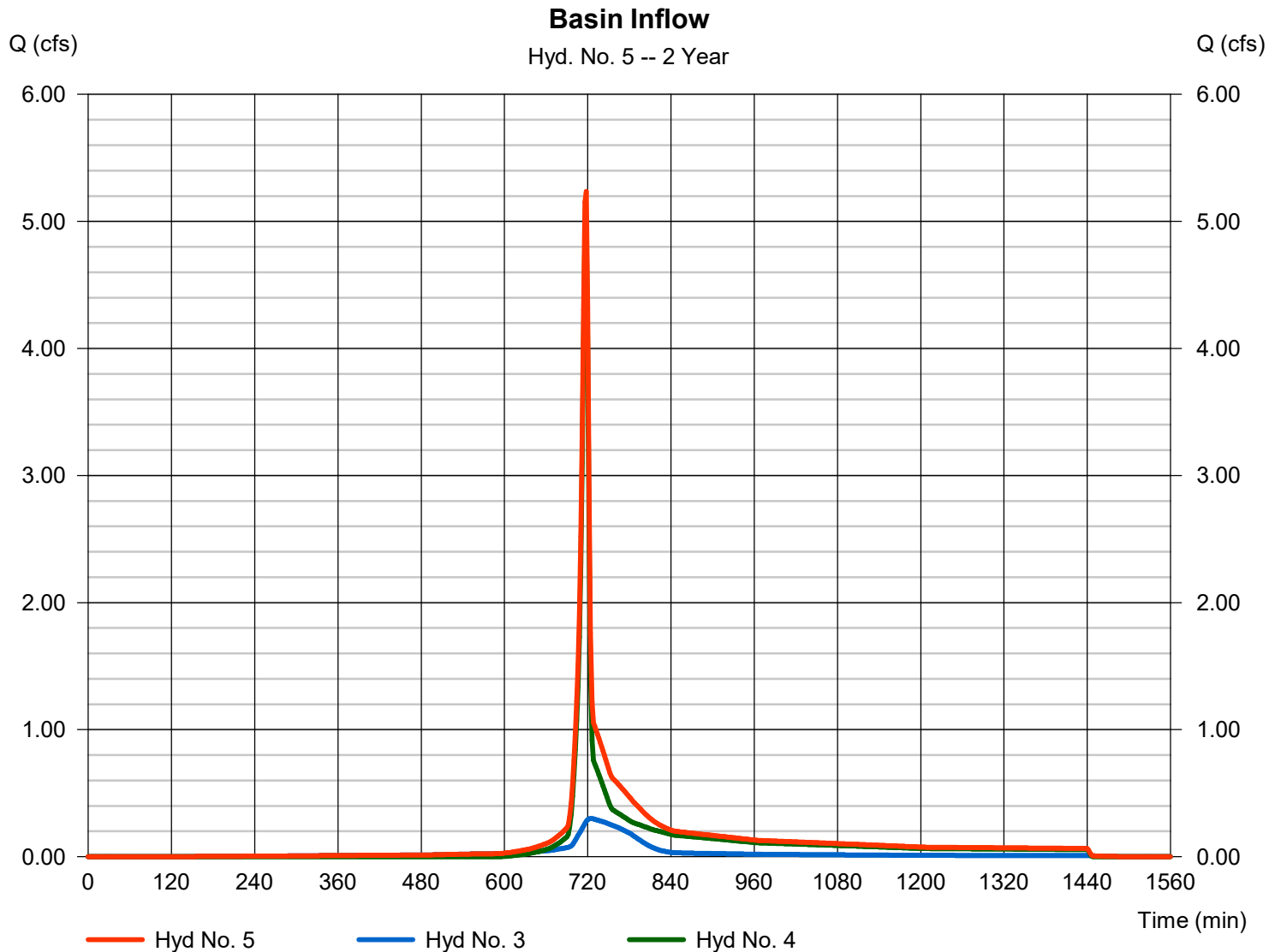
Monday, 02 / 9 / 2026

## Hyd. No. 5

### Basin Inflow

Hydrograph type = Combine  
Storm frequency = 2 yrs  
Time interval = 2 min  
Inflow hyds. = 3, 4

Peak discharge = 5.237 cfs  
Time to peak = 718 min  
Hyd. volume = 12,524 cuft  
Contrib. drain. area = 3.090 ac



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

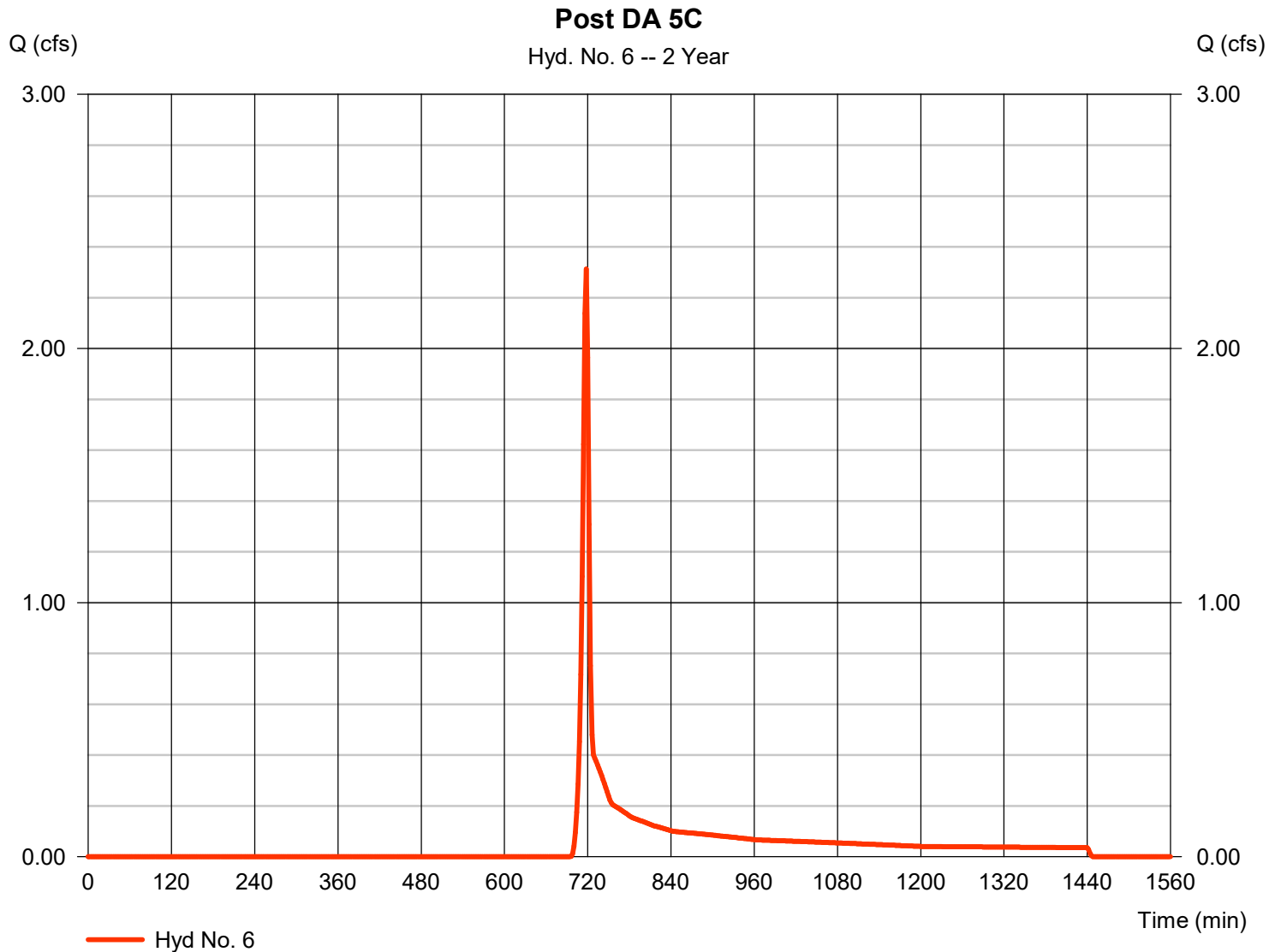
Monday, 02 / 9 / 2026

## Hyd. No. 6

Post DA 5C

Hydrograph type	= SCS Runoff	Peak discharge	= 2.313 cfs
Storm frequency	= 2 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 4,813 cuft
Drainage area	= 2.690 ac	Curve number	= 74*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 2.35 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.130 x 98) + (2.040 x 74) + (0.520 x 70)] / 2.690



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

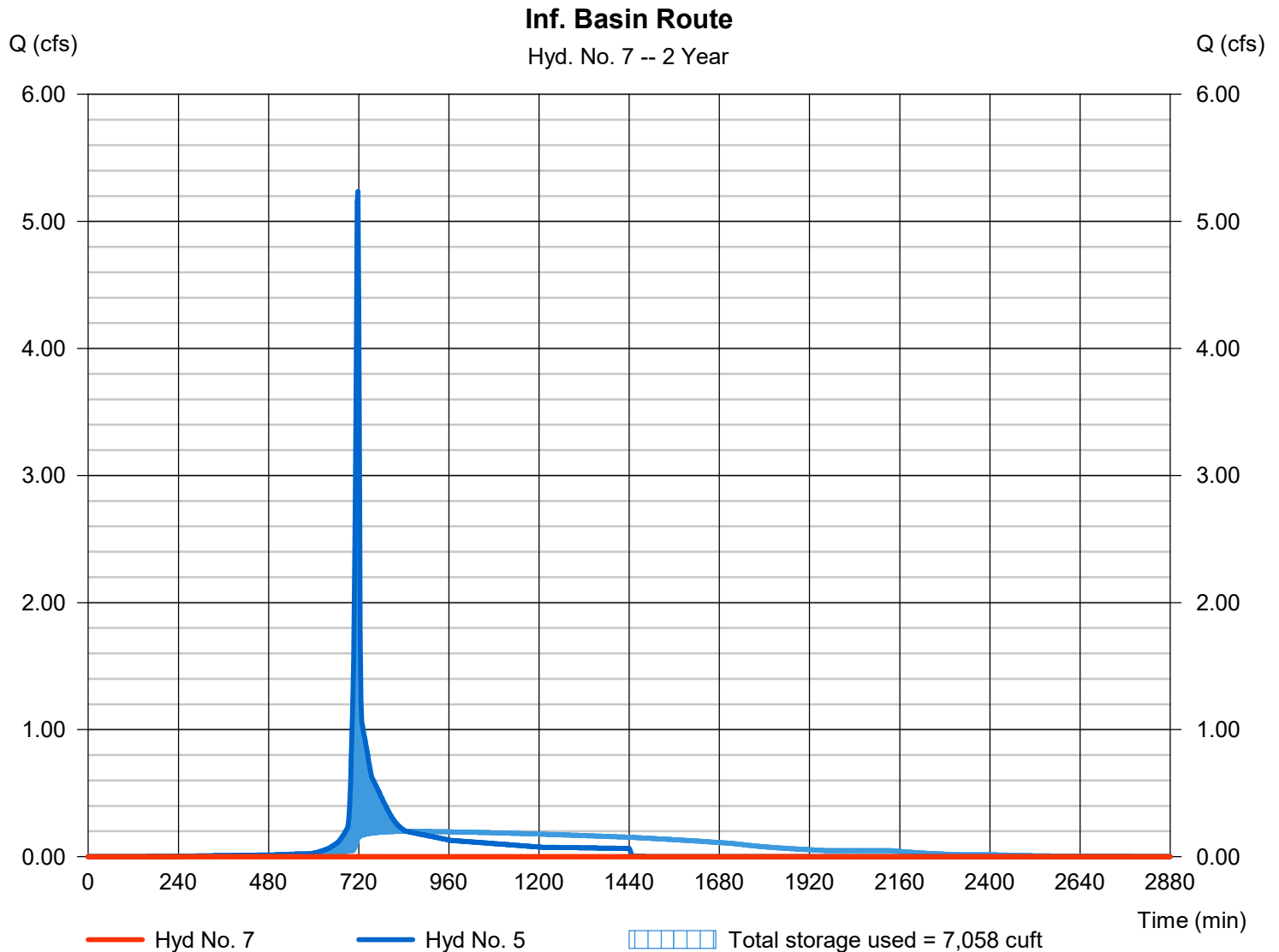
Monday, 02 / 9 / 2026

## Hyd. No. 7

Inf. Basin Route

Hydrograph type	= Reservoir	Peak discharge	= 0.000 cfs
Storm frequency	= 2 yrs	Time to peak	= 1578 min
Time interval	= 2 min	Hyd. volume	= 0 cuft
Inflow hyd. No.	= 5 - Basin Inflow	Max. Elevation	= 851.84 ft
Reservoir name	= SCM 5.2 Inf Basin	Max. Storage	= 7,058 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

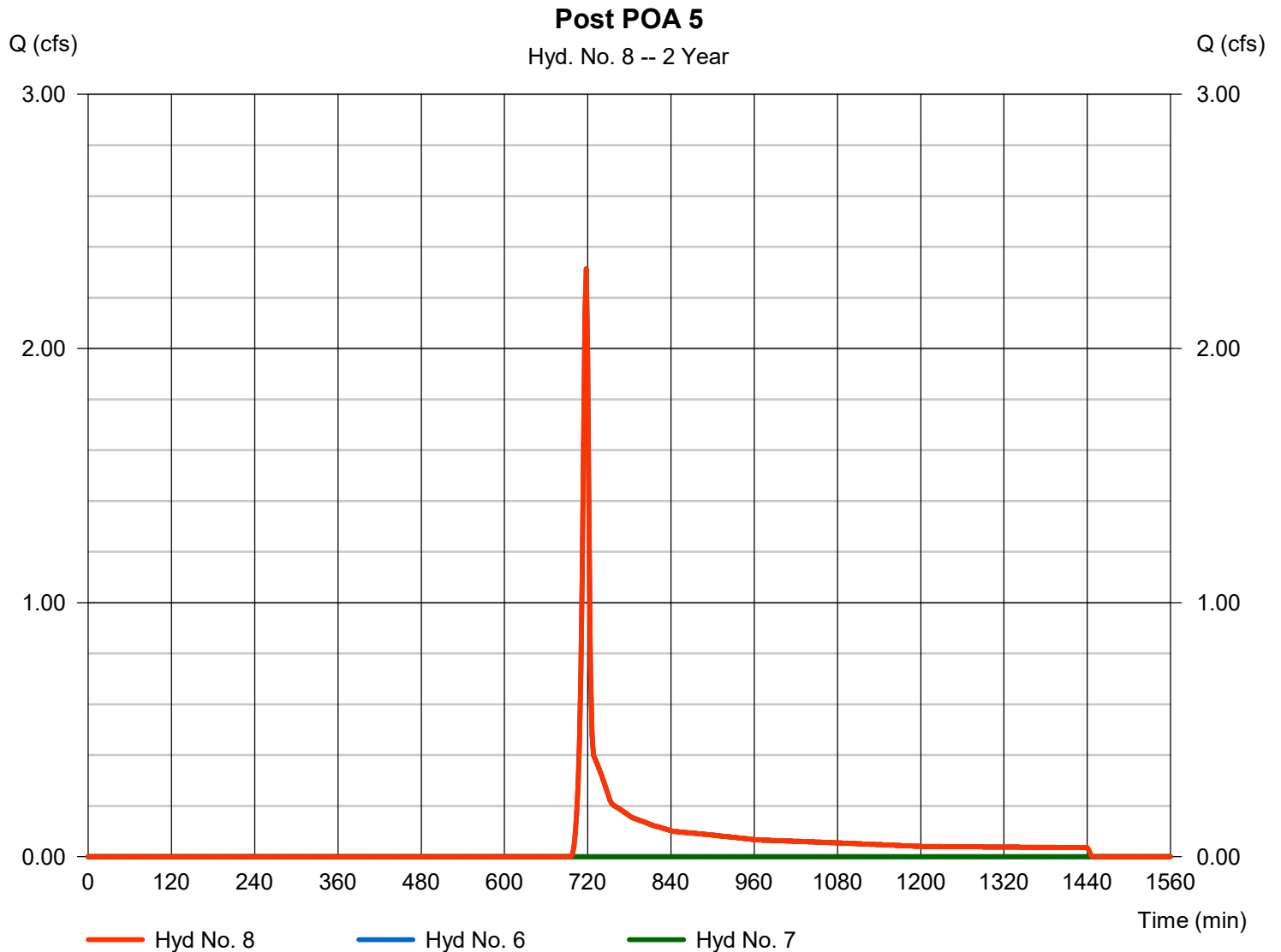
Monday, 02 / 9 / 2026

## Hyd. No. 8

Post POA 5

Hydrograph type = Combine  
Storm frequency = 2 yrs  
Time interval = 2 min  
Inflow hyds. = 6, 7

Peak discharge = 2.313 cfs  
Time to peak = 718 min  
Hyd. volume = 4,813 cuft  
Contrib. drain. area = 2.690 ac



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	9.192	2	718	18,635	-----	-----	-----	Pre-Development DA 5	
2	SCS Runoff	1.396	2	716	3,245	-----	-----	-----	Post DA 5A	
3	Reservoir	0.333	2	724	3,244	2	857.52	977	Tank 2 Route	
4	SCS Runoff	7.041	2	718	14,202	-----	-----	-----	Post DA 5B	
5	Combine	7.347	2	718	17,446	3, 4	-----	-----	Basin Inflow	
6	SCS Runoff	3.781	2	718	7,626	-----	-----	-----	Post DA 5C	
7	Reservoir	0.587	2	754	2,855	5	852.14	8,329	Inf. Basin Route	
8	Combine	3.781	2	718	10,481	6, 7	-----	-----	Post POA 5	
9	Reservoir	7.231	2	718	17,326	5	852.87	11,711	Spillway Route	
Ph 5 Hydrographs.gpw					Return Period: 5 Year			Monday, 02 / 9 / 2026		

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

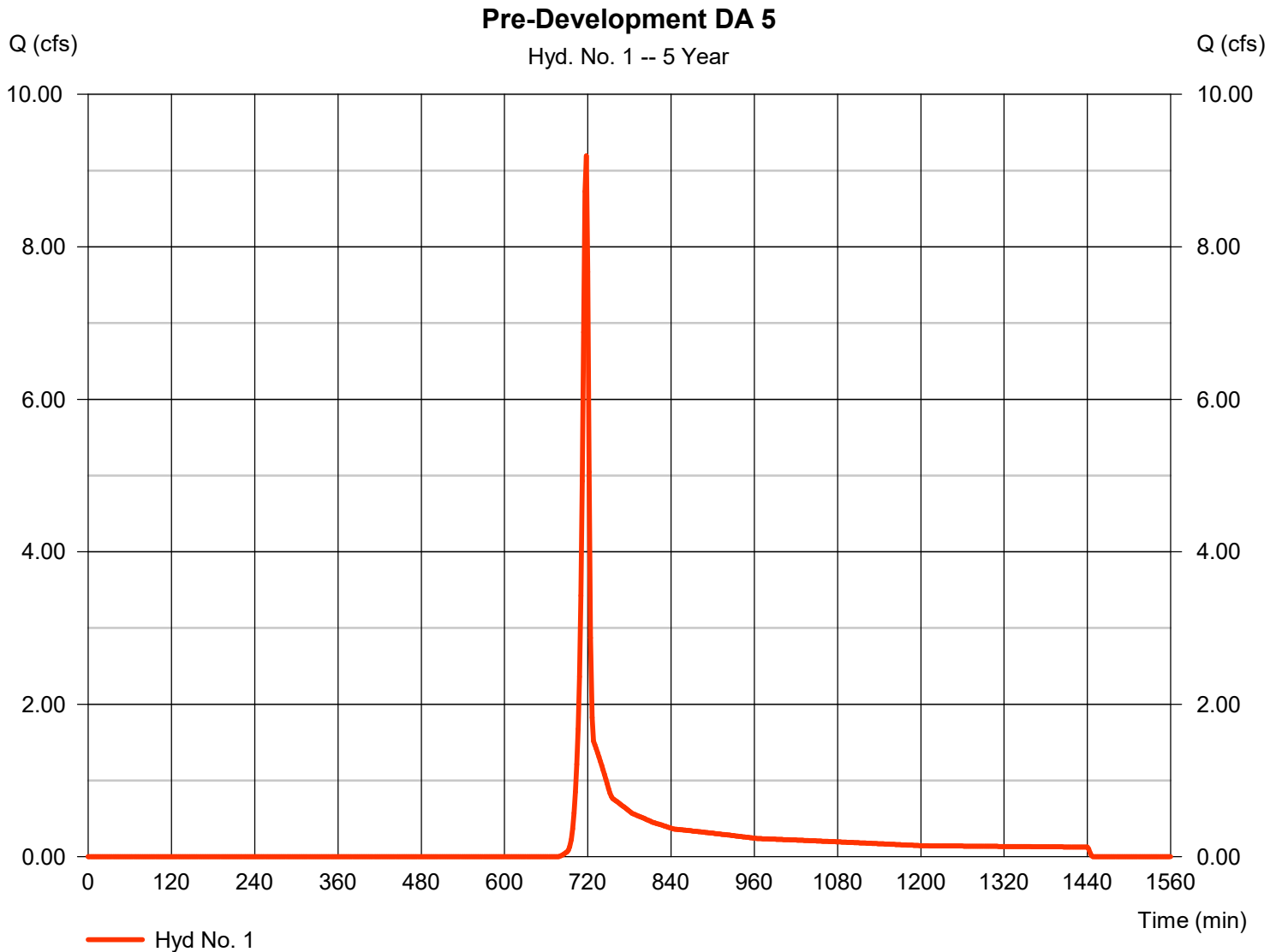
Monday, 02 / 9 / 2026

## Hyd. No. 1

Pre-Development DA 5

Hydrograph type	= SCS Runoff	Peak discharge	= 9.192 cfs
Storm frequency	= 5 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 18,635 cuft
Drainage area	= 6.980 ac	Curve number	= 73*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 2.88 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.270 x 98) + (0.070 x 71) + (5.290 x 71) + (0.700 x 70) + (0.650 x 87)] / 6.980



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

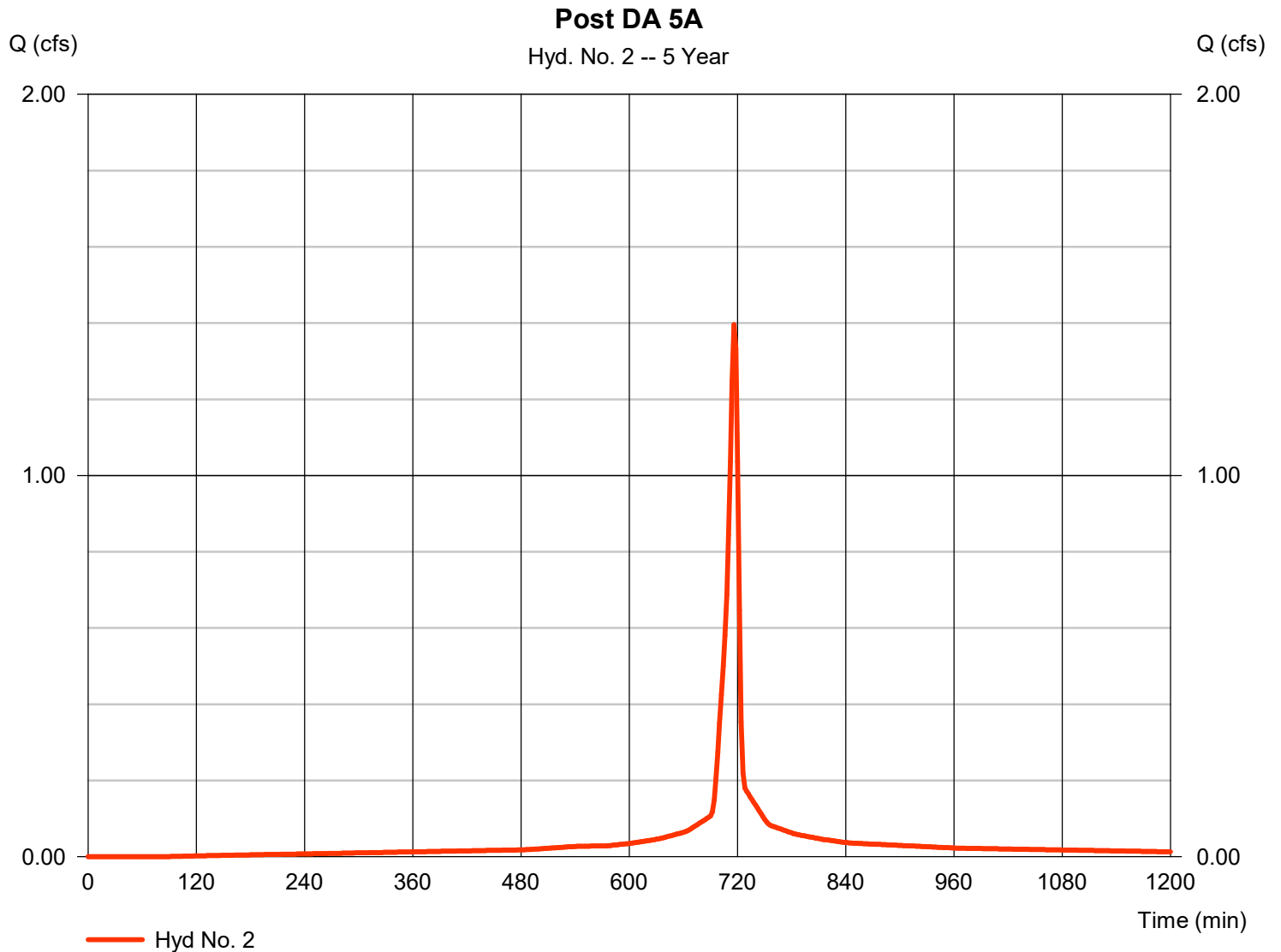
Monday, 02 / 9 / 2026

## Hyd. No. 2

Post DA 5A

Hydrograph type	= SCS Runoff	Peak discharge	= 1.396 cfs
Storm frequency	= 5 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 3,245 cuft
Drainage area	= 0.360 ac	Curve number	= 98*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 2.88 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.360 x 98)] / 0.360



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

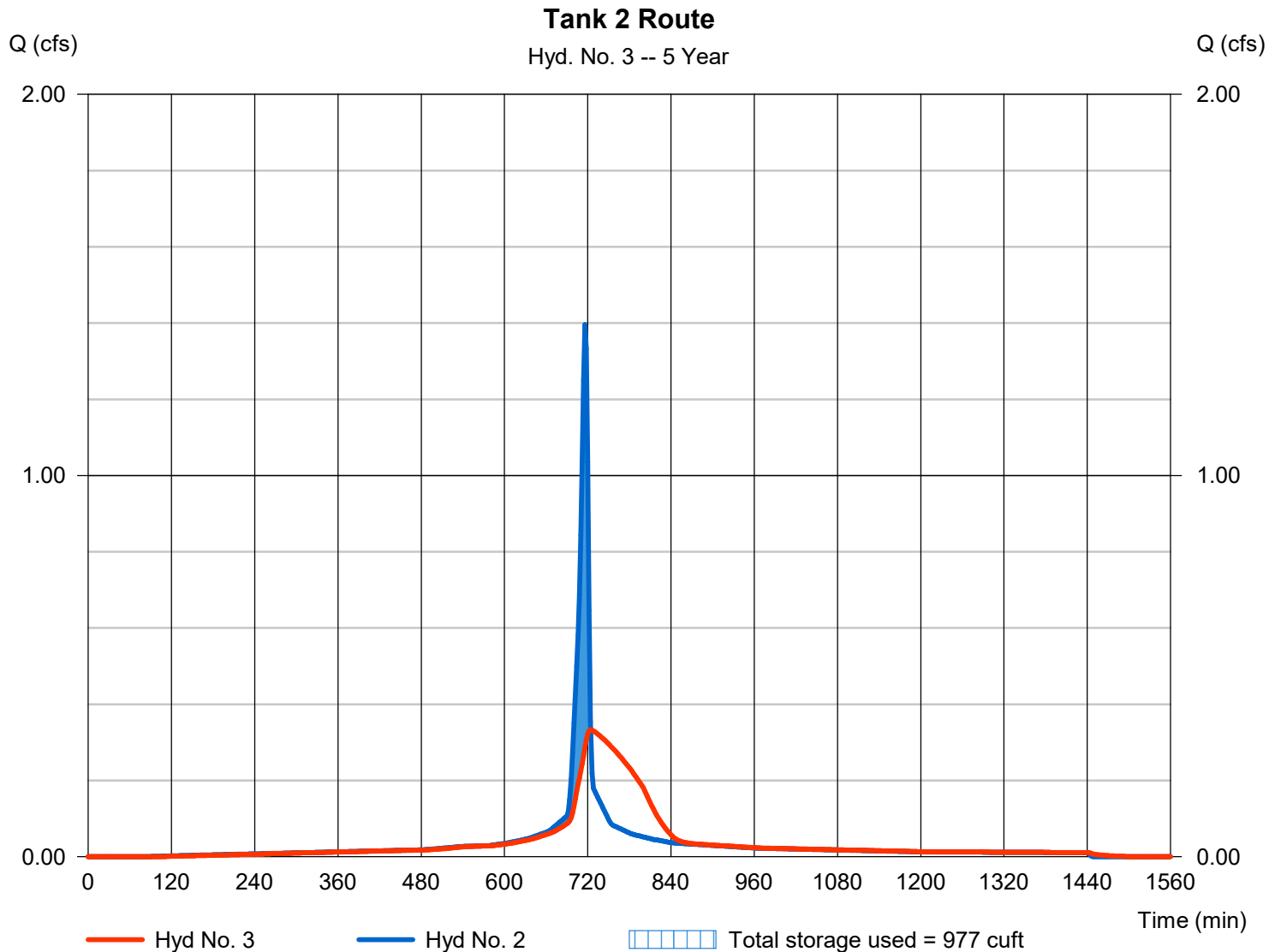
Monday, 02 / 9 / 2026

## Hyd. No. 3

Tank 2 Route

Hydrograph type	= Reservoir	Peak discharge	= 0.333 cfs
Storm frequency	= 5 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 3,244 cuft
Inflow hyd. No.	= 2 - Post DA 5A	Max. Elevation	= 857.52 ft
Reservoir name	= SCM 5.1 Det Tank	Max. Storage	= 977 cuft

Storage Indication method used.



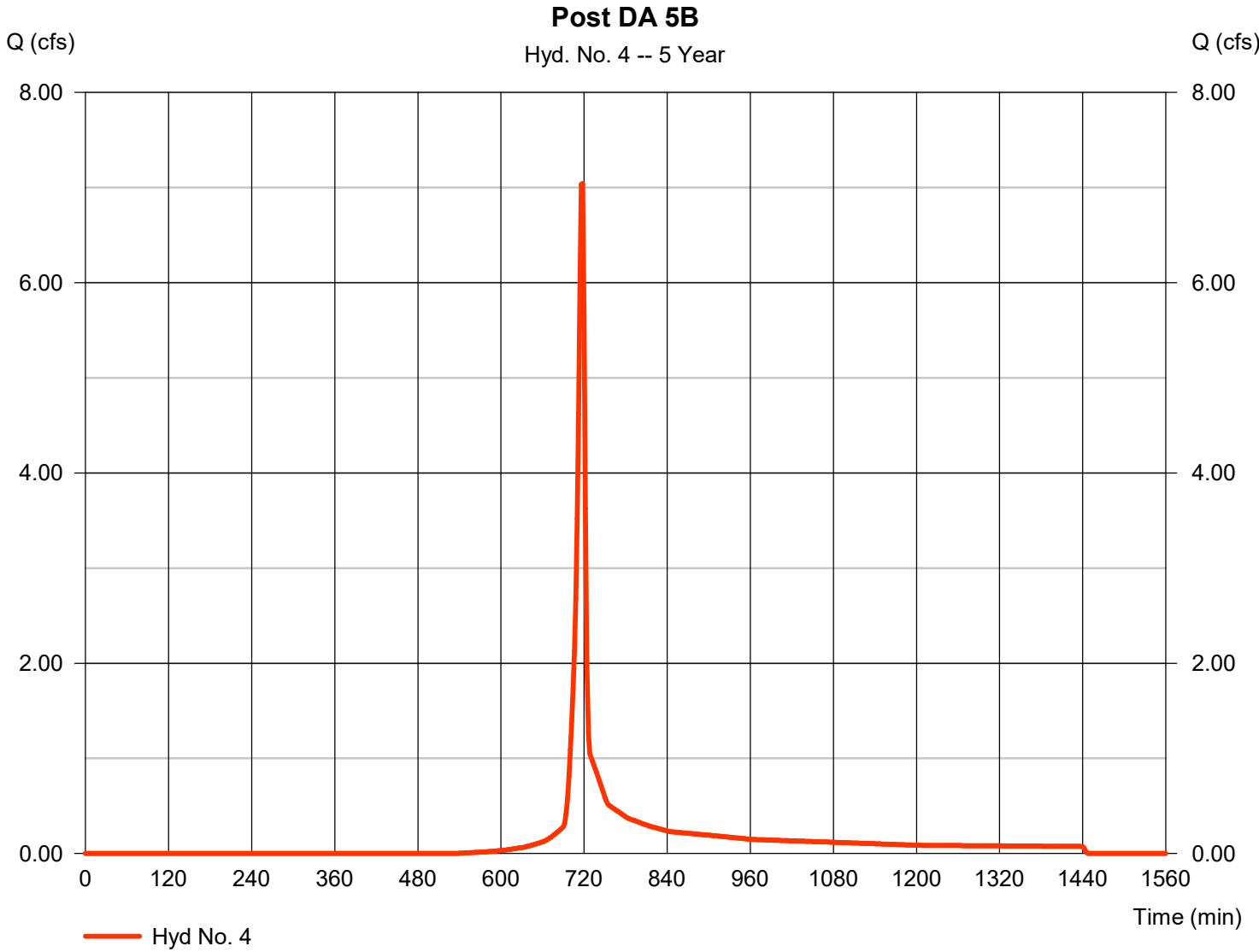
# Hydrograph Report

## Hyd. No. 4

Post DA 5B

Hydrograph type	= SCS Runoff	Peak discharge	= 7.041 cfs
Storm frequency	= 5 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 14,202 cuft
Drainage area	= 3.090 ac	Curve number	= 83*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 2.88 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(1.210 x 98) + (1.880 x 74)] / 3.090



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

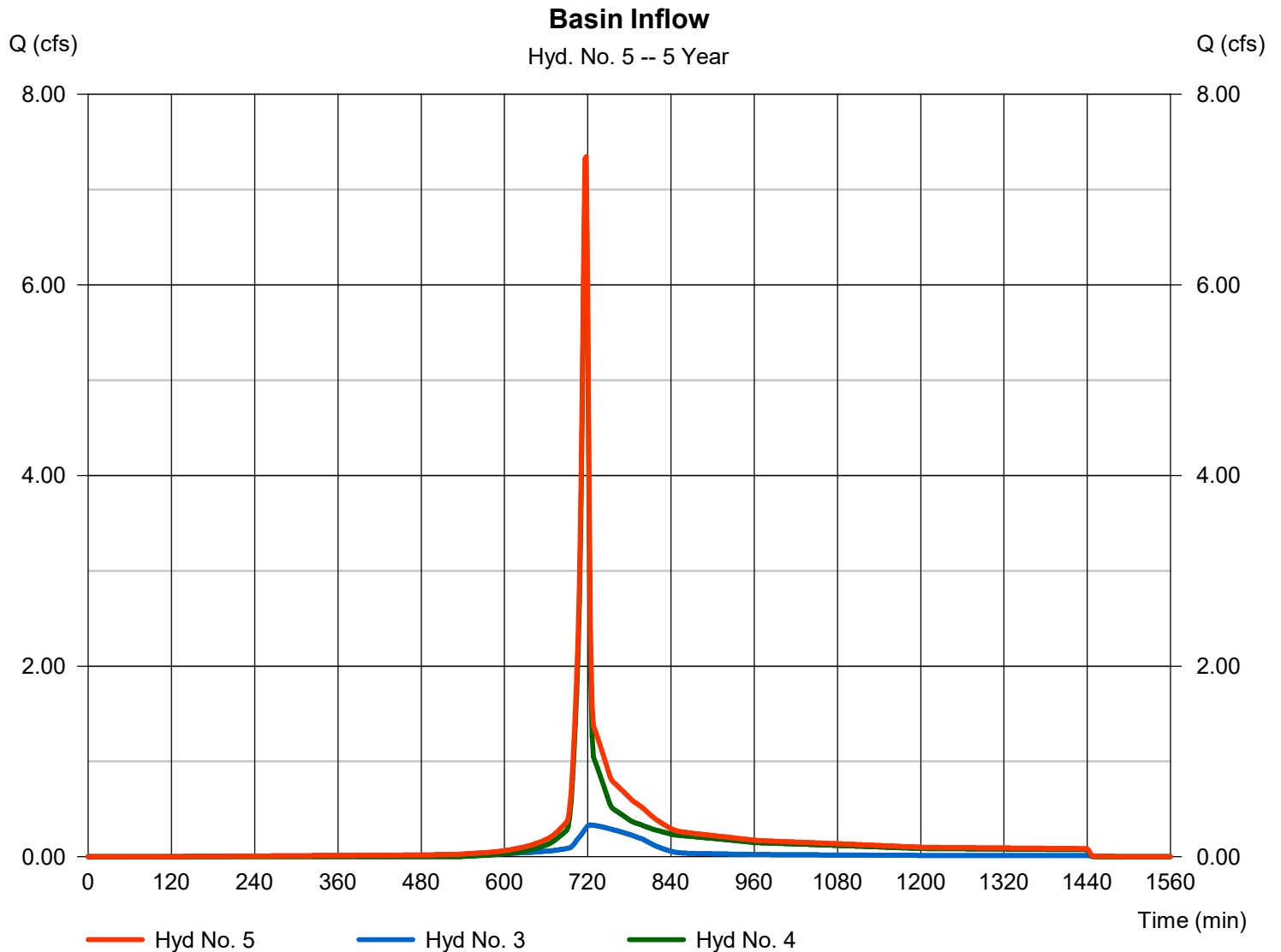
Monday, 02 / 9 / 2026

## Hyd. No. 5

### Basin Inflow

Hydrograph type = Combine  
Storm frequency = 5 yrs  
Time interval = 2 min  
Inflow hyds. = 3, 4

Peak discharge = 7.347 cfs  
Time to peak = 718 min  
Hyd. volume = 17,446 cuft  
Contrib. drain. area = 3.090 ac



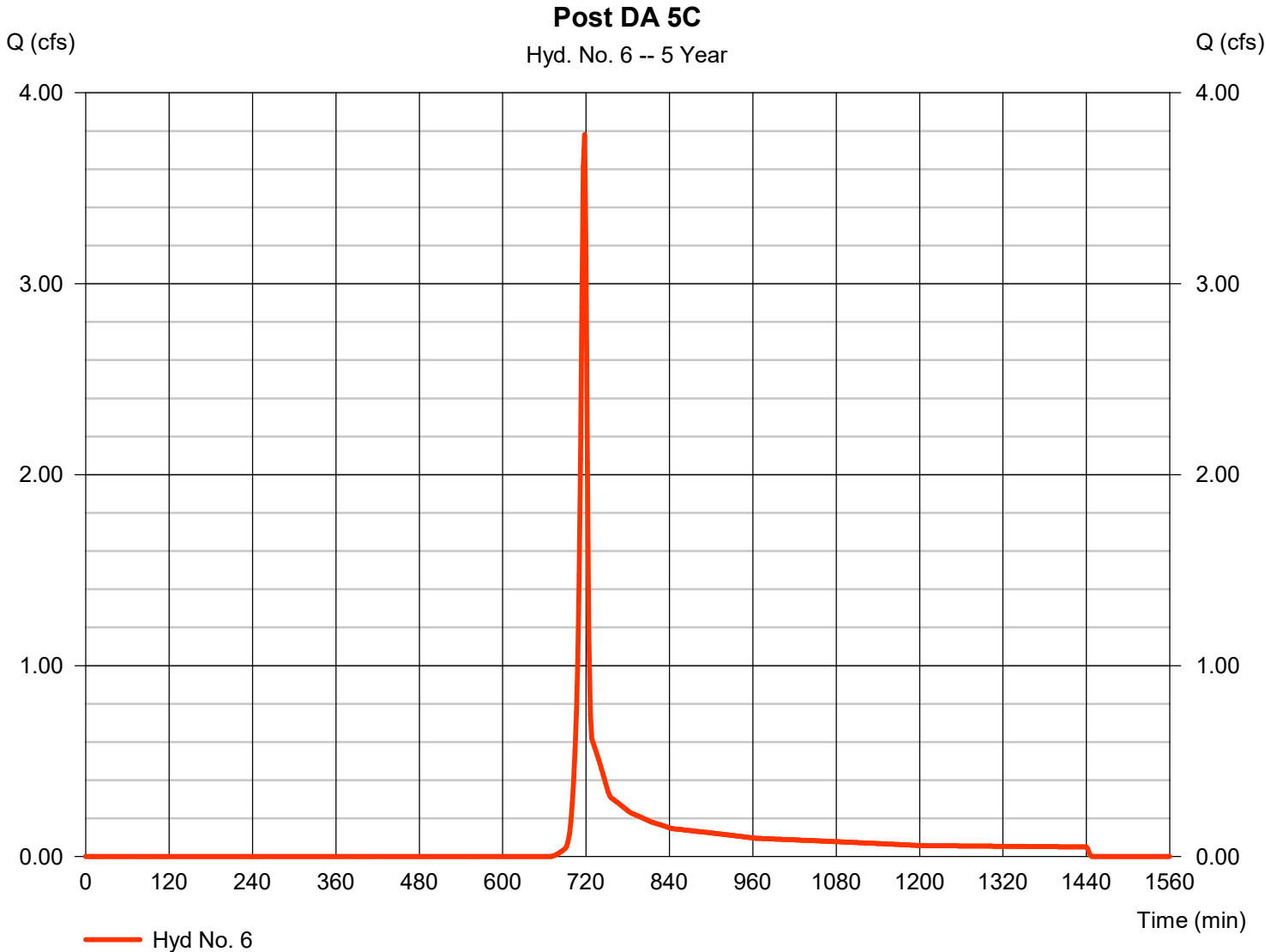
# Hydrograph Report

## Hyd. No. 6

Post DA 5C

Hydrograph type	= SCS Runoff	Peak discharge	= 3.781 cfs
Storm frequency	= 5 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 7,626 cuft
Drainage area	= 2.690 ac	Curve number	= 74*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 2.88 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.130 x 98) + (2.040 x 74) + (0.520 x 70)] / 2.690



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

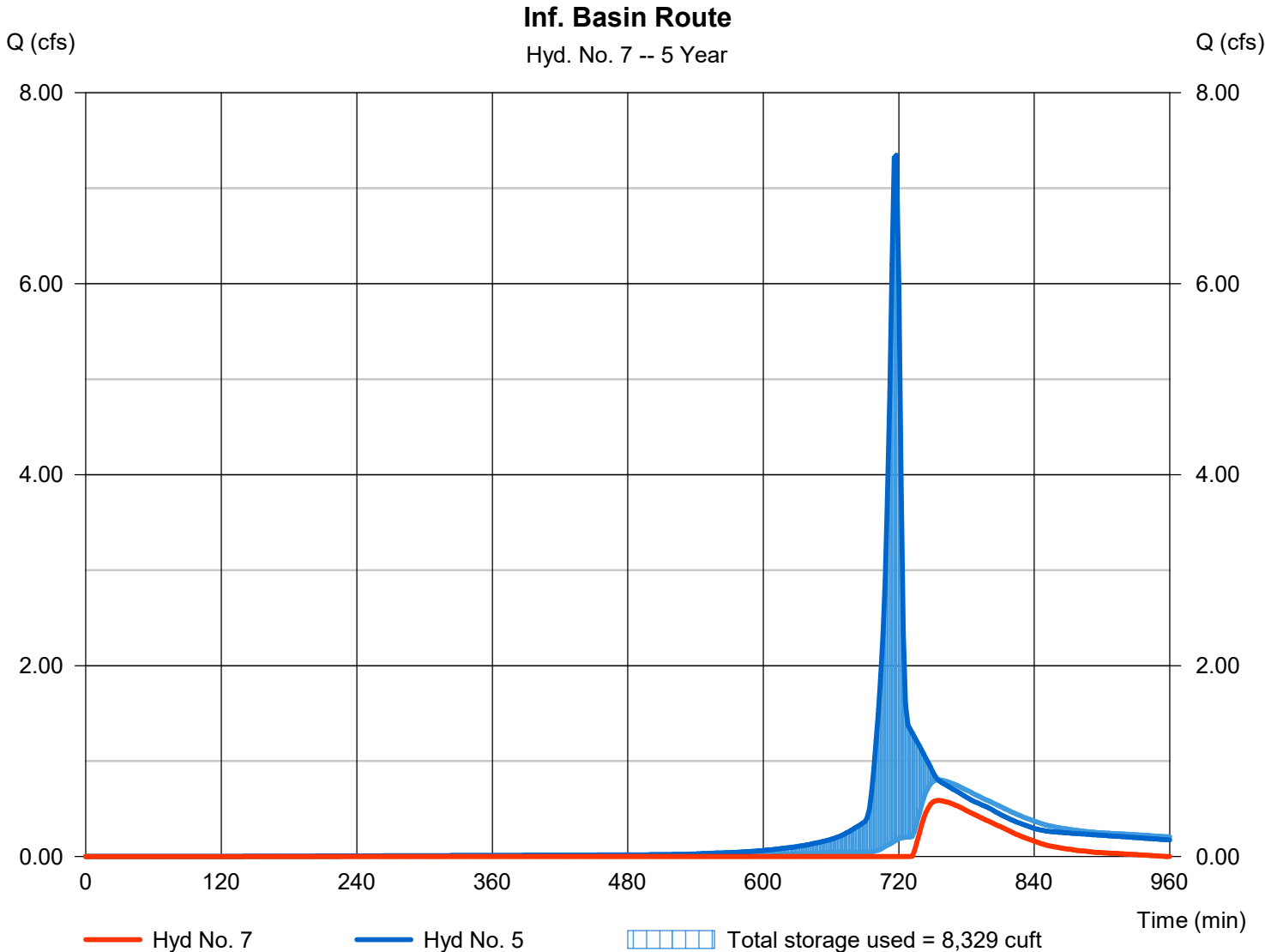
Monday, 02 / 9 / 2026

## Hyd. No. 7

Inf. Basin Route

Hydrograph type	= Reservoir	Peak discharge	= 0.587 cfs
Storm frequency	= 5 yrs	Time to peak	= 754 min
Time interval	= 2 min	Hyd. volume	= 2,855 cuft
Inflow hyd. No.	= 5 - Basin Inflow	Max. Elevation	= 852.14 ft
Reservoir name	= SCM 5.2 Inf Basin	Max. Storage	= 8,329 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

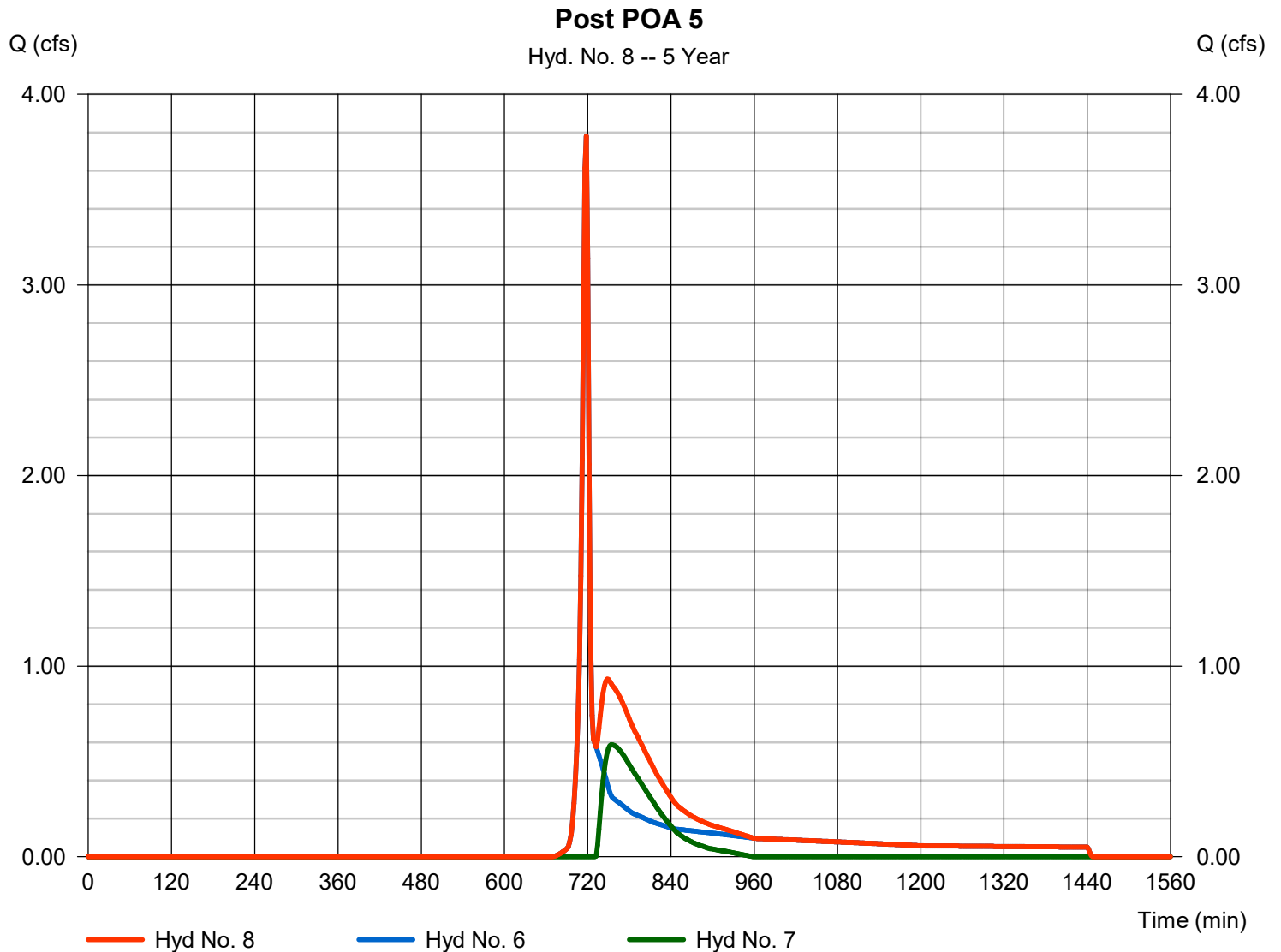
Monday, 02 / 9 / 2026

## Hyd. No. 8

Post POA 5

Hydrograph type = Combine  
Storm frequency = 5 yrs  
Time interval = 2 min  
Inflow hyds. = 6, 7

Peak discharge = 3.781 cfs  
Time to peak = 718 min  
Hyd. volume = 10,481 cuft  
Contrib. drain. area = 2.690 ac



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	12.40	2	718	24,878	-----	-----	-----	Pre-Development DA 5	
2	SCS Runoff	1.604	2	716	3,758	-----	-----	-----	Post DA 5A	
3	Reservoir	0.357	2	724	3,756	2	857.95	1,156	Tank 2 Route	
4	SCS Runoff	8.802	2	716	17,789	-----	-----	-----	Post DA 5B	
5	Combine	9.107	2	716	21,545	3, 4	-----	-----	Basin Inflow	
6	SCS Runoff	5.047	2	718	10,106	-----	-----	-----	Post DA 5C	
7	Reservoir	1.719	2	726	6,100	5	852.28	8,929	Inf. Basin Route	
8	Combine	5.047	2	718	16,206	6, 7	-----	-----	Post POA 5	
9	Reservoir	9.014	2	718	21,425	5	852.90	11,842	Spillway Route	
Ph 5 Hydrographs.gpw					Return Period: 10 Year			Monday, 02 / 9 / 2026		

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

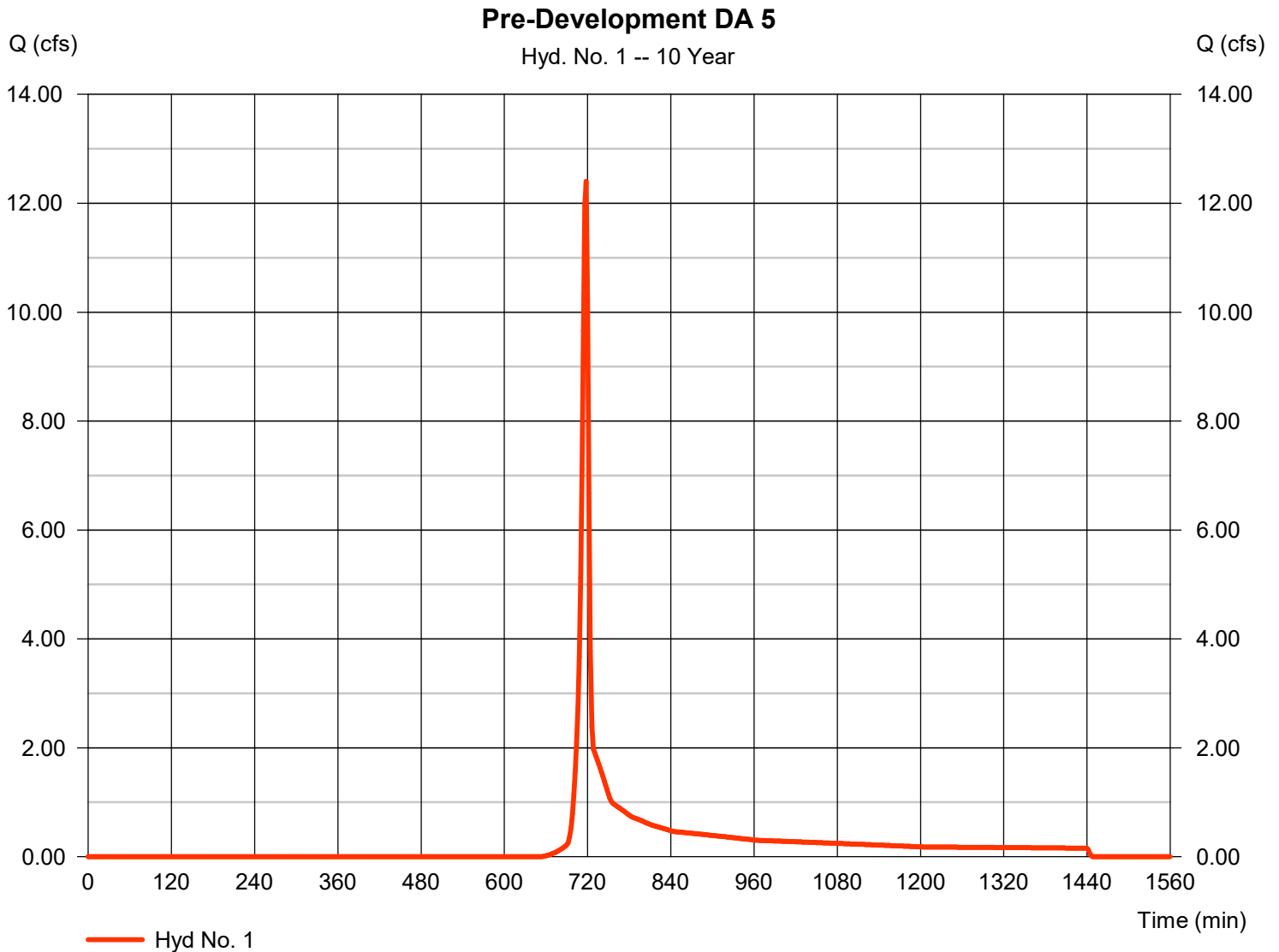
Monday, 02 / 9 / 2026

## Hyd. No. 1

Pre-Development DA 5

Hydrograph type	= SCS Runoff	Peak discharge	= 12.40 cfs
Storm frequency	= 10 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 24,878 cuft
Drainage area	= 6.980 ac	Curve number	= 73*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 3.30 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.270 x 98) + (0.070 x 71) + (5.290 x 71) + (0.700 x 70) + (0.650 x 87)] / 6.980



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

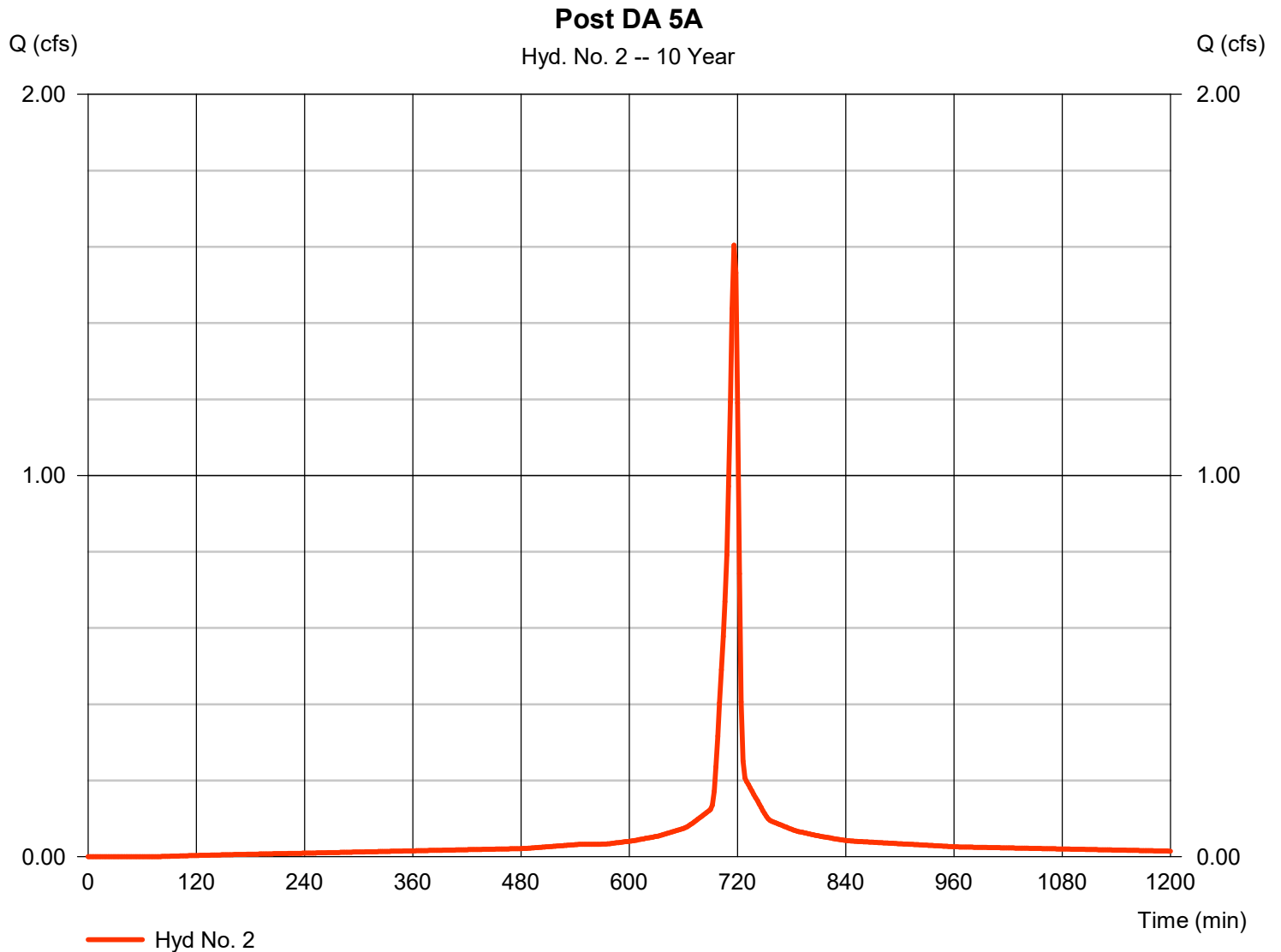
Monday, 02 / 9 / 2026

## Hyd. No. 2

Post DA 5A

Hydrograph type	= SCS Runoff	Peak discharge	= 1.604 cfs
Storm frequency	= 10 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 3,758 cuft
Drainage area	= 0.360 ac	Curve number	= 98*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 3.30 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.360 x 98)] / 0.360



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

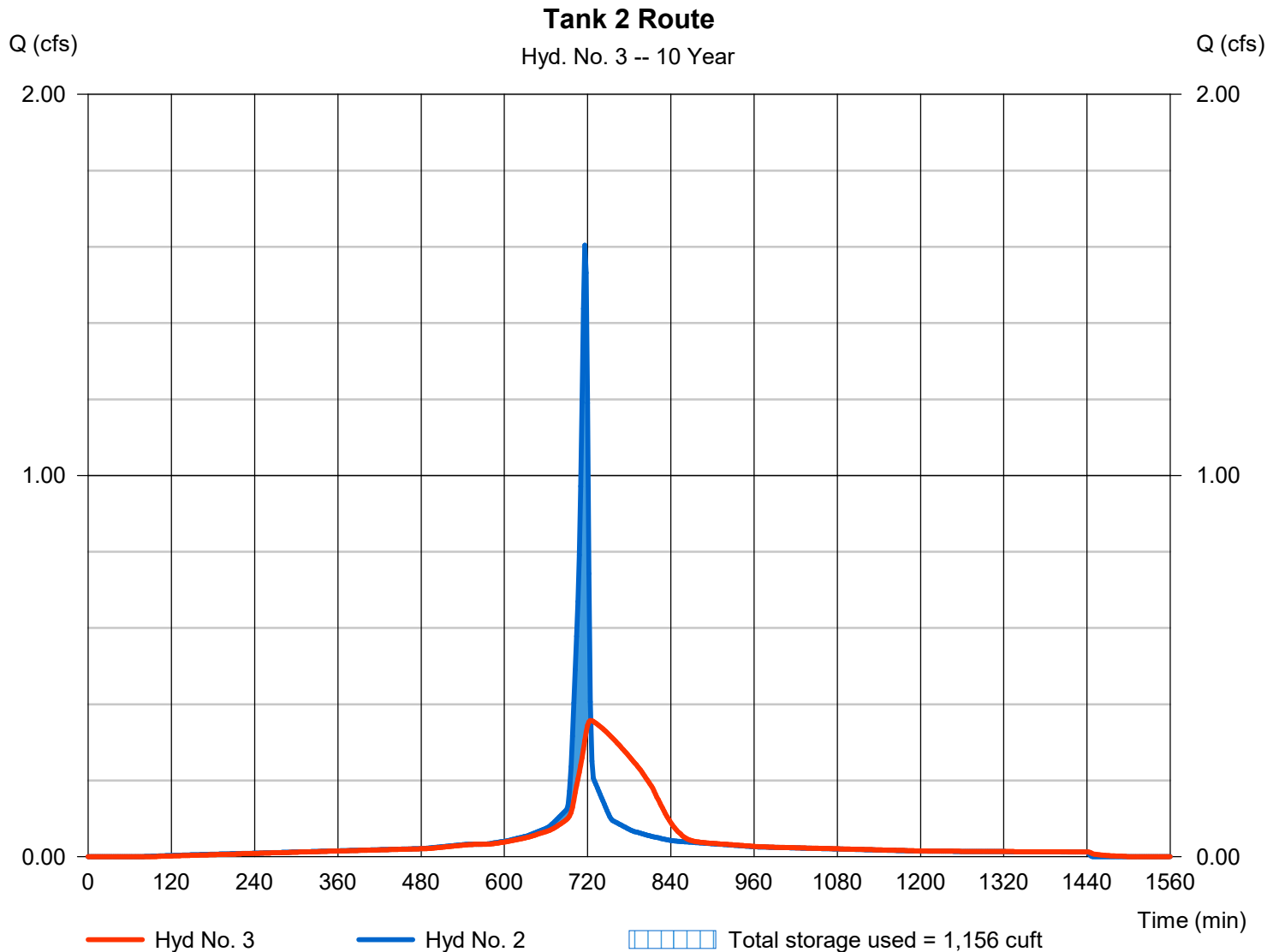
Monday, 02 / 9 / 2026

## Hyd. No. 3

Tank 2 Route

Hydrograph type	= Reservoir	Peak discharge	= 0.357 cfs
Storm frequency	= 10 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 3,756 cuft
Inflow hyd. No.	= 2 - Post DA 5A	Max. Elevation	= 857.95 ft
Reservoir name	= SCM 5.1 Det Tank	Max. Storage	= 1,156 cuft

Storage Indication method used.



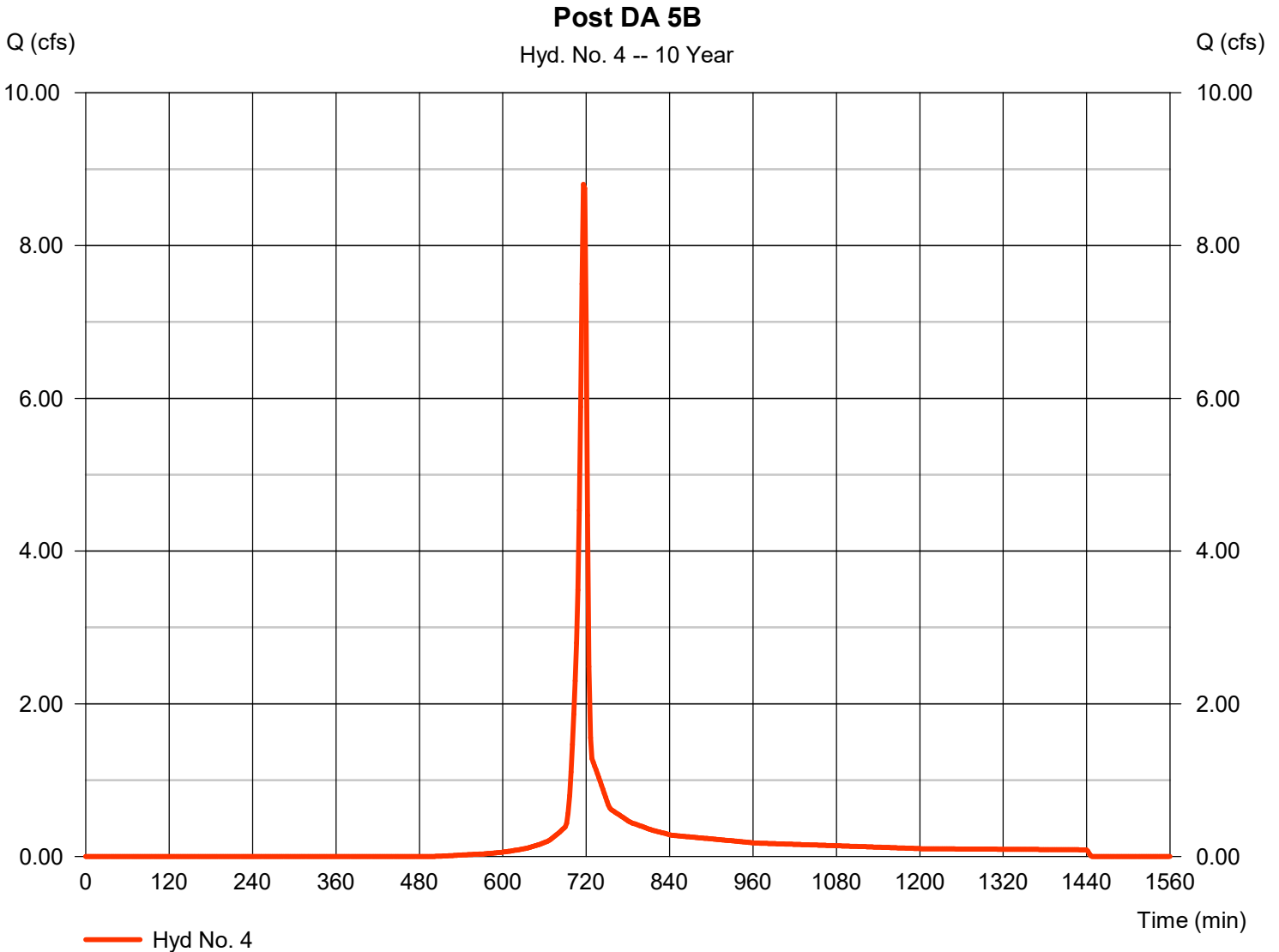
# Hydrograph Report

## Hyd. No. 4

Post DA 5B

Hydrograph type	= SCS Runoff	Peak discharge	= 8.802 cfs
Storm frequency	= 10 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 17,789 cuft
Drainage area	= 3.090 ac	Curve number	= 83*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 3.30 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(1.210 x 98) + (1.880 x 74)] / 3.090

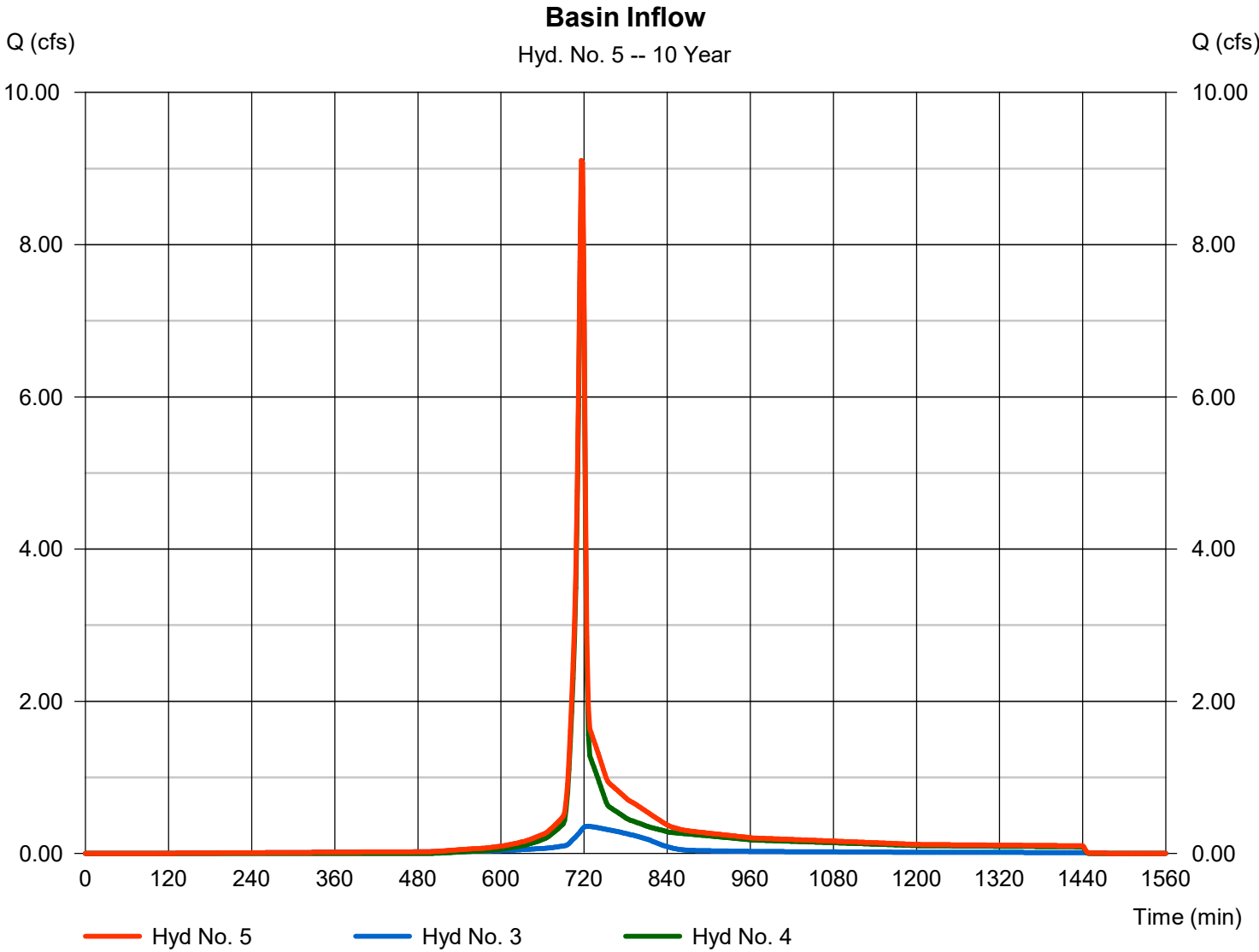


# Hydrograph Report

## Hyd. No. 5

### Basin Inflow

Hydrograph type	= Combine	Peak discharge	= 9.107 cfs
Storm frequency	= 10 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 21,545 cuft
Inflow hyds.	= 3, 4	Contrib. drain. area	= 3.090 ac



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

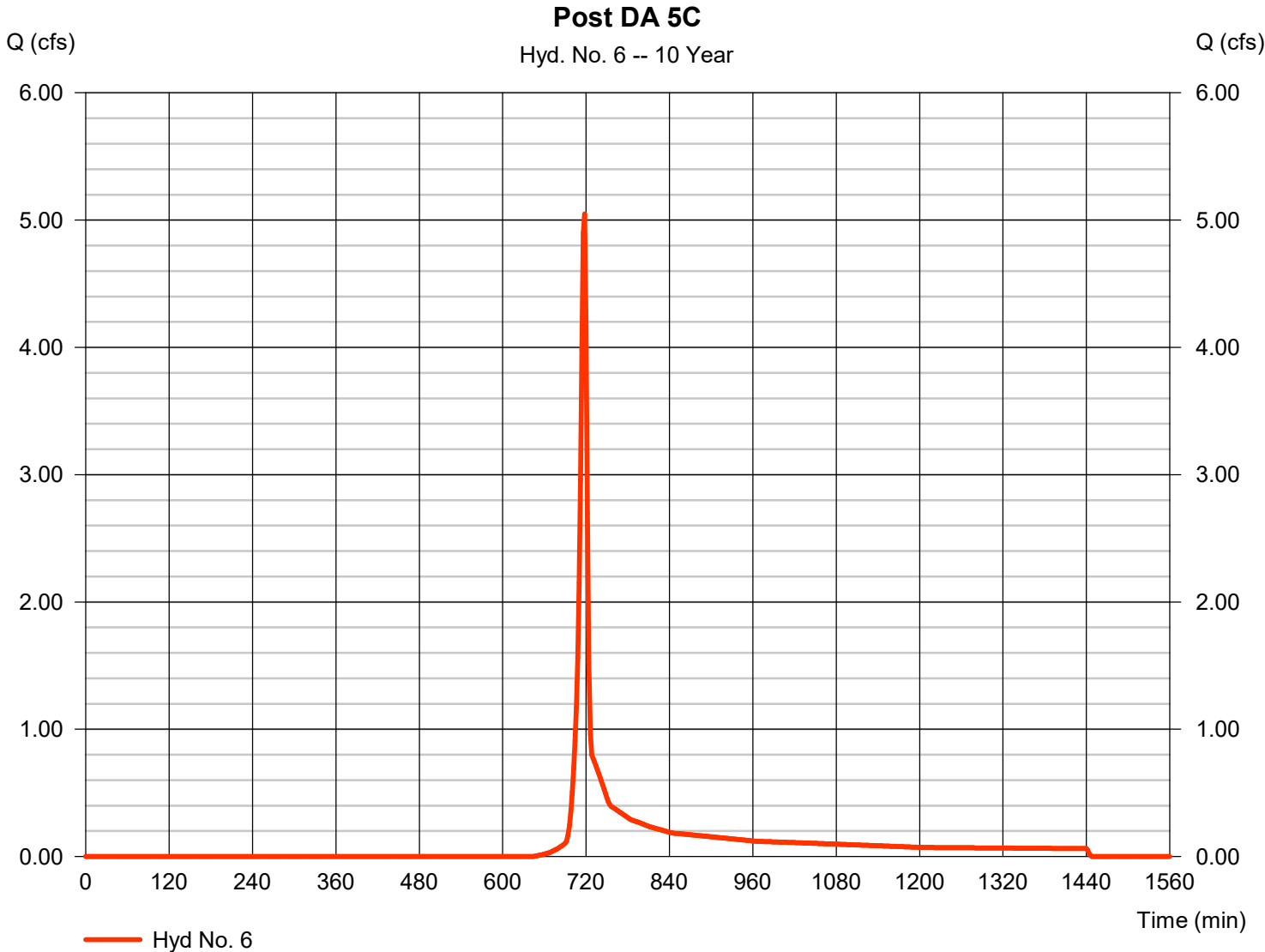
Monday, 02 / 9 / 2026

## Hyd. No. 6

Post DA 5C

Hydrograph type	= SCS Runoff	Peak discharge	= 5.047 cfs
Storm frequency	= 10 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 10,106 cuft
Drainage area	= 2.690 ac	Curve number	= 74*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 3.30 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.130 x 98) + (2.040 x 74) + (0.520 x 70)] / 2.690



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

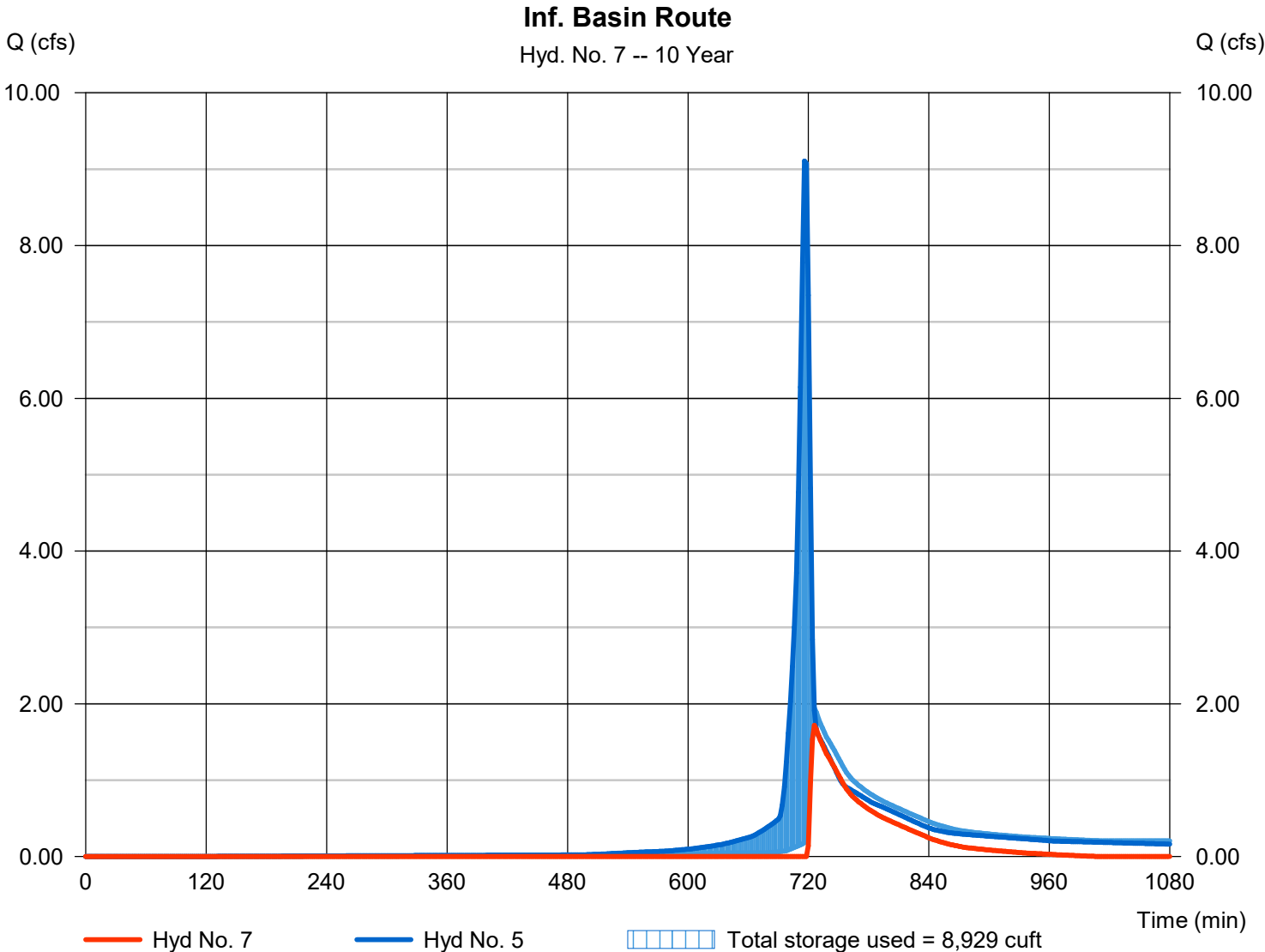
Monday, 02 / 9 / 2026

## Hyd. No. 7

Inf. Basin Route

Hydrograph type	= Reservoir	Peak discharge	= 1.719 cfs
Storm frequency	= 10 yrs	Time to peak	= 726 min
Time interval	= 2 min	Hyd. volume	= 6,100 cuft
Inflow hyd. No.	= 5 - Basin Inflow	Max. Elevation	= 852.28 ft
Reservoir name	= SCM 5.2 Inf Basin	Max. Storage	= 8,929 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

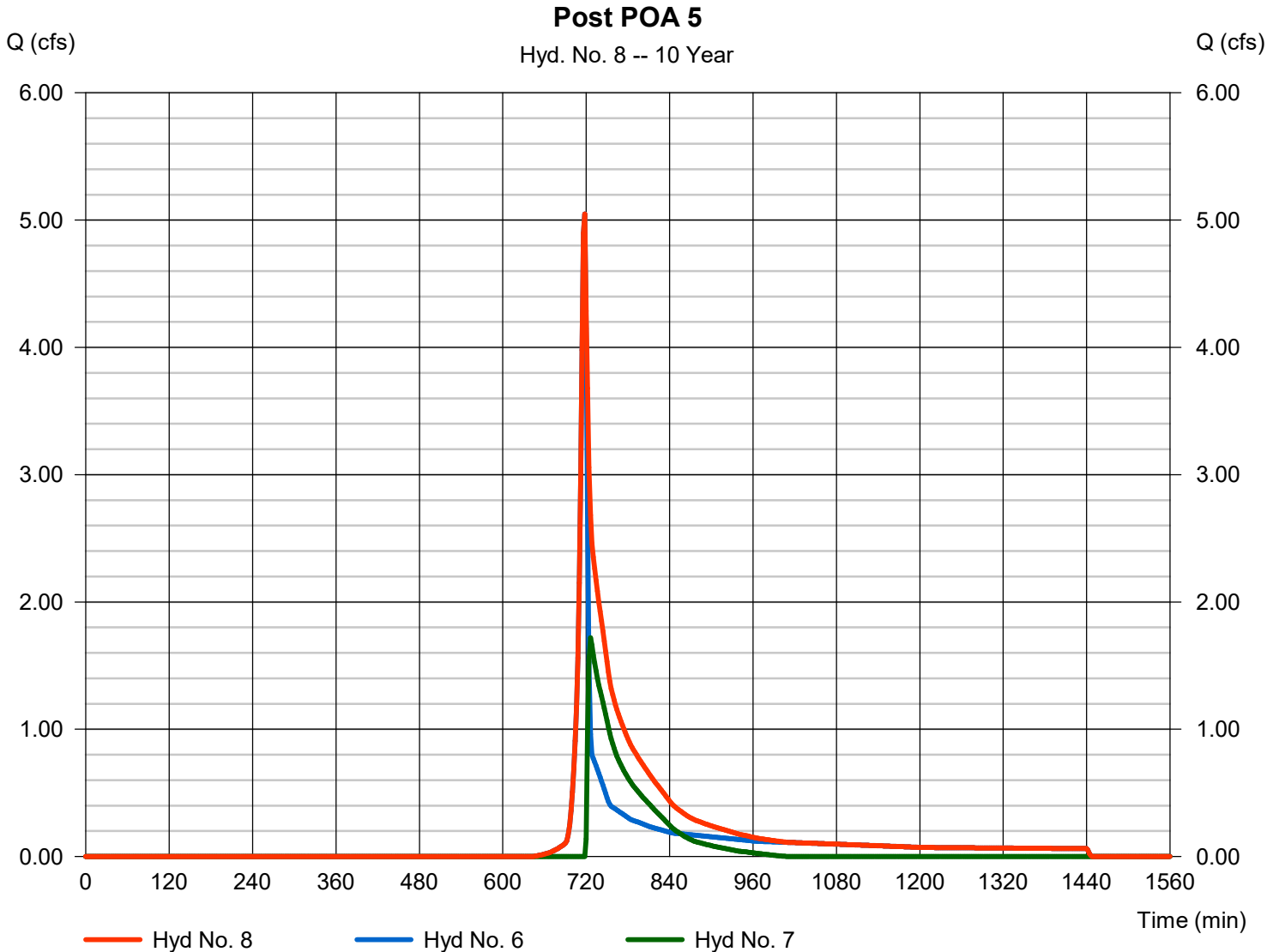
Monday, 02 / 9 / 2026

## Hyd. No. 8

Post POA 5

Hydrograph type = Combine  
Storm frequency = 10 yrs  
Time interval = 2 min  
Inflow hyds. = 6, 7

Peak discharge = 5.047 cfs  
Time to peak = 718 min  
Hyd. volume = 16,206 cuft  
Contrib. drain. area = 2.690 ac



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	17.30	2	718	34,588	-----	-----	-----	Pre-Development DA 5	
2	SCS Runoff	1.902	2	716	4,491	-----	-----	-----	Post DA 5A	
3	Reservoir	0.394	2	724	4,489	2	858.64	1,416	Tank 2 Route	
4	SCS Runoff	11.39	2	716	23,130	-----	-----	-----	Post DA 5B	
5	Combine	11.72	2	716	27,619	3, 4	-----	-----	Basin Inflow	
6	SCS Runoff	6.970	2	718	13,945	-----	-----	-----	Post DA 5C	
7	Reservoir	7.259	2	722	11,158	5	852.50	9,924	Inf. Basin Route	
8	Combine	12.62	2	720	25,103	6, 7	-----	-----	Post POA 5	
9	Reservoir	11.62	2	718	27,499	5	852.93	12,018	Spillway Route	
Ph 5 Hydrographs.gpw					Return Period: 25 Year			Monday, 02 / 9 / 2026		

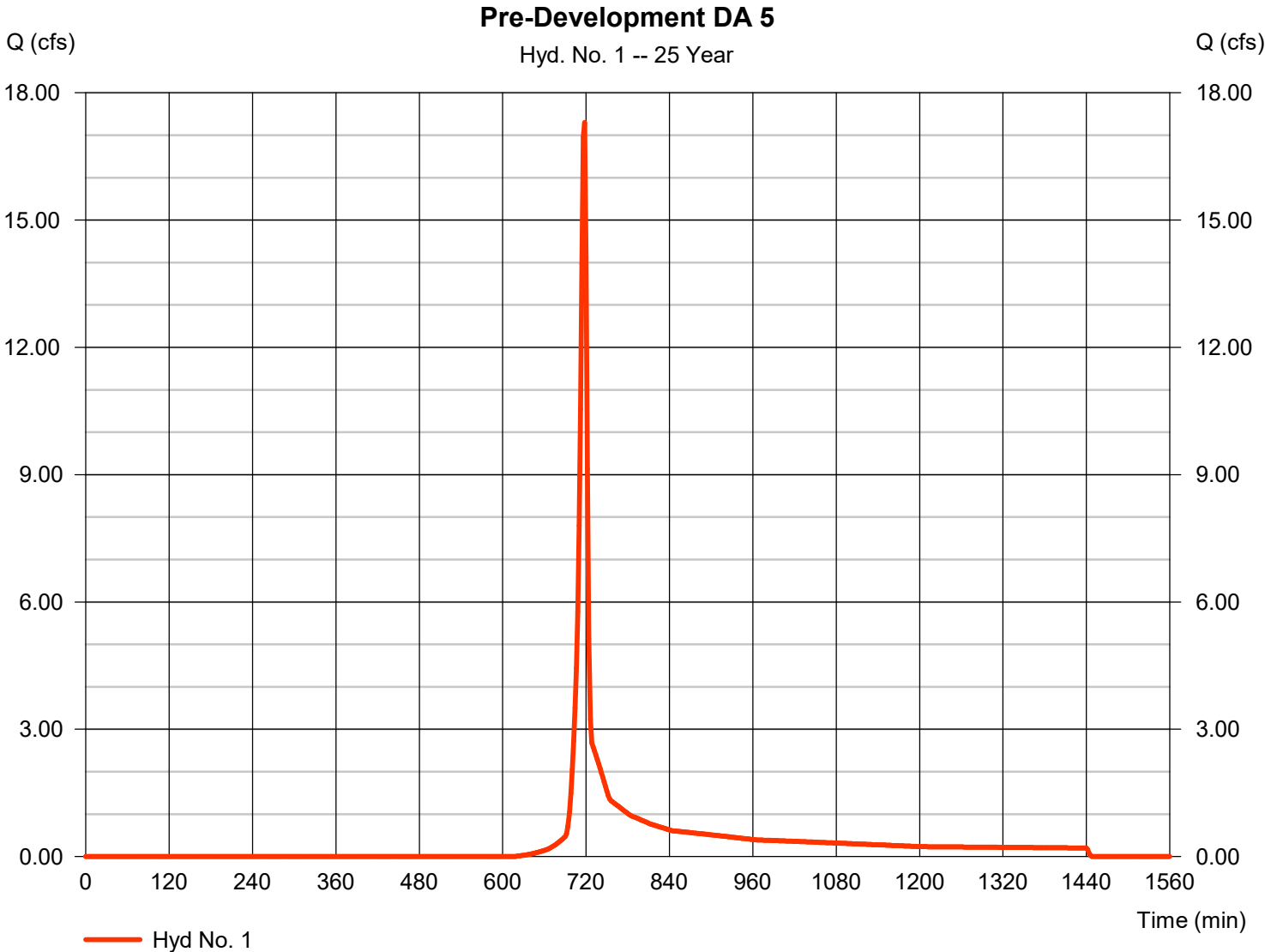
# Hydrograph Report

## Hyd. No. 1

Pre-Development DA 5

Hydrograph type	= SCS Runoff	Peak discharge	= 17.30 cfs
Storm frequency	= 25 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 34,588 cuft
Drainage area	= 6.980 ac	Curve number	= 73*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 3.90 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.270 x 98) + (0.070 x 71) + (5.290 x 71) + (0.700 x 70) + (0.650 x 87)] / 6.980



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

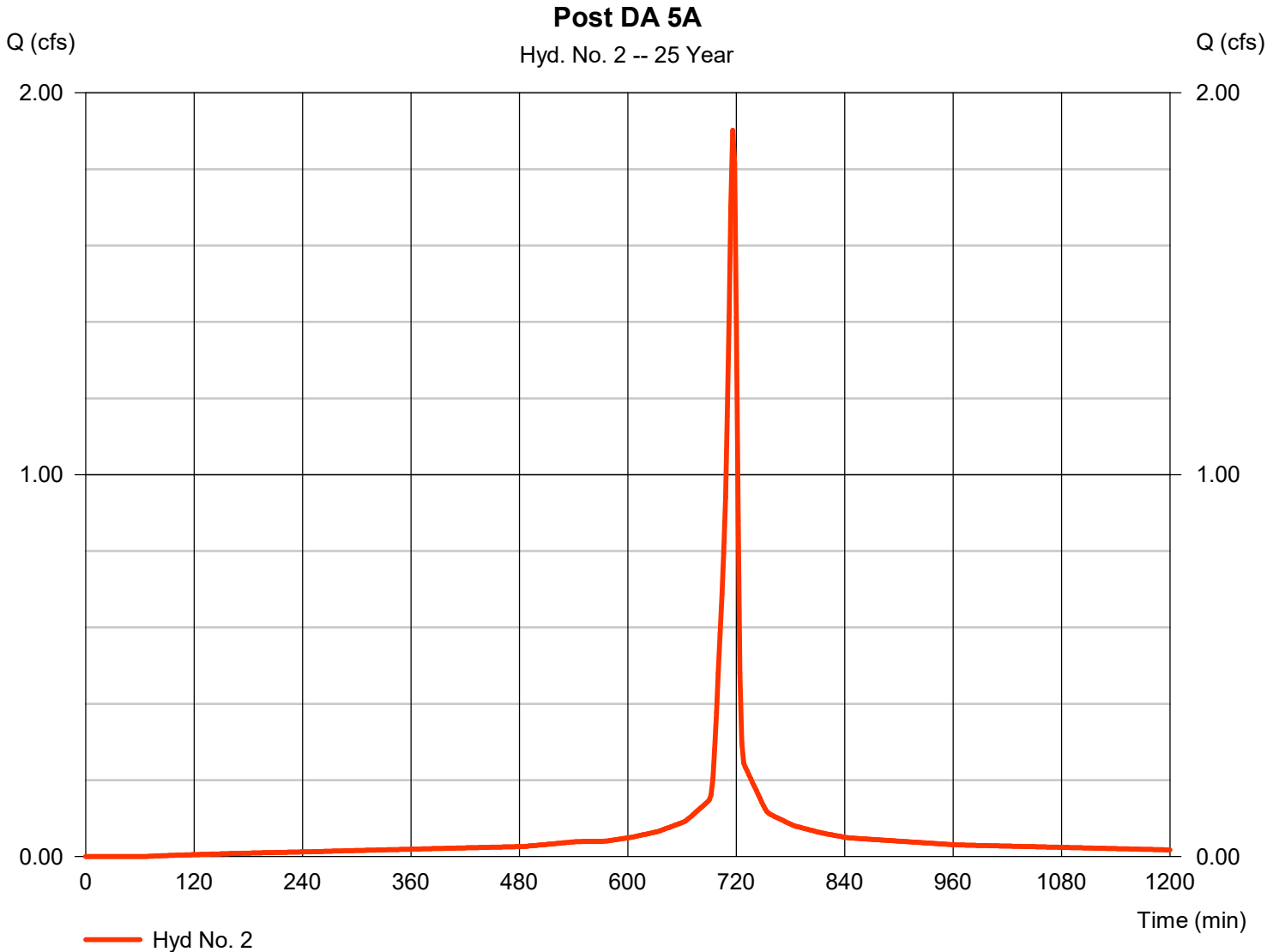
Monday, 02 / 9 / 2026

## Hyd. No. 2

Post DA 5A

Hydrograph type	= SCS Runoff	Peak discharge	= 1.902 cfs
Storm frequency	= 25 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 4,491 cuft
Drainage area	= 0.360 ac	Curve number	= 98*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 3.90 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.360 x 98)] / 0.360



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

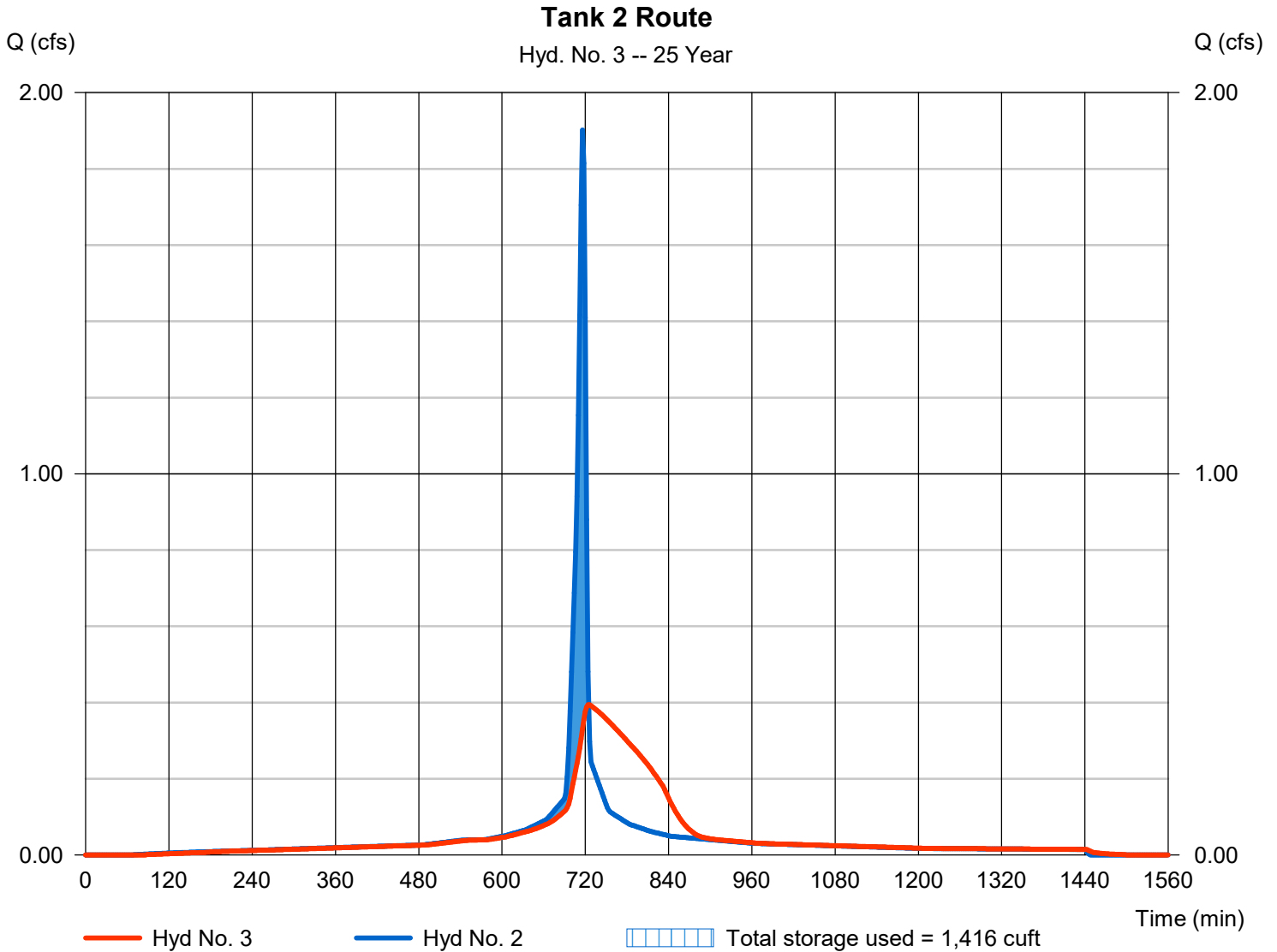
Monday, 02 / 9 / 2026

## Hyd. No. 3

Tank 2 Route

Hydrograph type	= Reservoir	Peak discharge	= 0.394 cfs
Storm frequency	= 25 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 4,489 cuft
Inflow hyd. No.	= 2 - Post DA 5A	Max. Elevation	= 858.64 ft
Reservoir name	= SCM 5.1 Det Tank	Max. Storage	= 1,416 cuft

Storage Indication method used.



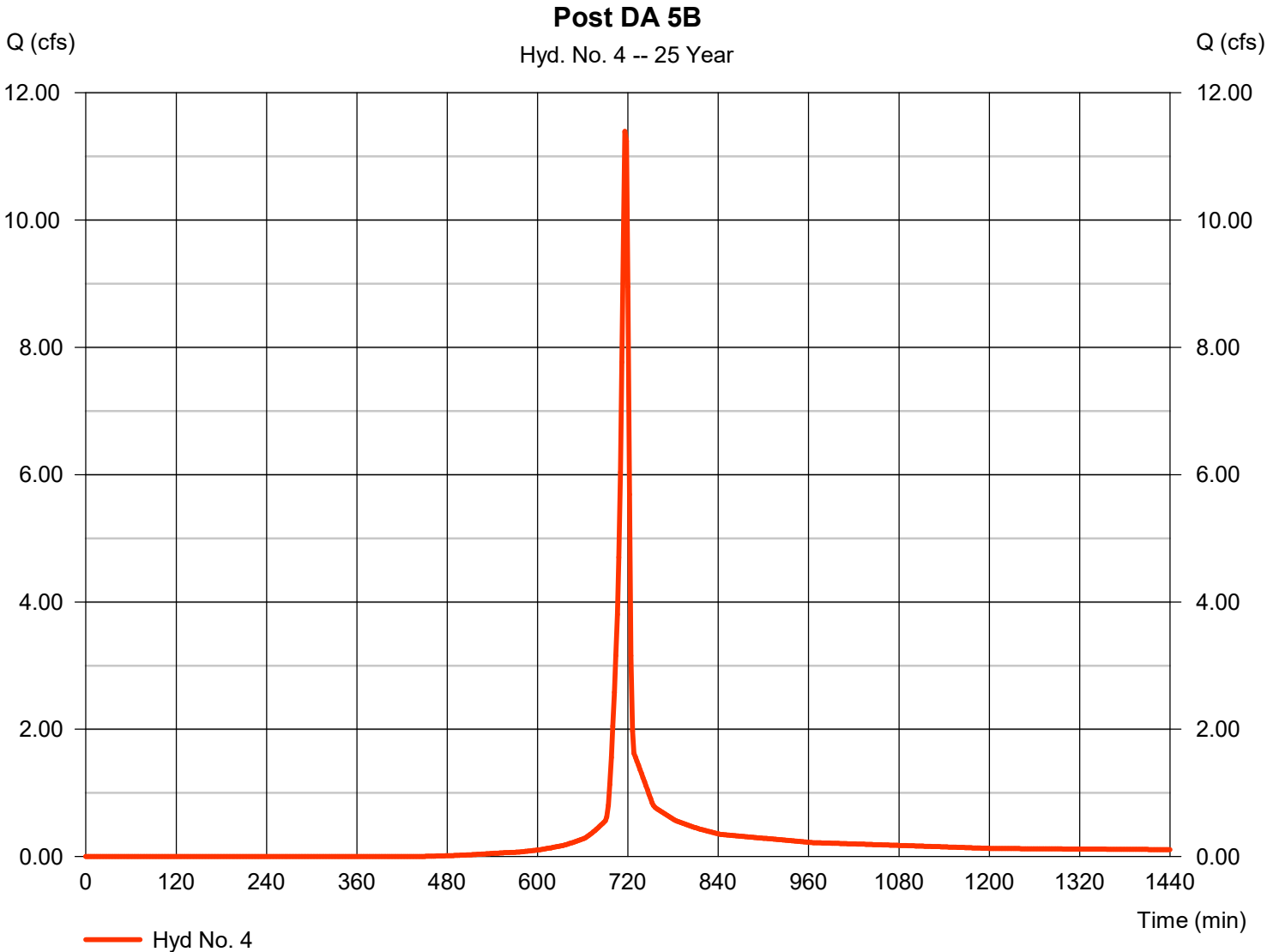
# Hydrograph Report

## Hyd. No. 4

Post DA 5B

Hydrograph type	= SCS Runoff	Peak discharge	= 11.39 cfs
Storm frequency	= 25 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 23,130 cuft
Drainage area	= 3.090 ac	Curve number	= 83*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 3.90 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(1.210 x 98) + (1.880 x 74)] / 3.090



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

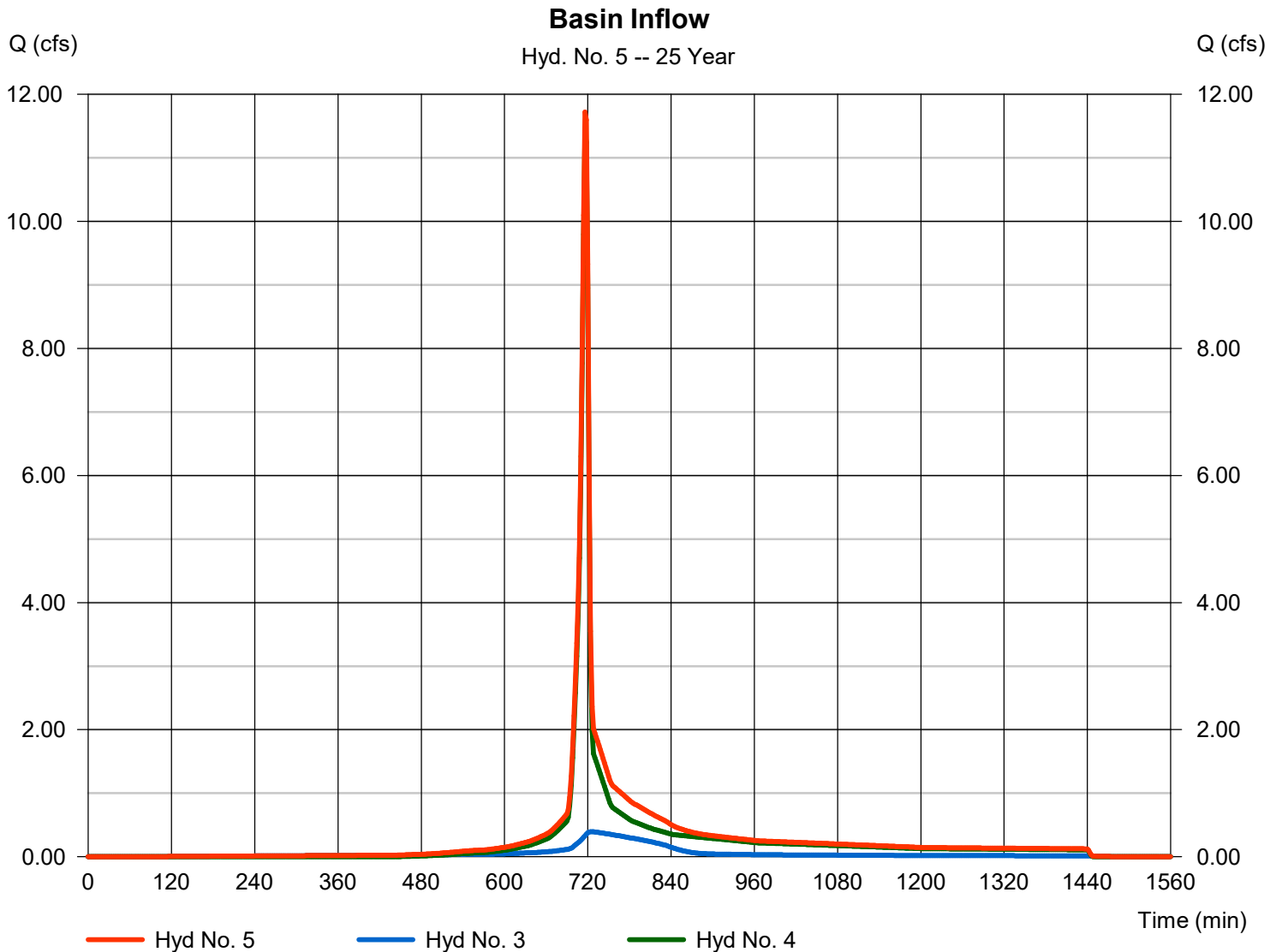
Monday, 02 / 9 / 2026

## Hyd. No. 5

### Basin Inflow

Hydrograph type = Combine  
Storm frequency = 25 yrs  
Time interval = 2 min  
Inflow hyds. = 3, 4

Peak discharge = 11.72 cfs  
Time to peak = 716 min  
Hyd. volume = 27,619 cuft  
Contrib. drain. area = 3.090 ac



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

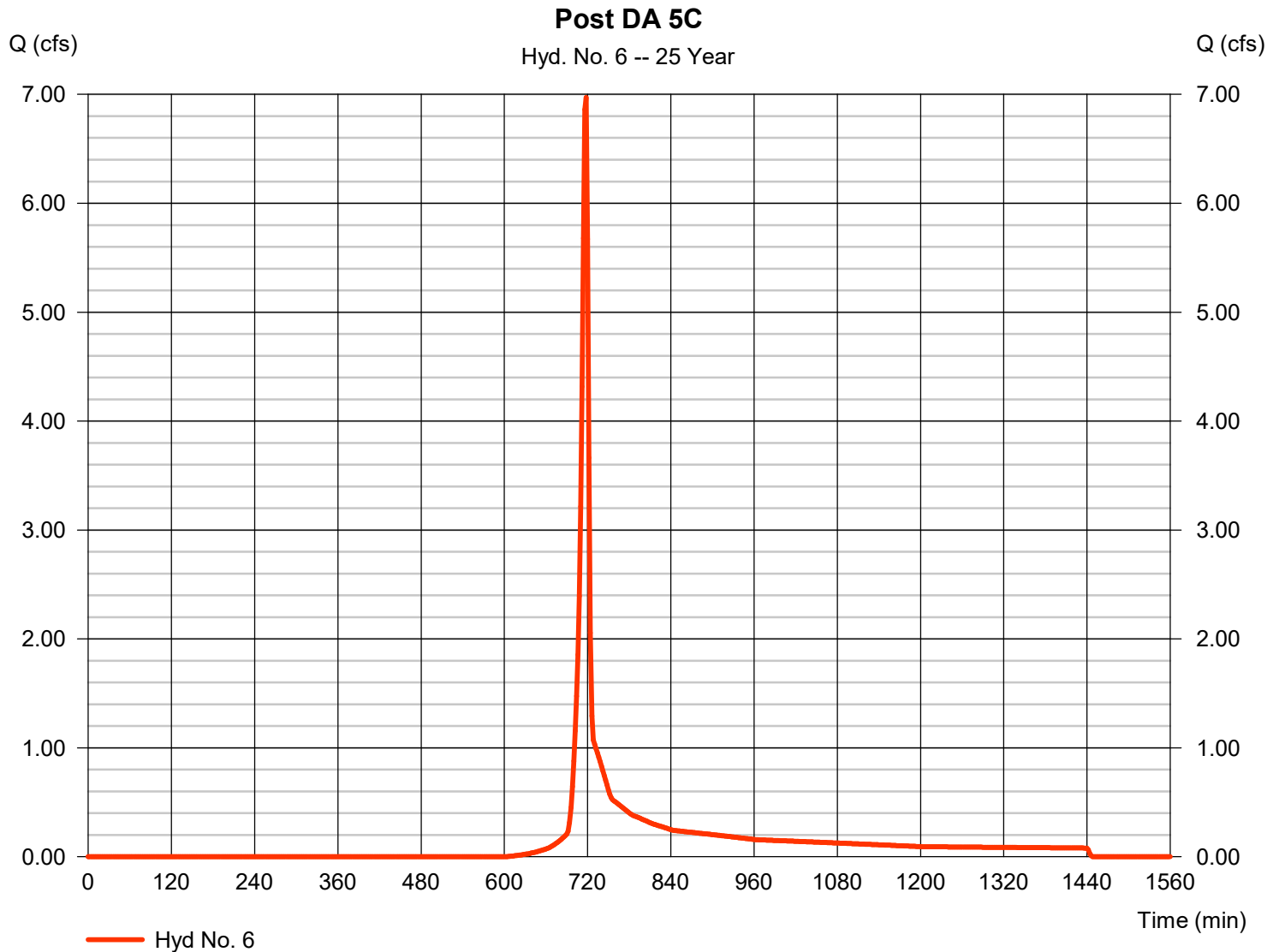
Monday, 02 / 9 / 2026

## Hyd. No. 6

Post DA 5C

Hydrograph type	= SCS Runoff	Peak discharge	= 6.970 cfs
Storm frequency	= 25 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 13,945 cuft
Drainage area	= 2.690 ac	Curve number	= 74*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 3.90 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.130 x 98) + (2.040 x 74) + (0.520 x 70)] / 2.690



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

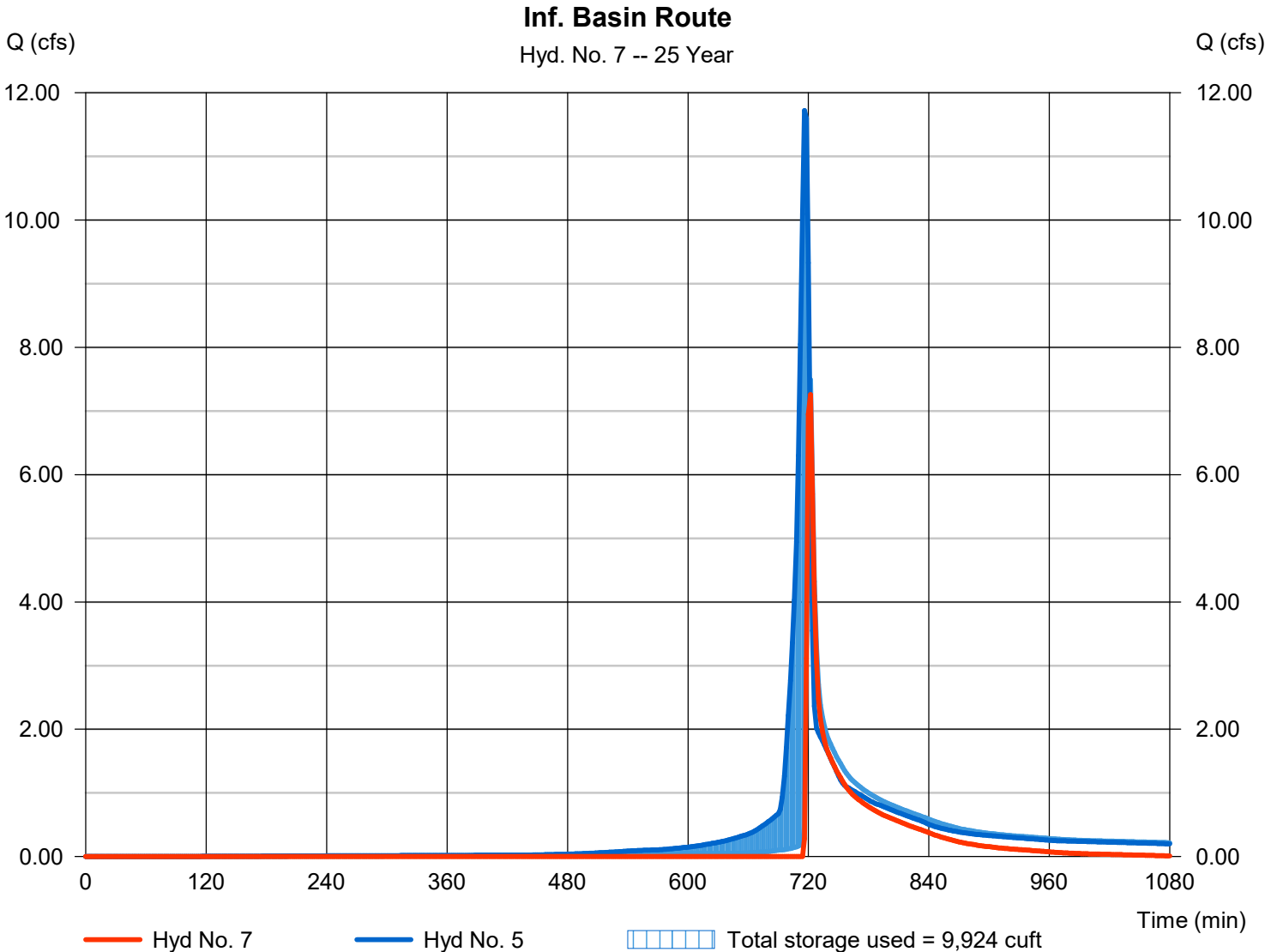
Monday, 02 / 9 / 2026

## Hyd. No. 7

Inf. Basin Route

Hydrograph type	= Reservoir	Peak discharge	= 7.259 cfs
Storm frequency	= 25 yrs	Time to peak	= 722 min
Time interval	= 2 min	Hyd. volume	= 11,158 cuft
Inflow hyd. No.	= 5 - Basin Inflow	Max. Elevation	= 852.50 ft
Reservoir name	= SCM 5.2 Inf Basin	Max. Storage	= 9,924 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

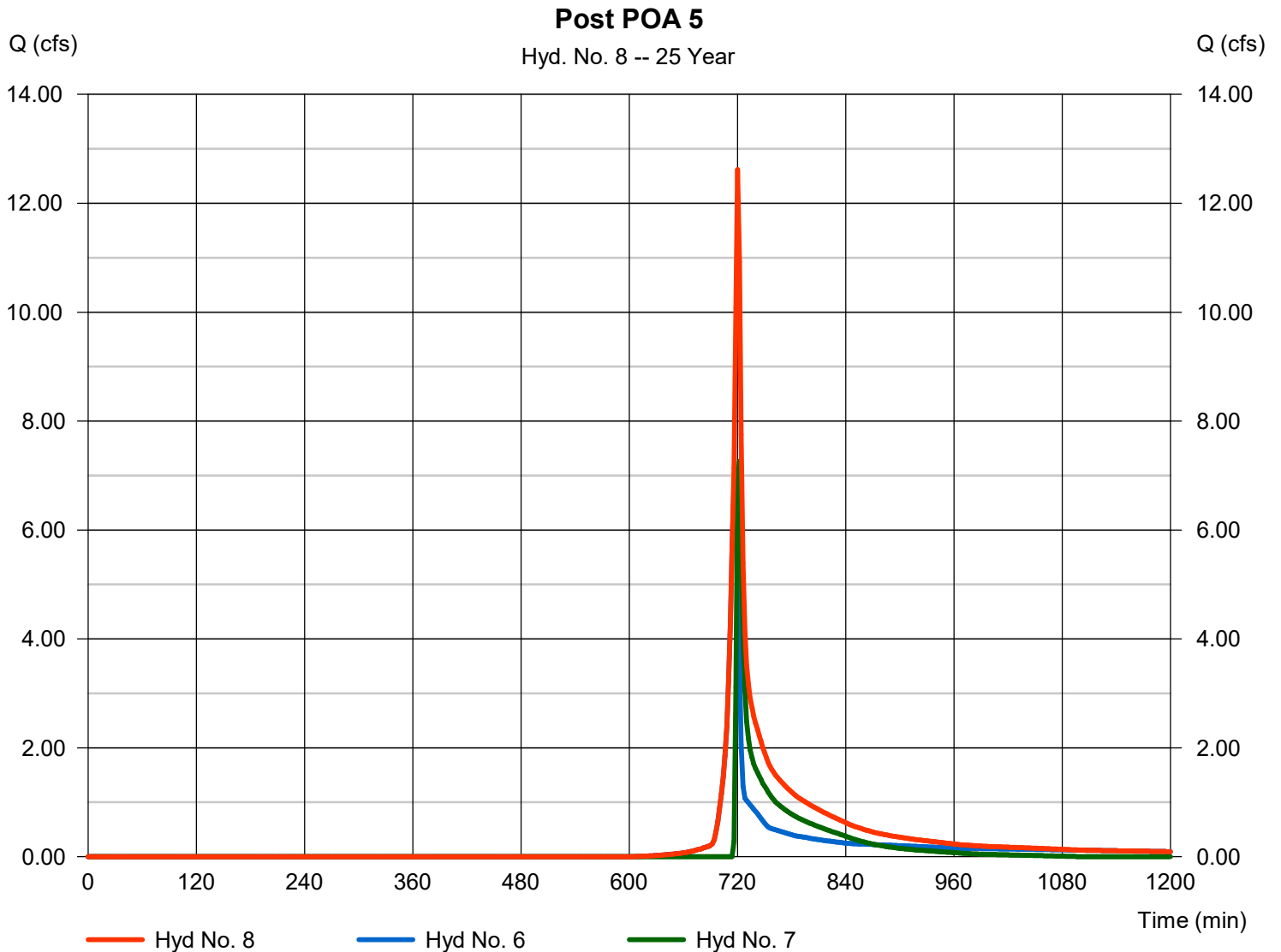
Monday, 02 / 9 / 2026

## Hyd. No. 8

Post POA 5

Hydrograph type = Combine  
Storm frequency = 25 yrs  
Time interval = 2 min  
Inflow hyds. = 6, 7

Peak discharge = 12.62 cfs  
Time to peak = 720 min  
Hyd. volume = 25,103 cuft  
Contrib. drain. area = 2.690 ac



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	21.58	2	718	43,246	-----	-----	-----	Pre-Development DA 5
2	SCS Runoff	2.150	2	716	5,102	-----	-----	-----	Post DA 5A
3	Reservoir	0.815	2	724	5,100	2	859.35	1,595	Tank 2 Route
4	SCS Runoff	13.59	2	716	27,729	-----	-----	-----	Post DA 5B
5	Combine	13.94	2	716	32,829	3, 4	-----	-----	Basin Inflow
6	SCS Runoff	8.647	2	718	17,355	-----	-----	-----	Post DA 5C
7	Reservoir	11.47	2	720	15,668	5	852.61	10,483	Inf. Basin Route
8	Combine	18.90	2	718	33,023	6, 7	-----	-----	Post POA 5
9	Reservoir	13.82	2	718	32,709	5	852.96	12,157	Spillway Route
Ph 5 Hydrographs.gpw					Return Period: 50 Year			Monday, 02 / 9 / 2026	

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

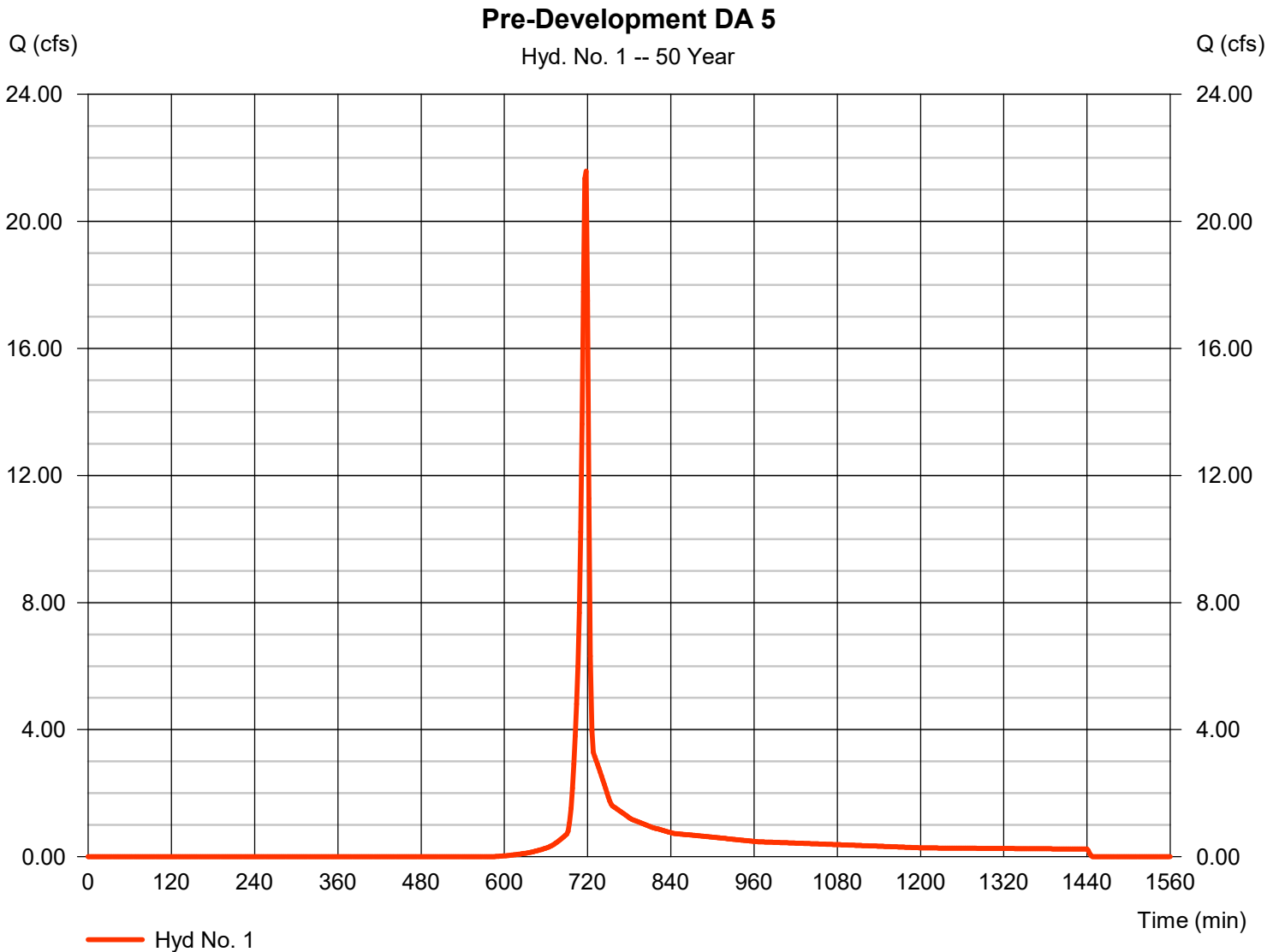
Monday, 02 / 9 / 2026

## Hyd. No. 1

Pre-Development DA 5

Hydrograph type	= SCS Runoff	Peak discharge	= 21.58 cfs
Storm frequency	= 50 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 43,246 cuft
Drainage area	= 6.980 ac	Curve number	= 73*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 4.40 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.270 x 98) + (0.070 x 71) + (5.290 x 71) + (0.700 x 70) + (0.650 x 87)] / 6.980



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

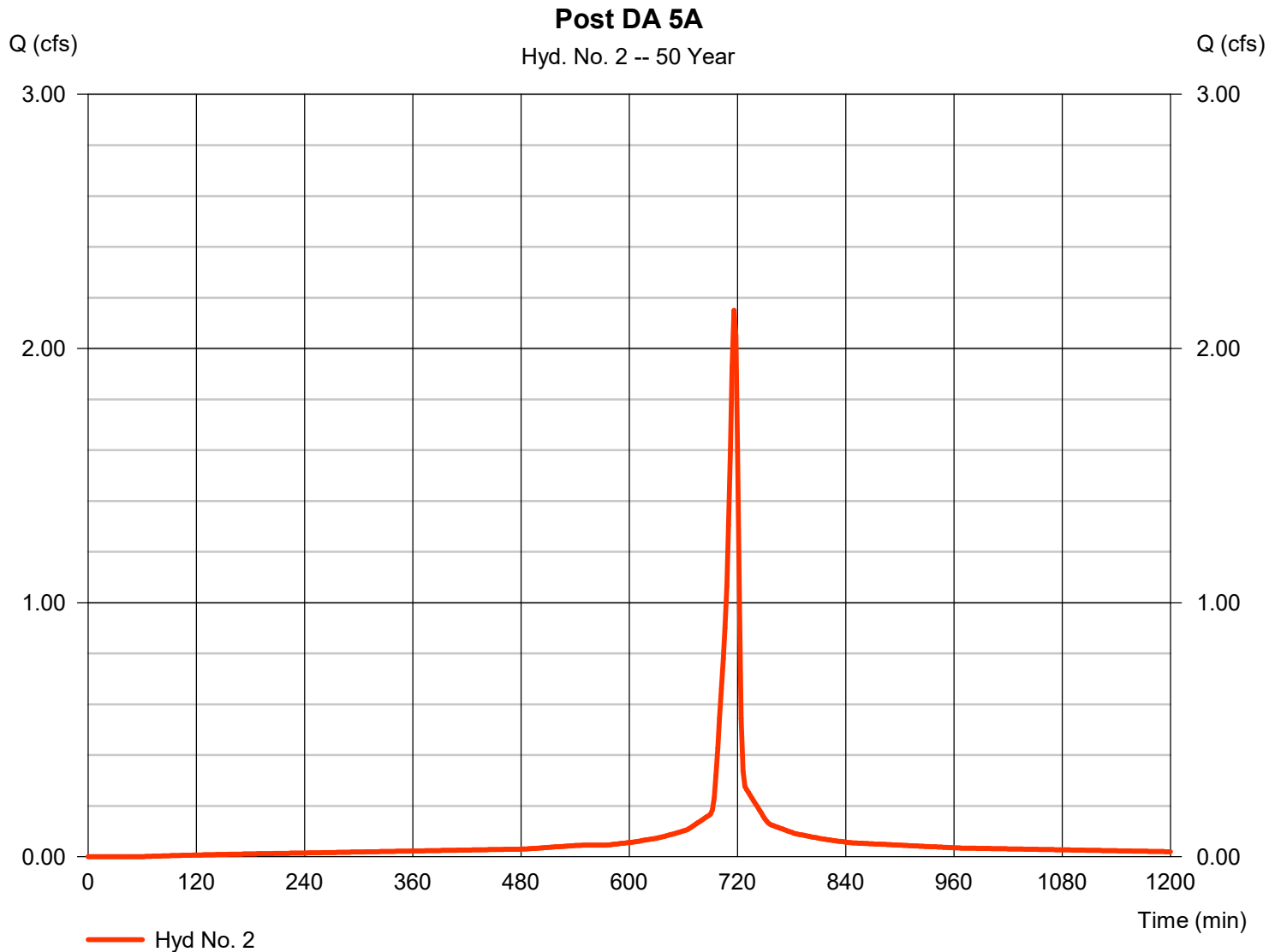
Monday, 02 / 9 / 2026

## Hyd. No. 2

Post DA 5A

Hydrograph type	= SCS Runoff	Peak discharge	= 2.150 cfs
Storm frequency	= 50 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 5,102 cuft
Drainage area	= 0.360 ac	Curve number	= 98*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 4.40 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.360 x 98)] / 0.360



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

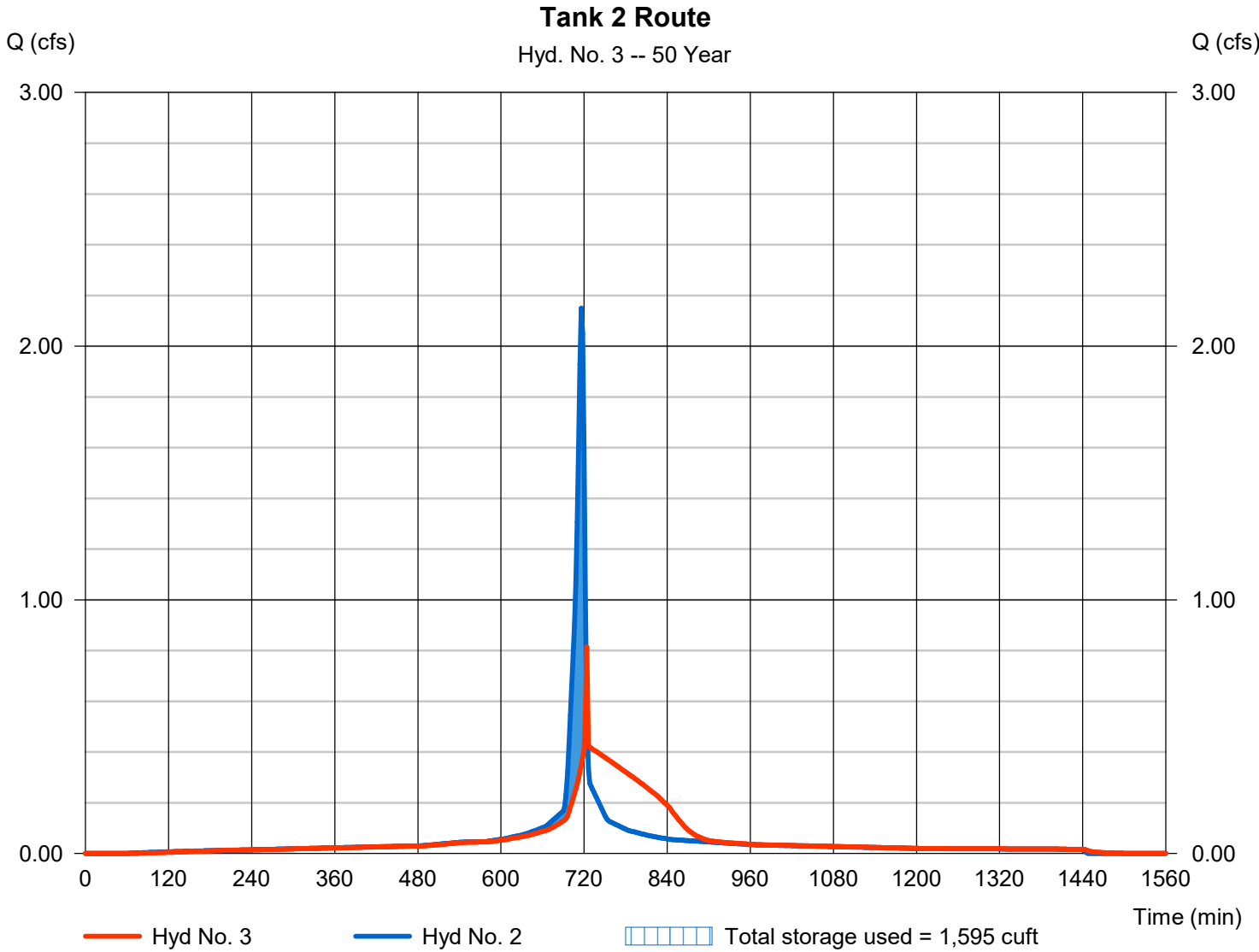
Monday, 02 / 9 / 2026

## Hyd. No. 3

Tank 2 Route

Hydrograph type	= Reservoir	Peak discharge	= 0.815 cfs
Storm frequency	= 50 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 5,100 cuft
Inflow hyd. No.	= 2 - Post DA 5A	Max. Elevation	= 859.35 ft
Reservoir name	= SCM 5.1 Det Tank	Max. Storage	= 1,595 cuft

Storage Indication method used.



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

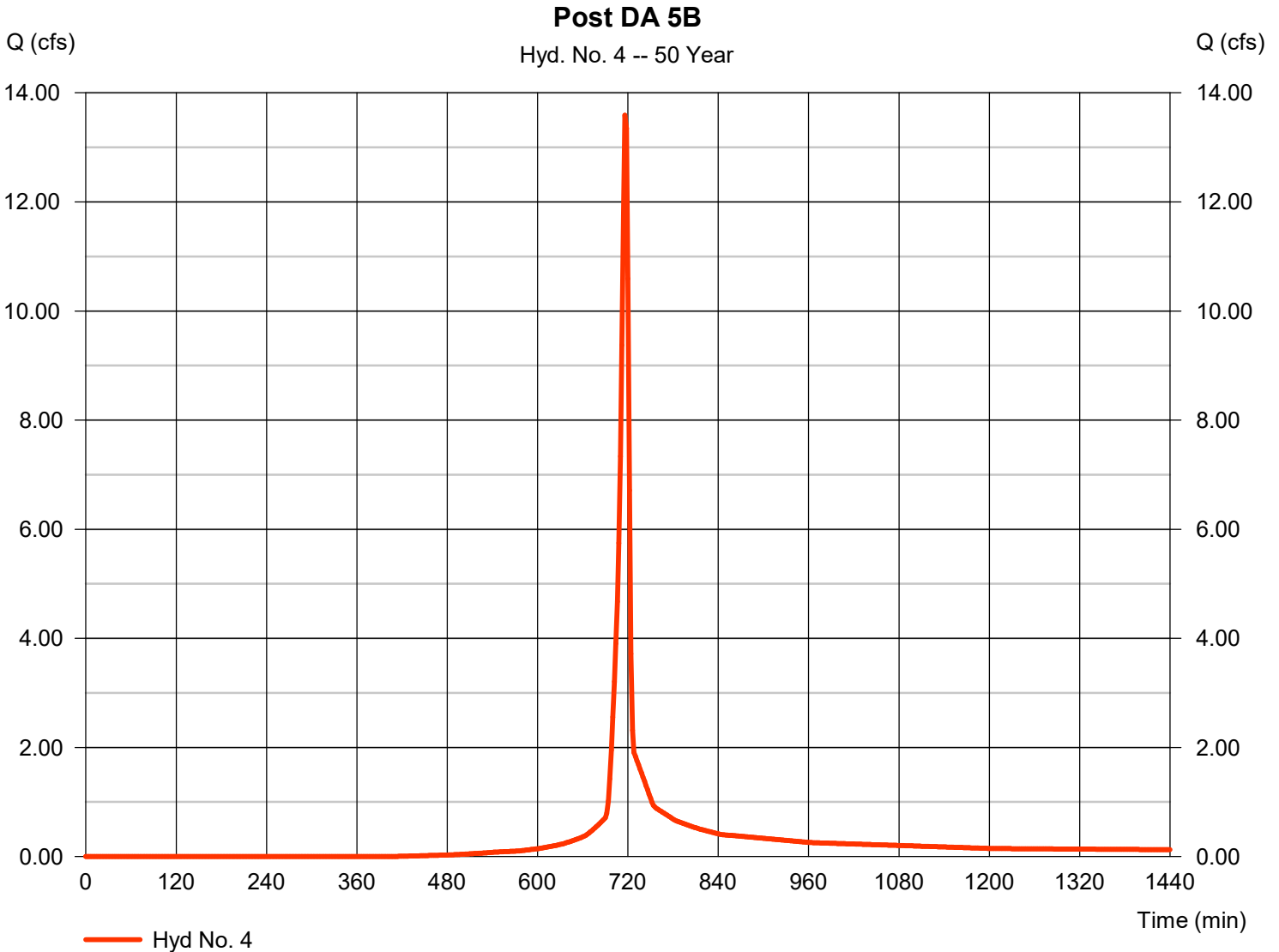
Monday, 02 / 9 / 2026

## Hyd. No. 4

Post DA 5B

Hydrograph type	= SCS Runoff	Peak discharge	= 13.59 cfs
Storm frequency	= 50 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 27,729 cuft
Drainage area	= 3.090 ac	Curve number	= 83*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 4.40 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(1.210 x 98) + (1.880 x 74)] / 3.090



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

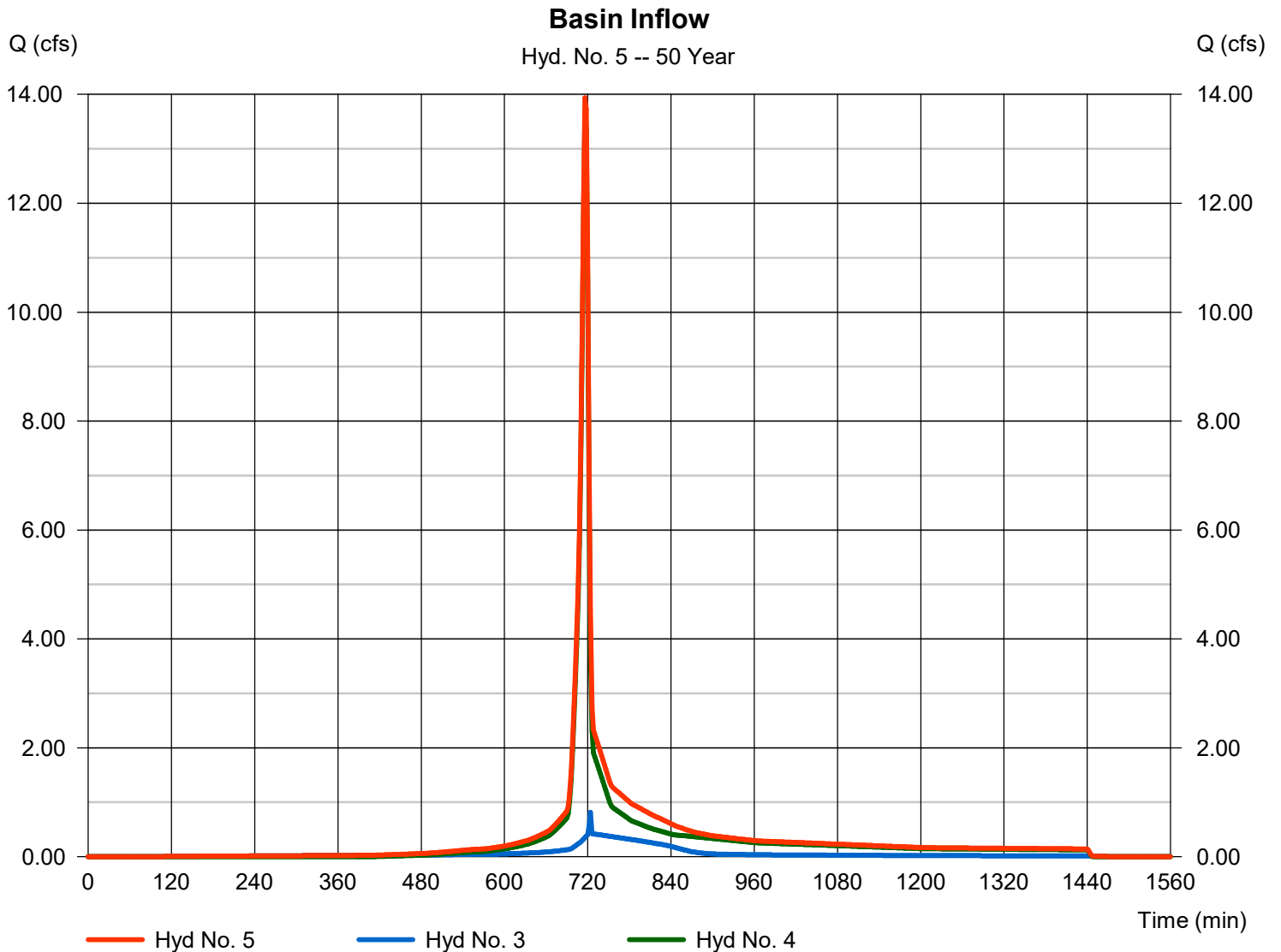
Monday, 02 / 9 / 2026

## Hyd. No. 5

### Basin Inflow

Hydrograph type = Combine  
Storm frequency = 50 yrs  
Time interval = 2 min  
Inflow hyds. = 3, 4

Peak discharge = 13.94 cfs  
Time to peak = 716 min  
Hyd. volume = 32,829 cuft  
Contrib. drain. area = 3.090 ac



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

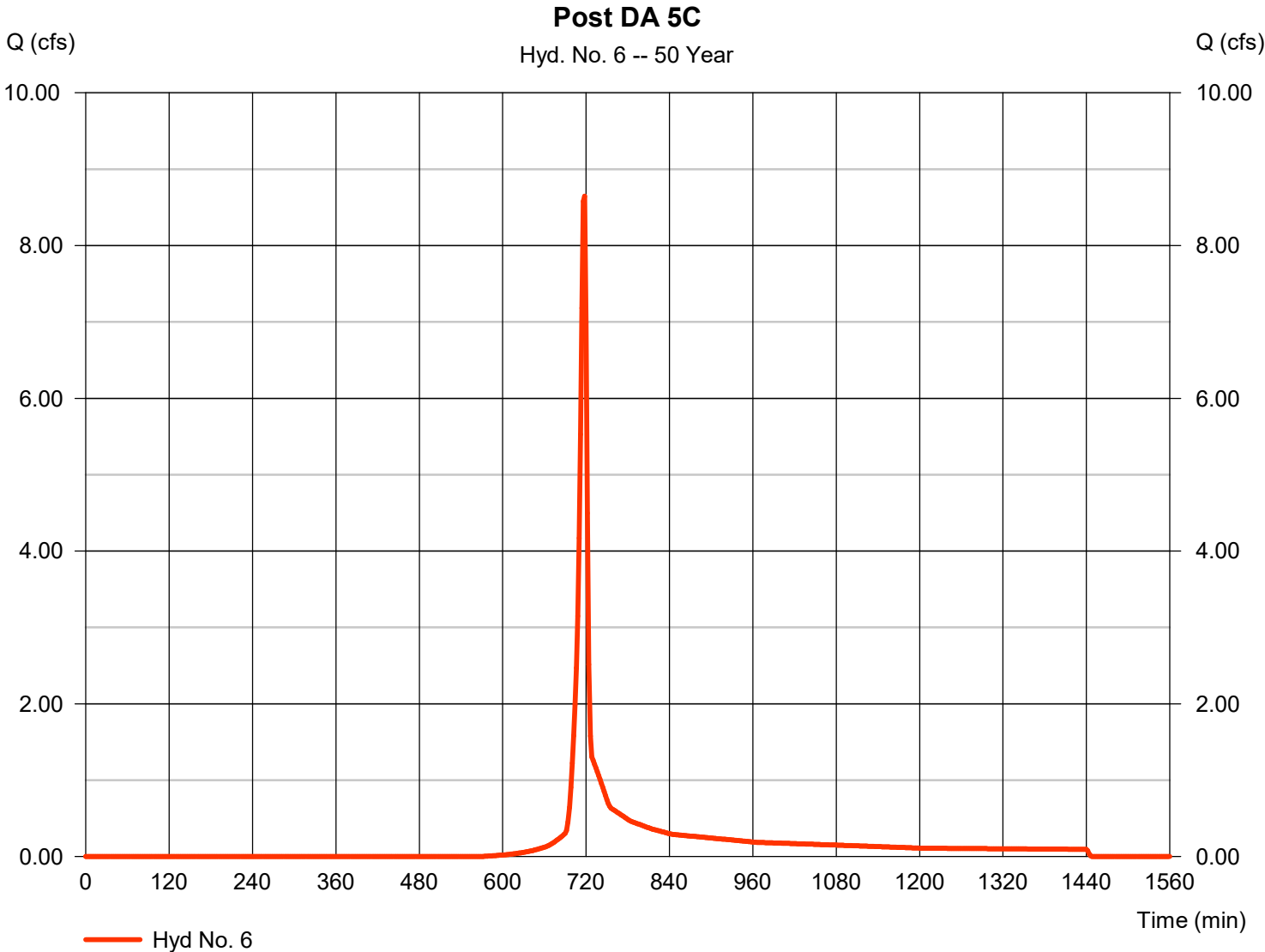
Monday, 02 / 9 / 2026

## Hyd. No. 6

Post DA 5C

Hydrograph type	= SCS Runoff	Peak discharge	= 8.647 cfs
Storm frequency	= 50 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 17,355 cuft
Drainage area	= 2.690 ac	Curve number	= 74*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 4.40 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.130 x 98) + (2.040 x 74) + (0.520 x 70)] / 2.690



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

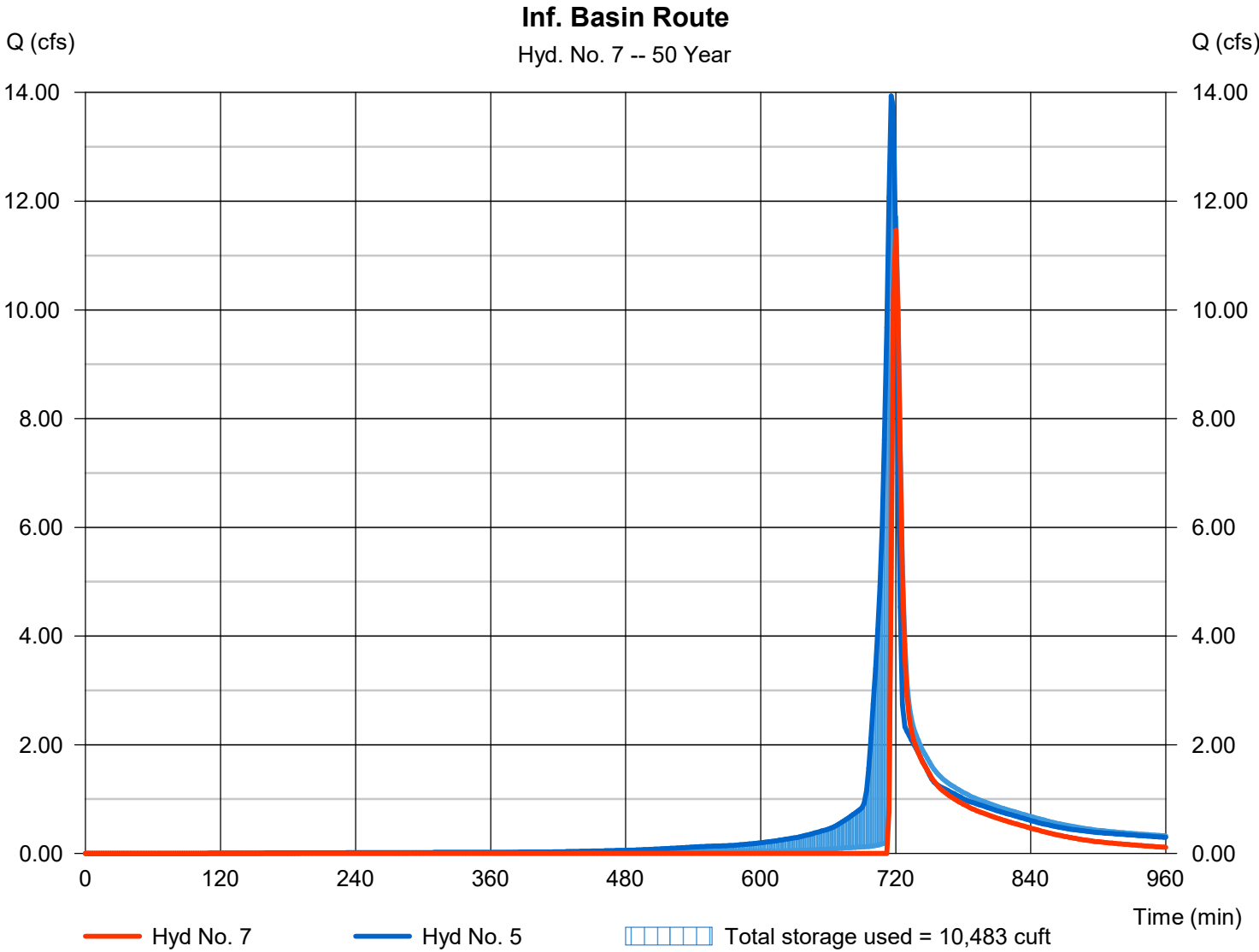
Monday, 02 / 9 / 2026

## Hyd. No. 7

Inf. Basin Route

Hydrograph type	= Reservoir	Peak discharge	= 11.47 cfs
Storm frequency	= 50 yrs	Time to peak	= 720 min
Time interval	= 2 min	Hyd. volume	= 15,668 cuft
Inflow hyd. No.	= 5 - Basin Inflow	Max. Elevation	= 852.61 ft
Reservoir name	= SCM 5.2 Inf Basin	Max. Storage	= 10,483 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



# Hydrograph Report

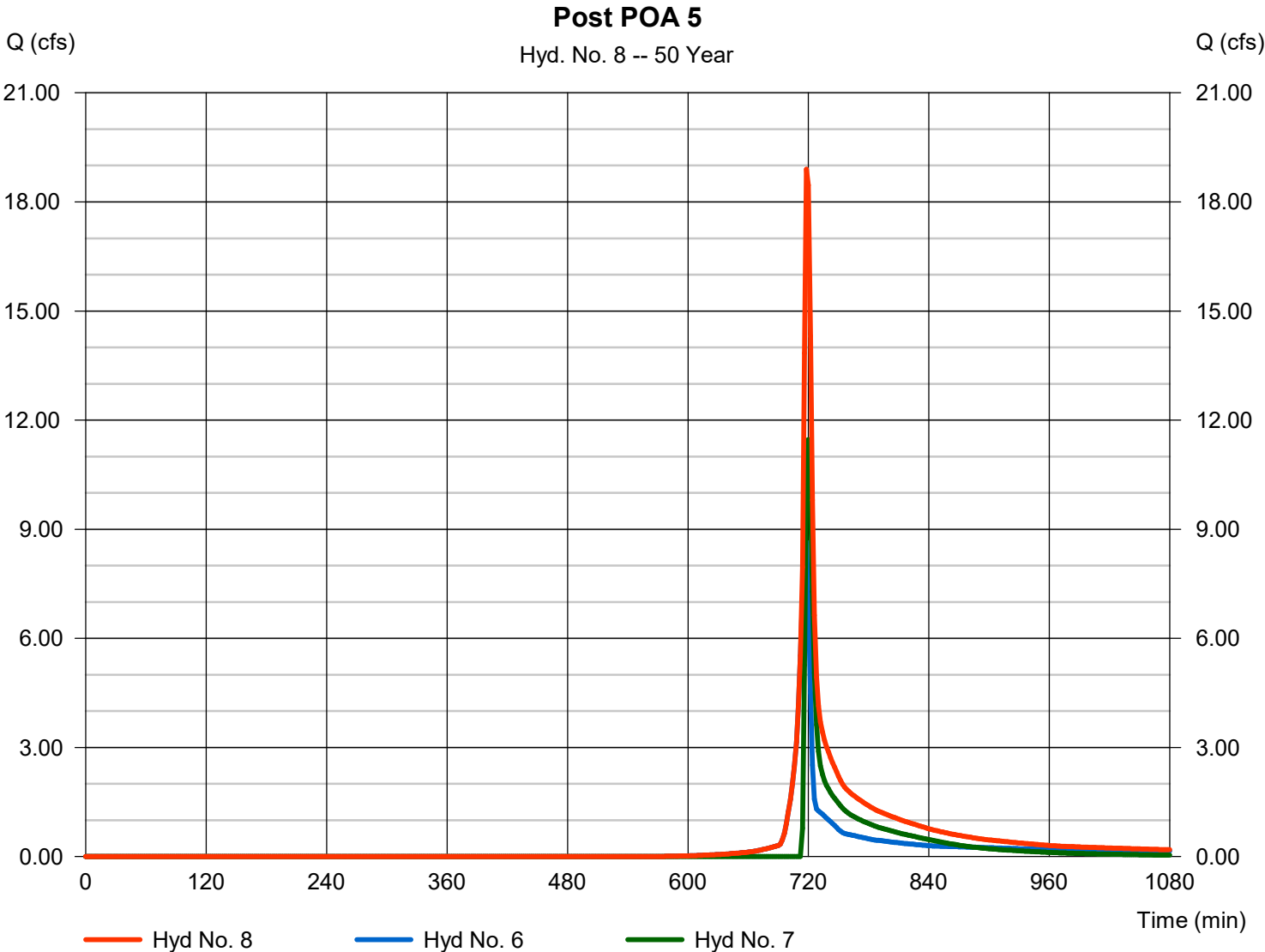
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

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## Hyd. No. 8

Post POA 5

Hydrograph type	= Combine	Peak discharge	= 18.90 cfs
Storm frequency	= 50 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 33,023 cuft
Inflow hyds.	= 6, 7	Contrib. drain. area	= 2.690 ac



# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	26.19	2	718	52,684	-----	-----	-----	Pre-Development DA 5	
2	SCS Runoff	2.407	2	716	5,738	-----	-----	-----	Post DA 5A	
3	Reservoir	1.719	2	720	5,736	2	859.46	1,618	Tank 2 Route	
4	SCS Runoff	15.89	2	716	32,618	-----	-----	-----	Post DA 5B	
5	Combine	16.26	2	716	38,354	3, 4	-----	-----	Basin Inflow	
6	SCS Runoff	10.44	2	718	21,061	-----	-----	-----	Post DA 5C	
7	Reservoir	14.69	2	720	20,558	5	852.69	10,861	Inf. Basin Route	
8	Combine	24.97	2	718	41,618	6, 7	-----	-----	Post POA 5	
9	Reservoir	16.12	2	718	38,234	5	852.99	12,295	Spillway Route	
Ph 5 Hydrographs.gpw					Return Period: 100 Year			Monday, 02 / 9 / 2026		

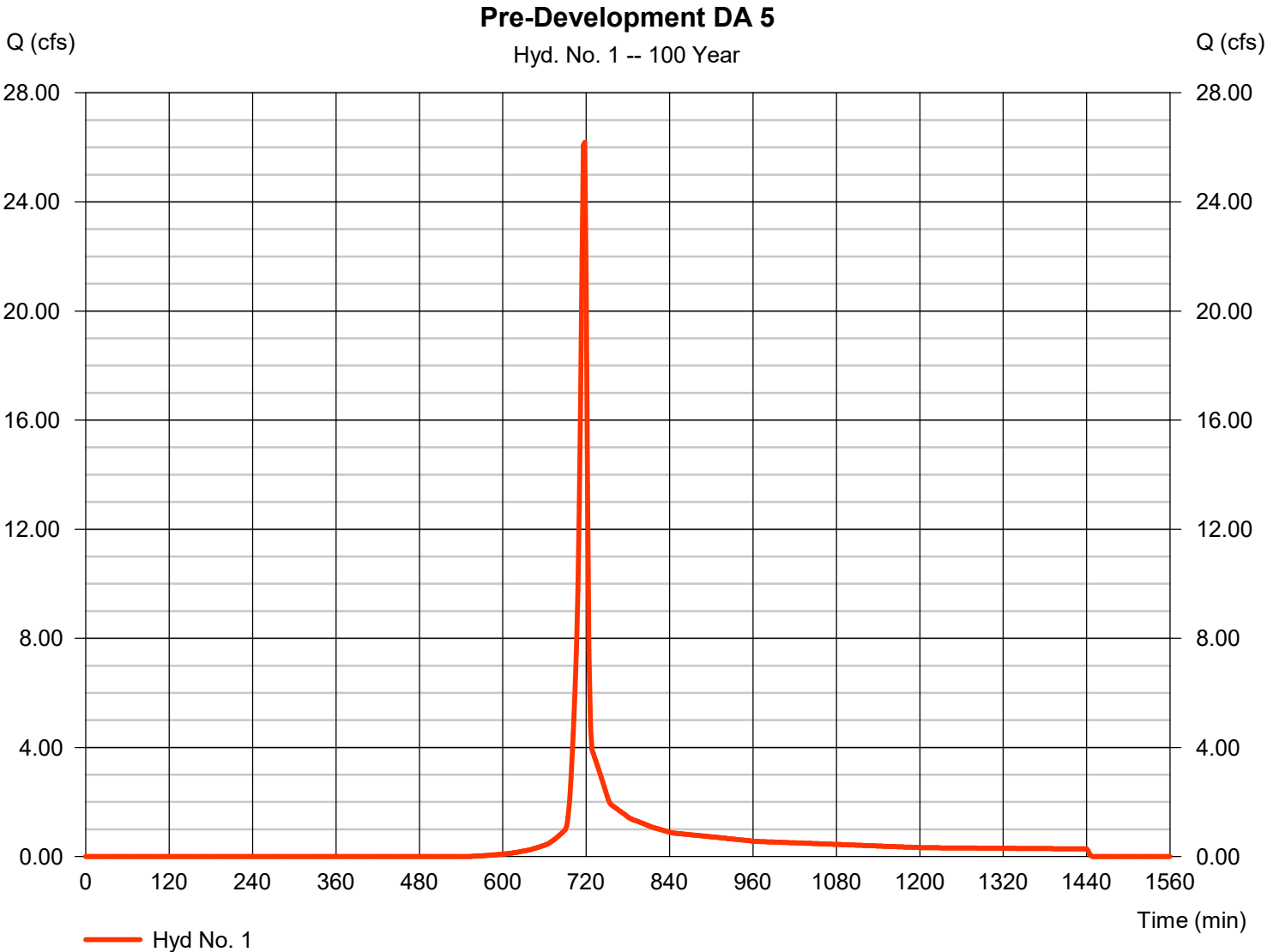
# Hydrograph Report

## Hyd. No. 1

Pre-Development DA 5

Hydrograph type	= SCS Runoff	Peak discharge	= 26.19 cfs
Storm frequency	= 100 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 52,684 cuft
Drainage area	= 6.980 ac	Curve number	= 73*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 4.92 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.270 x 98) + (0.070 x 71) + (5.290 x 71) + (0.700 x 70) + (0.650 x 87)] / 6.980



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

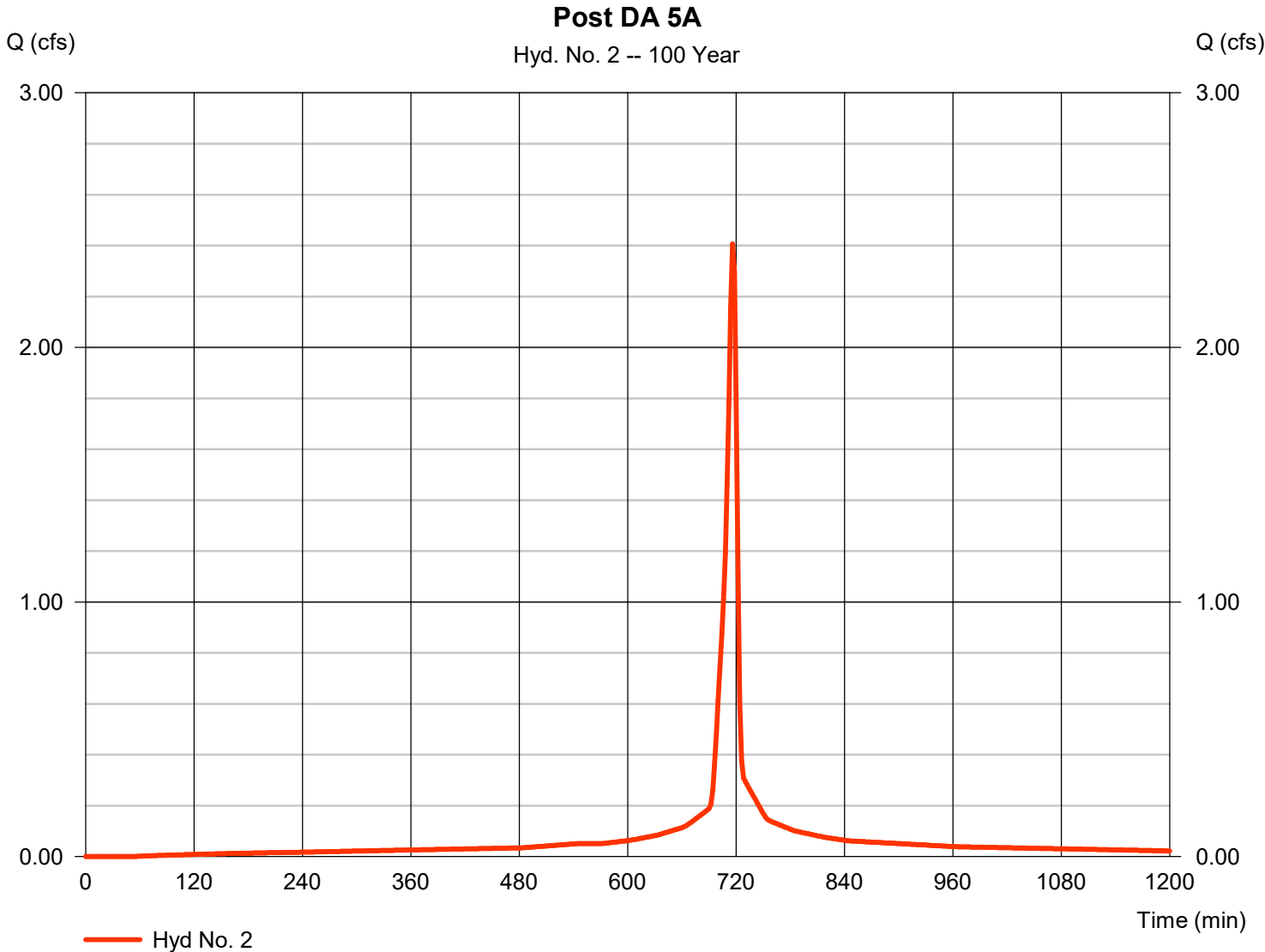
Monday, 02 / 9 / 2026

## Hyd. No. 2

Post DA 5A

Hydrograph type	= SCS Runoff	Peak discharge	= 2.407 cfs
Storm frequency	= 100 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 5,738 cuft
Drainage area	= 0.360 ac	Curve number	= 98*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 4.92 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.360 x 98)] / 0.360



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

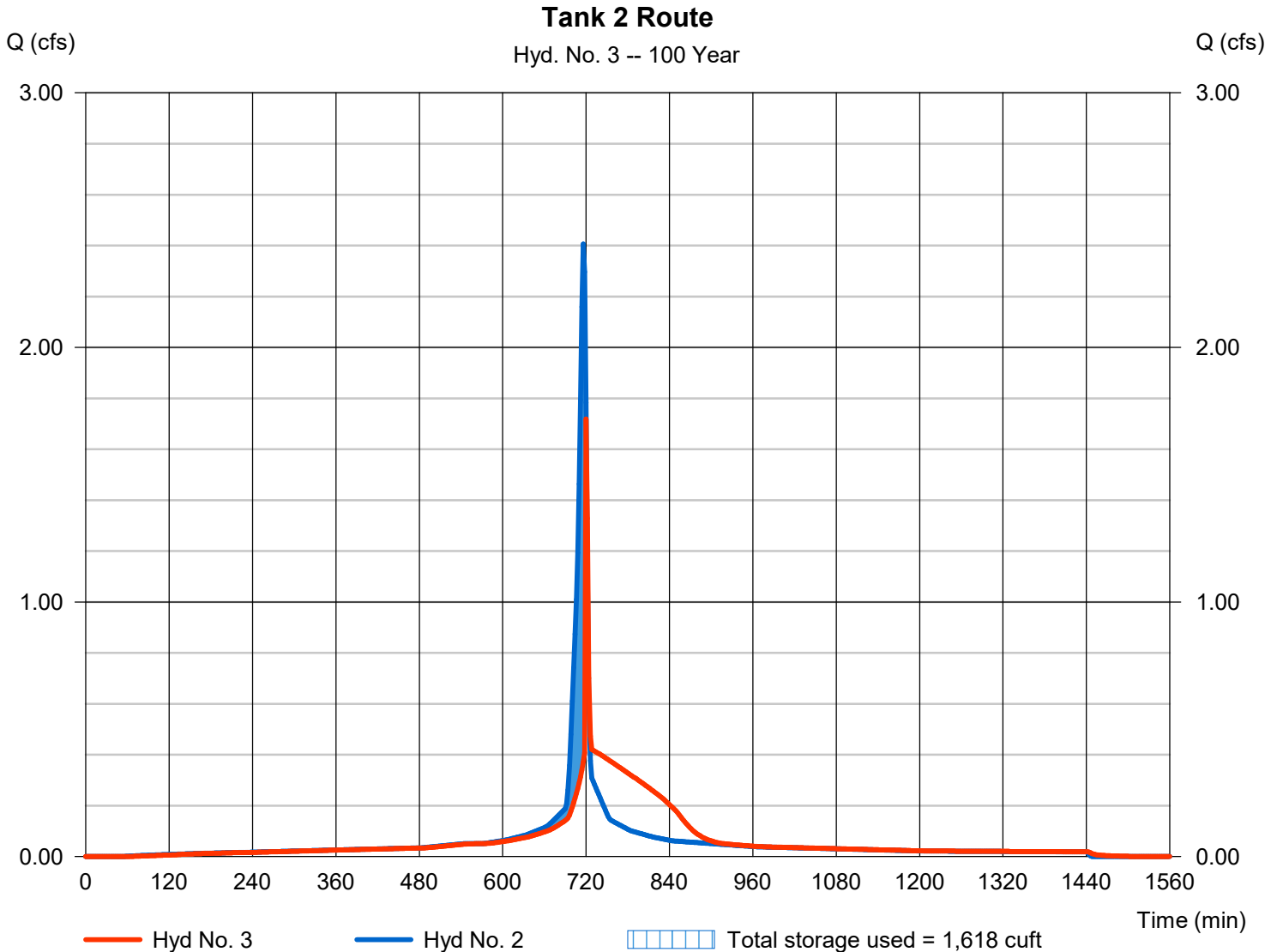
Monday, 02 / 9 / 2026

## Hyd. No. 3

Tank 2 Route

Hydrograph type	= Reservoir	Peak discharge	= 1.719 cfs
Storm frequency	= 100 yrs	Time to peak	= 720 min
Time interval	= 2 min	Hyd. volume	= 5,736 cuft
Inflow hyd. No.	= 2 - Post DA 5A	Max. Elevation	= 859.46 ft
Reservoir name	= SCM 5.1 Det Tank	Max. Storage	= 1,618 cuft

Storage Indication method used.



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

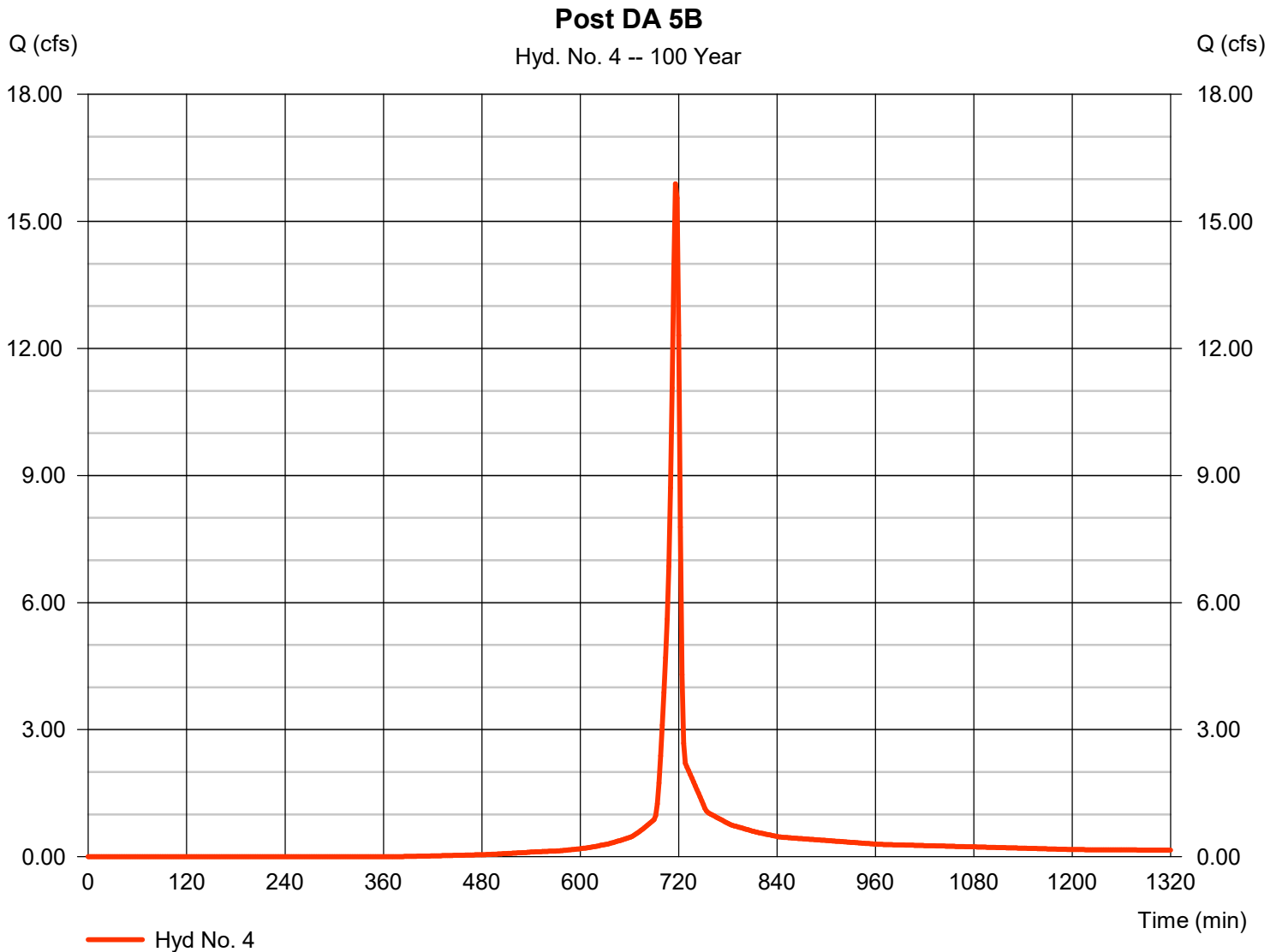
Monday, 02 / 9 / 2026

## Hyd. No. 4

Post DA 5B

Hydrograph type	= SCS Runoff	Peak discharge	= 15.89 cfs
Storm frequency	= 100 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 32,618 cuft
Drainage area	= 3.090 ac	Curve number	= 83*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 4.92 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(1.210 x 98) + (1.880 x 74)] / 3.090



# Hydrograph Report

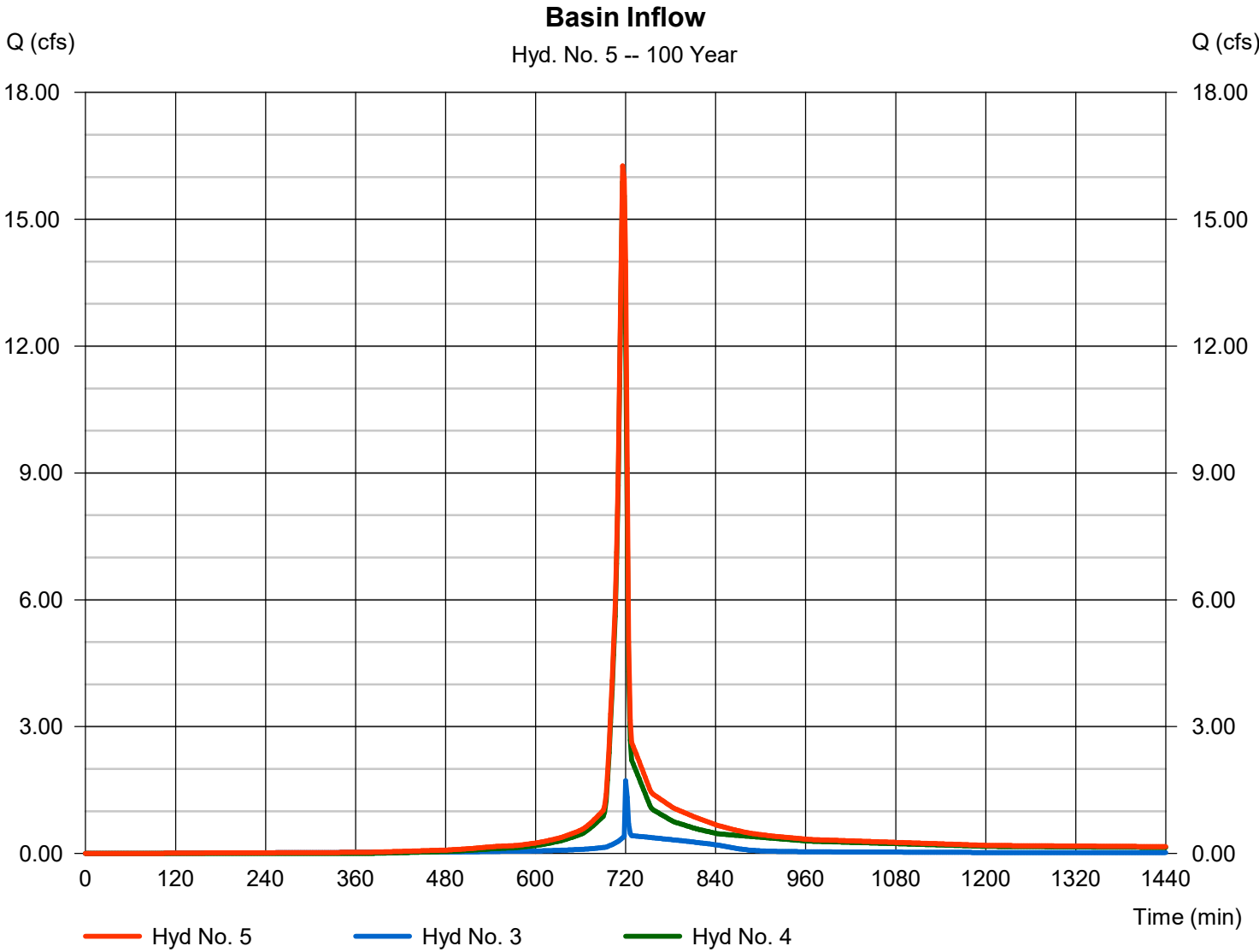
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

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## Hyd. No. 5

### Basin Inflow

Hydrograph type	= Combine	Peak discharge	= 16.26 cfs
Storm frequency	= 100 yrs	Time to peak	= 716 min
Time interval	= 2 min	Hyd. volume	= 38,354 cuft
Inflow hyds.	= 3, 4	Contrib. drain. area	= 3.090 ac



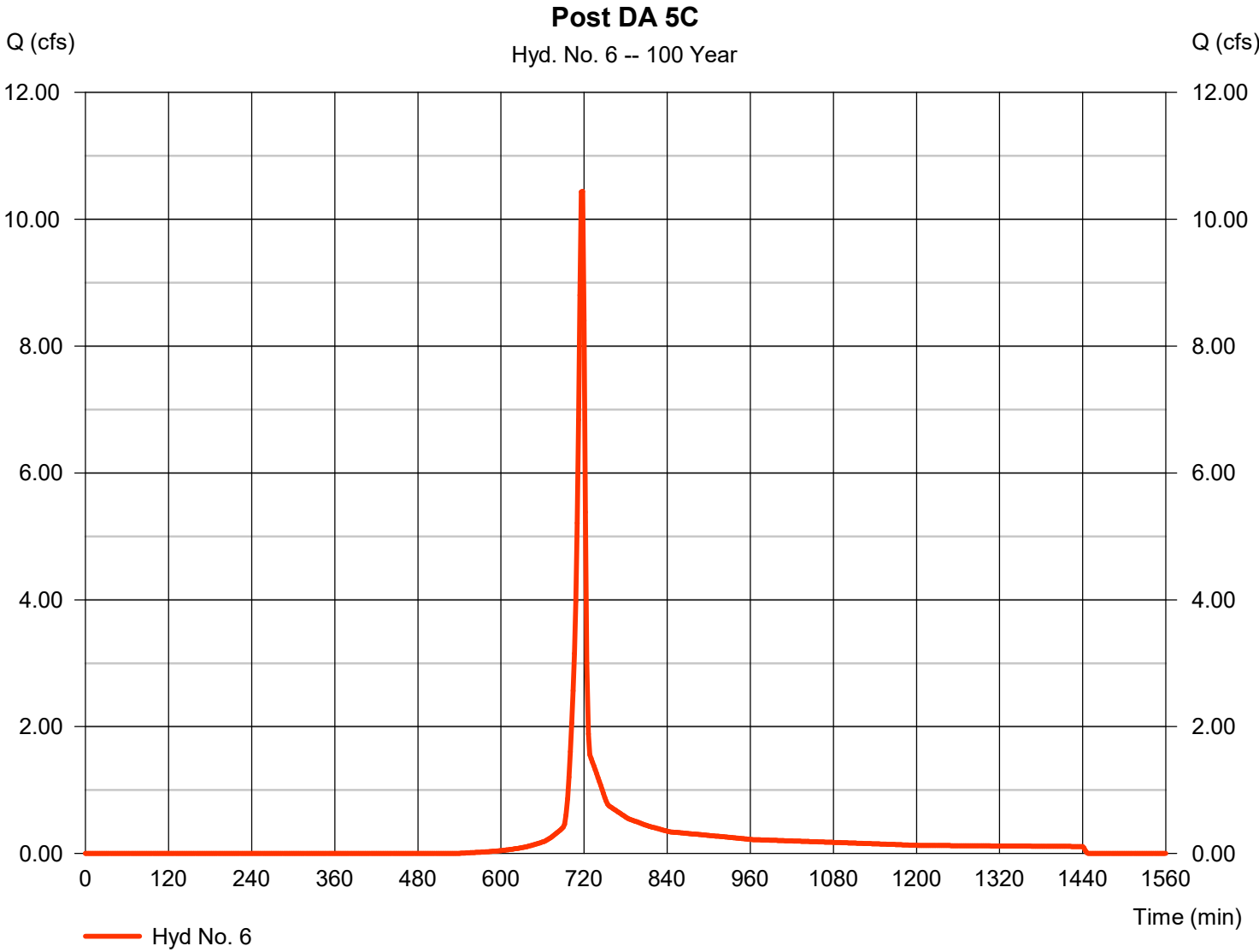
# Hydrograph Report

## Hyd. No. 6

Post DA 5C

Hydrograph type	= SCS Runoff	Peak discharge	= 10.44 cfs
Storm frequency	= 100 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 21,061 cuft
Drainage area	= 2.690 ac	Curve number	= 74*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 4.92 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.130 x 98) + (2.040 x 74) + (0.520 x 70)] / 2.690



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

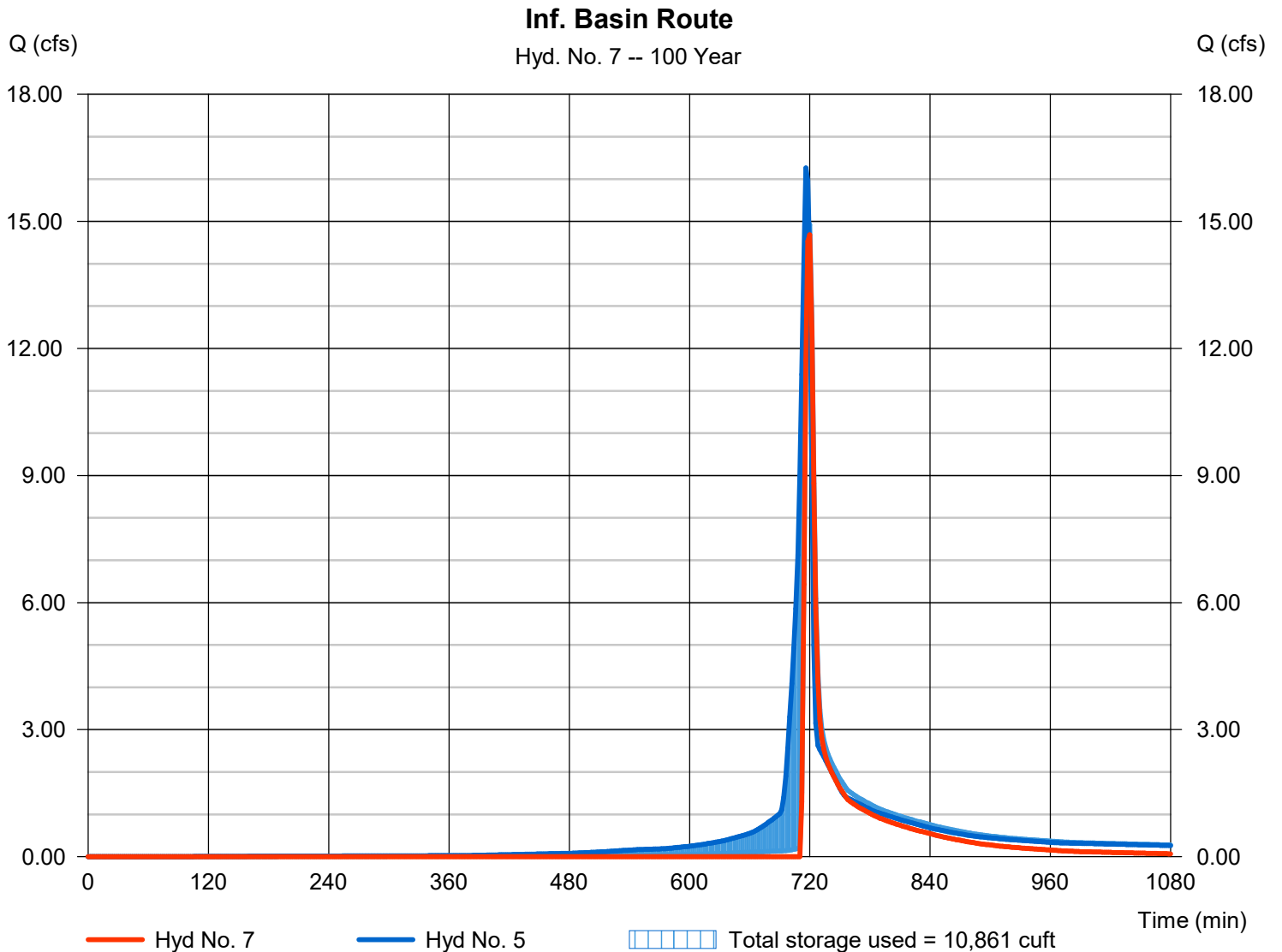
Monday, 02 / 9 / 2026

## Hyd. No. 7

Inf. Basin Route

Hydrograph type	= Reservoir	Peak discharge	= 14.69 cfs
Storm frequency	= 100 yrs	Time to peak	= 720 min
Time interval	= 2 min	Hyd. volume	= 20,558 cuft
Inflow hyd. No.	= 5 - Basin Inflow	Max. Elevation	= 852.69 ft
Reservoir name	= SCM 5.2 Inf Basin	Max. Storage	= 10,861 cuft

Storage Indication method used. Exfiltration extracted from Outflow.

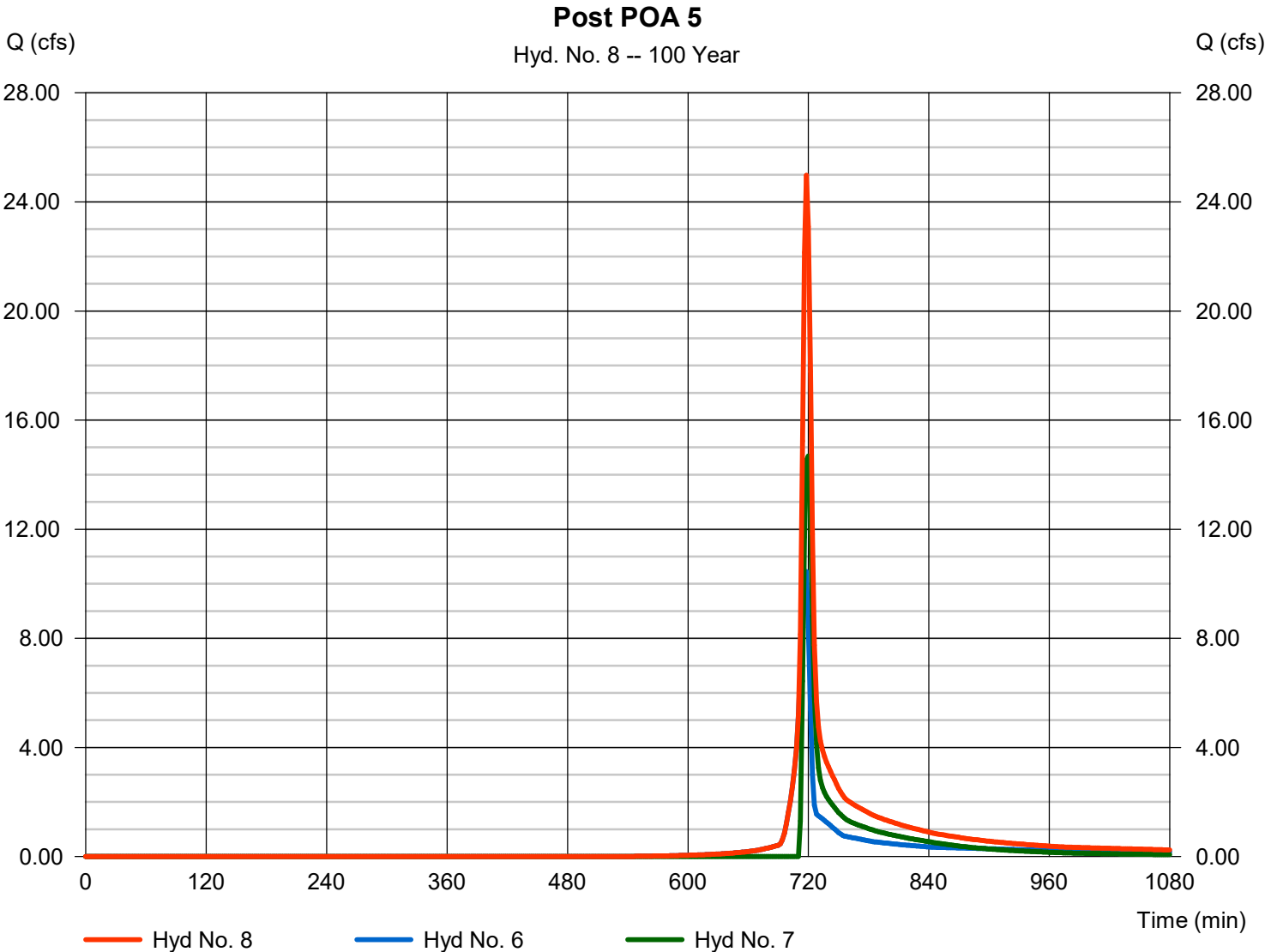


# Hydrograph Report

## Hyd. No. 8

Post POA 5

Hydrograph type	= Combine	Peak discharge	= 24.97 cfs
Storm frequency	= 100 yrs	Time to peak	= 718 min
Time interval	= 2 min	Hyd. volume	= 41,618 cuft
Inflow hyds.	= 6, 7	Contrib. drain. area	= 2.690 ac





## **APPENDIX D FLOOD ROUTING**

# Hydrograph Report

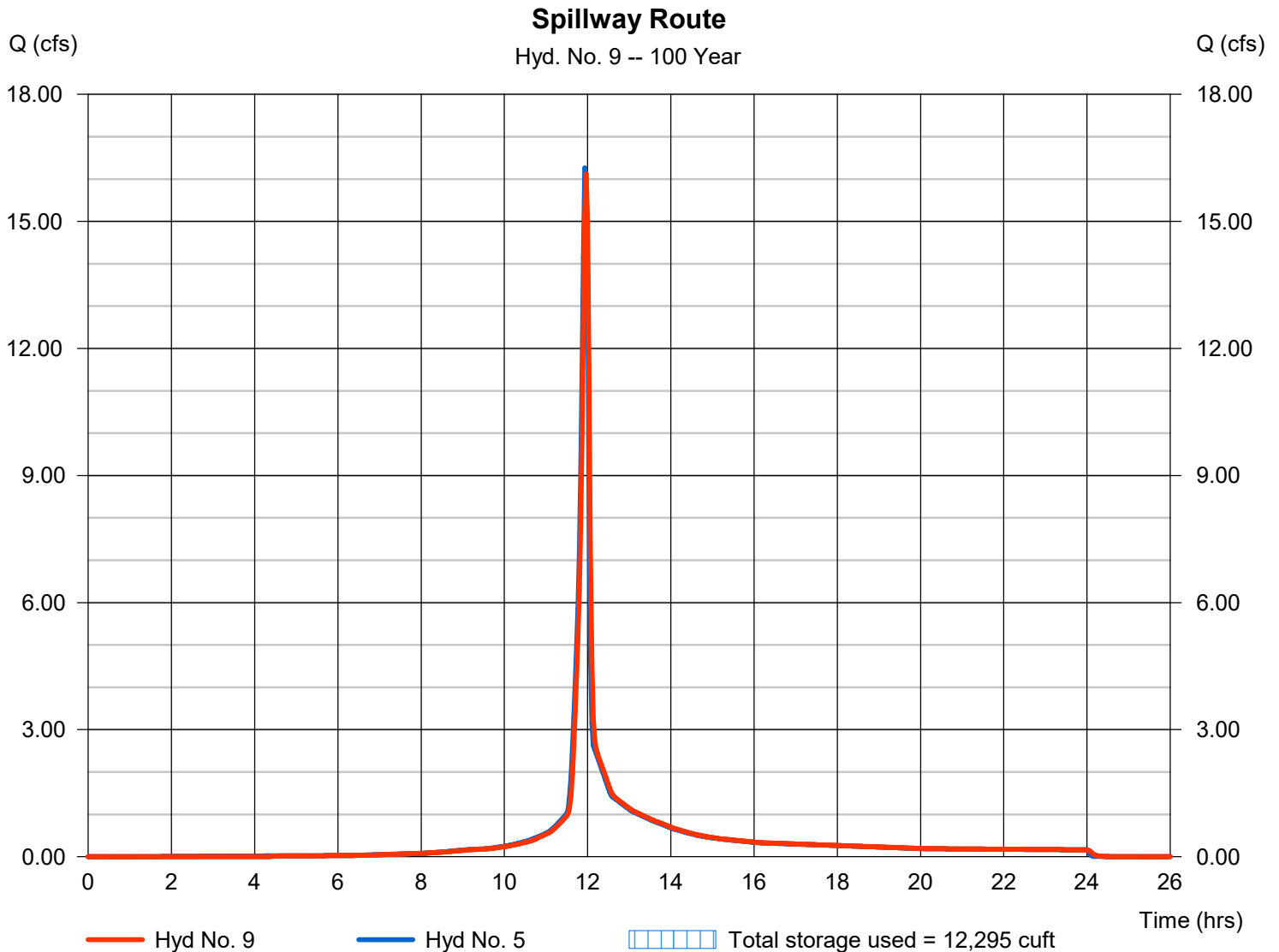
## Hyd. No. 9

### Spillway Route

Hydrograph type	= Reservoir	Peak discharge	= 16.12 cfs
Storm frequency	= 100 yrs	Time to peak	= 11.97 hrs
Time interval	= 2 min	Hyd. volume	= 38,234 cuft
Inflow hyd. No.	= 5 - Basin Inflow	Max. Elevation	= 852.99 ft
Reservoir name	= SCM 5.2 Embankment Spillway	Max. Storage	= 12,295 cuft

Storage Indication method used. Wet pond routing start elevation = 852.68 ft.

Top of Berm = 854.00  
Freeboard = 1.01'



# Pond Report

## Pond No. 4 - SCM 5.2 Embankment Spillway

### Pond Data

Contours -User-defined contour areas. Conic method used for volume calculation. Begining Elevation = 848.00 ft

### Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	848.00	941	0	0
0.25	848.25	329	152	152
0.50	848.50	329	82	234
1.00	849.00	963	309	544
1.50	849.50	963	481	1,025
2.00	850.00	1,575	628	1,653
2.25	850.25	2,123	461	2,114
2.50	850.50	2,466	573	2,687
2.75	850.75	2,768	654	3,341
3.00	851.00	3,046	726	4,067
3.25	851.25	3,359	800	4,867
3.50	851.50	3,655	876	5,744
3.75	851.75	3,935	948	6,692
4.00	852.00	4,200	1,017	7,709
4.25	852.25	4,459	1,082	8,791
4.50	852.50	4,693	1,144	9,934
4.75	852.75	4,886	1,197	11,132
5.00	853.00	4,875	1,220	12,352
5.50	853.50	5,564	2,608	14,959
6.00	854.00	5,620	2,796	17,755

### Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	Inactive	Inactive	Inactive	0.00
Span (in)	= 18.00	38.00	0.00	0.00
No. Barrels	= 1	1	0	0
Invert El. (ft)	= 846.00	852.00	0.00	0.00
Length (ft)	= 39.00	0.00	0.00	0.00
Slope (%)	= 5.10	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	Yes	No	No

### Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	Inactive	40.00	0.00	0.00
Crest El. (ft)	= 852.25	852.70	0.00	0.00
Weir Coeff.	= 3.33	2.60	3.33	3.33
Weir Type	= 1	Broad	---	---
Multi-Stage	= Yes	No	No	No
Exfil.(in/hr)	= 0.000 (by Contour)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

### Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Civ A cfs	Civ B cfs	Civ C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	848.00	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.03	15	848.03	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.05	30	848.05	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.08	46	848.08	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.10	61	848.10	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.13	76	848.13	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.15	91	848.15	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.18	107	848.18	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.20	122	848.20	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.23	137	848.23	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.25	152	848.25	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.28	160	848.28	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.30	169	848.30	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.33	177	848.33	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.35	185	848.35	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.38	193	848.38	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.40	202	848.40	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.43	210	848.43	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.45	218	848.45	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.48	226	848.48	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.50	234	848.50	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.55	265	848.55	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.60	296	848.60	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000

Continues on next page...

**Stage / Storage / Discharge Table**

Stage ft	Storage cuft	Elevation ft	Civ A cfs	Civ B cfs	Civ C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.65	327	848.65	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.70	358	848.70	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.75	389	848.75	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.80	420	848.80	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.85	451	848.85	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.90	482	848.90	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
0.95	513	848.95	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.00	544	849.00	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.05	592	849.05	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.10	640	849.10	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.15	688	849.15	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.20	736	849.20	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.25	784	849.25	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.30	832	849.30	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.35	881	849.35	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.40	929	849.40	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.45	977	849.45	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.50	1,025	849.50	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.55	1,088	849.55	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.60	1,151	849.60	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.65	1,213	849.65	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.70	1,276	849.70	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.75	1,339	849.75	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.80	1,402	849.80	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.85	1,465	849.85	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.90	1,528	849.90	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
1.95	1,590	849.95	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.00	1,653	850.00	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.03	1,699	850.03	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.05	1,745	850.05	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.08	1,791	850.08	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.10	1,837	850.10	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.13	1,883	850.13	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.15	1,929	850.15	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.18	1,976	850.18	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.20	2,022	850.20	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.23	2,068	850.23	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.25	2,114	850.25	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.28	2,171	850.28	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.30	2,228	850.30	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.33	2,286	850.33	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.35	2,343	850.35	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.38	2,400	850.38	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.40	2,458	850.40	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.43	2,515	850.43	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.45	2,572	850.45	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.48	2,629	850.48	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.50	2,687	850.50	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.53	2,752	850.53	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.55	2,817	850.55	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.58	2,883	850.58	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.60	2,948	850.60	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.63	3,014	850.63	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.65	3,079	850.65	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.68	3,144	850.68	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.70	3,210	850.70	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.73	3,275	850.73	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.75	3,341	850.75	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.78	3,413	850.78	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.80	3,486	850.80	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.83	3,558	850.83	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.85	3,631	850.85	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.88	3,704	850.88	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.90	3,776	850.90	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.93	3,849	850.93	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.95	3,922	850.95	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
2.98	3,994	850.98	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.00	4,067	851.00	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.03	4,147	851.03	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.05	4,227	851.05	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.08	4,307	851.08	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.10	4,387	851.10	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000

**Stage / Storage / Discharge Table**

Stage ft	Storage cuft	Elevation ft	Civ A cfs	Civ B cfs	Civ C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
3.13	4,467	851.13	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.15	4,547	851.15	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.18	4,627	851.18	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.20	4,707	851.20	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.23	4,787	851.23	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.25	4,867	851.25	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.28	4,955	851.28	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.30	5,042	851.30	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.33	5,130	851.33	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.35	5,218	851.35	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.38	5,305	851.38	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.40	5,393	851.40	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.43	5,481	851.43	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.45	5,568	851.45	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.48	5,656	851.48	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.50	5,744	851.50	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.53	5,838	851.53	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.55	5,933	851.55	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.58	6,028	851.58	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.60	6,123	851.60	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.63	6,218	851.63	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.65	6,313	851.65	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.68	6,407	851.68	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.70	6,502	851.70	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.73	6,597	851.73	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.75	6,692	851.75	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.78	6,794	851.78	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.80	6,895	851.80	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.83	6,997	851.83	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.85	7,099	851.85	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.88	7,200	851.88	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.90	7,302	851.90	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.93	7,404	851.93	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.95	7,505	851.95	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
3.98	7,607	851.98	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.00	7,709	852.00	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.03	7,817	852.03	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.05	7,925	852.05	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.08	8,033	852.08	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.10	8,141	852.10	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.13	8,250	852.13	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.15	8,358	852.15	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.18	8,466	852.18	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.20	8,574	852.20	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.23	8,683	852.23	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.25	8,791	852.25	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.28	8,905	852.28	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.30	9,019	852.30	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.33	9,134	852.33	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.35	9,248	852.35	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.38	9,363	852.38	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.40	9,477	852.40	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.43	9,591	852.43	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.45	9,706	852.45	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.48	9,820	852.48	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.50	9,934	852.50	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.53	10,054	852.53	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.55	10,174	852.55	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.58	10,294	852.58	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.60	10,413	852.60	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.63	10,533	852.63	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.65	10,653	852.65	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.68	10,772	852.68	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.70	10,892	852.70	0.00	0.00	---	---	0.00	0.00	---	---	---	---	0.000
4.73	11,012	852.73	0.00	0.00	---	---	0.00	0.42	---	---	---	---	0.416
4.75	11,132	852.75	0.00	0.00	---	---	0.00	1.16	---	---	---	---	1.162
4.78	11,254	852.78	0.00	0.00	---	---	0.00	2.14	---	---	---	---	2.137
4.80	11,376	852.80	0.00	0.00	---	---	0.00	3.29	---	---	---	---	3.291
4.83	11,498	852.83	0.00	0.00	---	---	0.00	4.60	---	---	---	---	4.600
4.85	11,620	852.85	0.00	0.00	---	---	0.00	6.05	---	---	---	---	6.047
4.88	11,742	852.88	0.00	0.00	---	---	0.00	7.62	---	---	---	---	7.621
4.90	11,864	852.90	0.00	0.00	---	---	0.00	9.31	---	---	---	---	9.311

Continues on next page...

SCM 5.2 Embankment Spillway

**Stage / Storage / Discharge Table**

Stage ft	Storage cuft	Elevation ft	Civ A cfs	Civ B cfs	Civ C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
4.93	11,986	852.93	0.00	0.00	---	---	0.00	11.11	---	---	---	---	11.11
4.95	12,108	852.95	0.00	0.00	---	---	0.00	13.01	---	---	---	---	13.01
4.98	12,230	852.98	0.00	0.00	---	---	0.00	15.01	---	---	---	---	15.01
5.00	12,352	853.00	0.00	0.00	---	---	0.00	17.09	---	---	---	---	17.09
5.05	12,612	853.05	0.00	0.00	---	---	0.00	21.53	---	---	---	---	21.53
5.10	12,873	853.10	0.00	0.00	---	---	0.00	26.31	---	---	---	---	26.31
5.15	13,134	853.15	0.00	0.00	---	---	0.00	31.39	---	---	---	---	31.39
5.20	13,395	853.20	0.00	0.00	---	---	0.00	36.76	---	---	---	---	36.76
5.25	13,655	853.25	0.00	0.00	---	---	0.00	42.41	---	---	---	---	42.41
5.30	13,916	853.30	0.00	0.00	---	---	0.00	48.32	---	---	---	---	48.32
5.35	14,177	853.35	0.00	0.00	---	---	0.00	54.49	---	---	---	---	54.49
5.40	14,438	853.40	0.00	0.00	---	---	0.00	60.89	---	---	---	---	60.89
5.45	14,698	853.45	0.00	0.00	---	---	0.00	67.53	---	---	---	---	67.53
5.50	14,959	853.50	0.00	0.00	---	---	0.00	74.41	---	---	---	---	74.41
5.55	15,239	853.55	0.00	0.00	---	---	0.00	81.50	---	---	---	---	81.50
5.60	15,518	853.60	0.00	0.00	---	---	0.00	88.79	---	---	---	---	88.79
5.65	15,798	853.65	0.00	0.00	---	---	0.00	96.29	---	---	---	---	96.29
5.70	16,078	853.70	0.00	0.00	---	---	0.00	103.99	---	---	---	---	103.99
5.75	16,357	853.75	0.00	0.00	---	---	0.00	111.88	---	---	---	---	111.88
5.80	16,637	853.80	0.00	0.00	---	---	0.00	119.97	---	---	---	---	119.97
5.85	16,916	853.85	0.00	0.00	---	---	0.00	128.24	---	---	---	---	128.24
5.90	17,196	853.90	0.00	0.00	---	---	0.00	136.69	---	---	---	---	136.69
5.95	17,475	853.95	0.00	0.00	---	---	0.00	145.32	---	---	---	---	145.32
6.00	17,755	854.00	0.00	0.00	---	---	0.00	154.15	---	---	---	---	154.15

...End

## **APPENDIX E PADEP WORKSHEETS**

## General Information

Instructions
**General**
Volume
Rate
Quality

<p>Project Name: <input style="width: 90%;" type="text" value="Charter Homes at Hastings - Ph 5"/></p> <p>County: <input style="width: 90%;" type="text" value="Allegheny"/></p> <p>Project Type: <input style="width: 90%;" type="text" value="Single-Family Housing"/></p> <p>Area: <input style="width: 100px;" type="text" value="6.98"/> acres <i>(In Watershed)</i></p> <p>No. of Post-Construction Points of Analysis: <input style="width: 80px;" type="text" value="1"/></p>	<p>Application Type: <input style="width: 90%;" type="text" value="PAG-02 NOI"/></p> <p>Municipality: <input style="width: 90%;" type="text" value="South Fayette Township"/></p> <p> <input type="radio"/> New Project                <input checked="" type="radio"/> Minor / Major Amendment         </p> <p>Total Earth Disturbance: <input style="width: 100px;" type="text" value="6.98"/> acres <i>(In Watershed)</i></p> <p>at: <input style="width: 80px;" type="text" value="005"/></p>
---	---

Point of Analysis (POA) No.	Drainage Area (DA) (acres)	Earth Disturbance in DA (acres)	Existing Impervious in DA (acres)	Proposed Impervious in DA (acres)	Receiving Waters	Ch. 93 Class	Structural SCM(s)
005	3.45	3.45	0.27	1.57	Chartiers Creek	WWF	Yes
Undetained Areas	2.69	2.69	0.00	0.13	Chartiers Creek	WWF	
<b>Totals:</b>	<b>6.14</b>	<b>6.14</b>	<b>0.27</b>	<b>1.70</b>			

# Volume Management

Project: Charter Homes at Hastings - Ph 5

- Instructions
- General
- Volume
- Rate
- Quality

2-Year / 24-Hour Storm Event (NOAA Atlas 14):  inches      Alternative 2-Year / 24-Hour Storm Event  inches

Alternative Source:

**Pre-Construction Conditions:**      No. Rows:        Exempt from Meadow in Good Condition  Automatically Calculate CN, Ia, Runoff and Volume

Land Cover	Area (acres)	Soil Group	CN	Ia (in)	Q Runoff (in)	Runoff Volume (cf)
Impervious Areas: Paved Parking Lots, Roofs, Driveways, Etc. (Excluding ROW)	0.27	N/A	98	0.041	2.12	2,079
Impervious Areas: Streets and Roads - Dirt (Including ROW)	0.65	C	87	0.299	1.19	2,800
Impervious as Meadow	0.07	C	71	0.817	0.42	106
Pervious as Meadow	5.29	C	71	0.817	0.42	8,034
Forested (Good Condition)	0.70	C	70	0.857	0.39	980
<b>TOTAL (ACRES):</b>	<b>6.98</b>				<b>TOTAL (CF):</b>	<b>14,000</b>

**Post-Construction Conditions:**      No. Rows:

Land Cover	Area (acres)	Soil Group	CN	Ia (in)	Q Runoff (in)	Runoff Volume (cf)
Impervious Areas: Paved Parking Lots, Roofs, Driveways, Etc. (Excluding ROW)	0.80	N/A	98	0.041	2.12	6,161
Impervious Areas: Streets and Roads - Paved; Curbs and Storm Sewers (Excluding ROW)	0.90	N/A	98	0.041	2.12	6,932
Open Space (Lawns, Parks, Golf Courses, Cemeteries, Etc.) - Good Condition (Grass Cover > 75%)	3.92	C	74	0.703	0.53	7,482

Woods (Good Condition)	0.52	C	70	0.857	0.39	728
------------------------	------	---	----	-------	------	-----

TOTAL (ACRES): 6.14

TOTAL (CF): 21,303

IET CHANGE IN VOLUME TO MANAGE (CF): 7,303

**Non-Structural SCM Volume Credits:**

Tree Planting Credit

Other (attach calculations):

Description:

CREDIT (CF):

**Structural SCM Volume Credits:**

No. Structural SCMs: 2

Start SCM Numbering at: 5

POA No.	SCM No.	SCM Name	MRC?	Discharge	Incremental SCM DA (acres)	Volume Routed to SCM (CF)	Infiltration / Vegetated Area (SF)	Infiltration Rate (in/hr)	Infiltration Period (hrs)	Vegetated?	Media Depth (ft)	Storage Volume (CF)	Infiltration Credit (CF)	ET Credit (CF)
(SCM 5.2)	005	Infiltration Basin (Tank Component)	-	to SCM No. 5	3.45	12,524	1,585	2.13	12			2,835	3,038	
(SCM 5.2)	005	Infiltration Basin (Basin Component)	-	Off-Site	0.00	9,486	941	2.13	28	Yes	2.0	4,722	4,209	495

Totals: 7,248 495

$(12,524 - 3,038 = 9,486)$

INFILTRATION & ET CREDITS (CF): 7,743

NET CHANGE IN VOLUME TO MANAGE (CF): 7,303

TOTAL CREDITS (CF): 7,743

VOLUME REQUIREMENT SATISFIED

# Rate Control

Project: Charter Homes at Hastings - Ph 5

Instructions

General

Volume

**Rate**

Quality

### Precipitation Amounts:

NOAA 2-Year 24-Hour Storm Event (in):

Alternative 2-Year 24-Hour Storm Event (in):

**2.35**

NOAA 10-Year 24-Hour Storm Event (in):

Alternative 10-Year 24-Hour Storm Event (in):

**3.32**

NOAA 50-Year 24-Hour Storm Event (in):

Alternative 50-Year 24-Hour Storm Event (in):

**4.43**

NOAA 100-Year 24-Hour Storm Event (in):

Alternative 100-Year 24-Hour Storm Event (in):

**4.96**

Report Summary of Peak Rates Only

Attach model input and output data or other calculations to support the rates reported below.

	<i>Peak Discharge Rates (cfs)</i>			
	Pre-Construction	Post-Construction	Net Change	
2-Year Storm:	5.50	2.31	-3.19	<i>Rate Control Satisfied</i>
10-Year Storm:	12.40	5.05	-7.35	<i>Rate Control Satisfied</i>
50-Year Storm:	21.58	18.90	-2.68	<i>Rate Control Satisfied</i>
100-Year Storm:	26.19	24.97	-1.22	<i>Rate Control Satisfied</i>

# Water Quality

Project: Charter Homes at Hastings - Ph 5

PRINT

Instructions

General

Volume

Rate

Quality

## Pre-Construction Pollutant Loads:

Land Cover (from Volume Worksheet)	Land Cover for Water Quality	Area (acres)	Soil Group	Runoff Volume (cf)	Pollutant Conc. (mg/L)			Pollutant Loads (lbs)		
					TSS	TP	TN	TSS	TP	TN
Impervious Areas: Paved Parking Lots, Roofs, Driveways, Etc. (Excluding ROW)	Residential	0.27	N/A	2,079	65.0	0.29	2.05	8.44	0.04	0.27
Impervious Areas: Streets and Roads - Dirt (Including ROW)	Highway (general)	0.65	C	2,800	141.0	0.43	2.65	24.65	0.08	0.46
Impervious as Meadow	Grassland/Herbaceous	0.07	C	106	48.8	0.22	2.30	0.32	0.00	0.02
Pervious as Meadow	Grassland/Herbaceous	5.29	C	8,034	48.8	0.22	2.30	24.48	0.11	1.15
Forested (Good Condition)	Deciduous Forest/Evergreen Forest/Mixed Forest	0.70	C	980	45.0	0.13	1.05	2.75	0.01	0.06
<b>TOTAL (ACRES):</b>		<b>6.98</b>			<b>TOTALS:</b>			<b>60.65</b>	<b>0.23</b>	<b>1.96</b>

## Post-Construction Pollutant Loads (without SCMs):

Land Cover (from Volume Worksheet)	Land Cover for Water Quality	Area (acres)	Soil Group	Runoff Volume (cf)	Pollutant Conc. (mg/L)			Pollutant Loads (lbs)		
					TSS	TP	TN	TSS	TP	TN

Impervious Areas: Paved Parking Lots, Roofs, Driveways, Etc. (Excluding ROW)	Residential	0.80	N/A	6,161	65.0	0.29	2.05	25.01	0.11	0.79
Impervious Areas: Streets and Roads - Paved; Curbs and Storm Sewers (Excluding ROW)	Urban Highway	0.90	N/A	6,932	142.0	0.32	3.00	61.46	0.14	1.30
Open Space (Lawns, Parks, Golf Courses, Cemeteries, Etc.) - Good Condition (Grass Cover > 75%)	Open Space	3.92	C	7,482	78.0	0.25	1.25	36.44	0.12	0.58
Woods (Good Condition)	Deciduous Forest/Evergreen Forest/Mixed Forest	0.52	C	728	45.0	0.13	1.05	2.05	0.01	0.05

**TOTAL (ACRES): 6.14**

**TOTALS: 124.96 0.37 2.72**

**POLLUTANT LOAD REDUCTION REQUIREMENTS (LBS):**

<b>64.30</b>	<b>0.14</b>	<b>0.76</b>
--------------	-------------	-------------

**Characterize Undetained Areas (for Untreated Stormwater)**

No. Rows:

**3**

Land Cover	Area (acres)	Soil Group	CN	Ia (in)	Q Runoff (in)	Runoff Volume (cf)
Impervious Areas: Paved Parking Lots, Roofs, Driveways, Etc. (Excluding ROW)	0.13	N/A	98	0.041	2.12	1,001
Open Space (Lawns, Parks, Golf Courses, Cemeteries, Etc.) - Good Condition (Grass Cover > 75%)	2.04	C	74	0.703	0.53	3,894
Woods (Good Condition)	0.52	C	70	0.857	0.39	728

**Non-Structural SCM Water Quality Credits:**

Pervious Undetained Area Credit

Other (attach calculations)

Description:

TSS	TP	TN

**Structural SCM Water Quality Credits:**

Use default SCM Outflows and Median SCM Outflow Concentrations

(SCM 5.2)

(SCM 5.2)

POA No.	SCM No.	SCM Name	MRC?	SCM DA (acres)	Vol. Routed to SCM (CF)	Inf. & ET Credits (CF)	Capture & Buffer Credits (CF)	Outflow (CF)	Outflow Conc. (mg/L)			Pollutant Loads (lbs)		
									TSS	TP	TN	TSS	TP	TN
005	5	Infiltration Basin (Tank Component)	-	3.45	12,524	3,038		9,486	-	-	-	-	-	-
005	6	Infiltration Basin (Basin Component)	-	0.00	9,486	4,704		4,782	10.00	0.24	0.96	2.99	0.07	0.29

**POLLUTANT LOADS FROM STRUCTURAL SCM (TREATED) OUTFLOWS (LBS):**

**POLLUTANT LOADS FROM UNTREATED STORMWATER (LBS):**

**NON-STRUCTURAL SCM WATER QUALITY CREDITS (LBS):**

**NET POLLUTANT LOADS FROM SITE, POST-CONSTRUCTION (LBS):**

**POLLUTANT LOADS FROM SITE, PRE-CONSTRUCTION (LBS):**

TSS	TP	TN
2.99	0.07	0.29
25.07	0.08	0.48
28.06	0.15	0.77
60.65	0.23	1.96

**WATER QUALITY REQUIREMENT SATISFIED**

**CERTIFICATION**

I certify under penalty of law and subject to the penalties of 18 Pa.C.S. § 4904 (relating to unsworn falsification to authorities) that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I further certify that the structure, function, and calculations contained in this spreadsheet have not been modified in comparison to the spreadsheet DEP has posted to its website or, if modifications were made, an explanation of the modifications made is attached to this spreadsheet.

**Ben Landin, E.I.T.**

Spreadsheet User Name

2/4/2026

Date

# Pond Report

## Pond No. 7 - Above Ground Infiltraton Basin w Soil

### Pond Data

Contours -User-defined contour areas. Conic method used for volume calculation. Begining Elevation = 848.00 ft

### Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	848.00	941	0	0
0.25	848.25	329	152	152
0.50	848.50	329	82	234
1.00	849.00	329	164	399
1.50	849.50	329	164	563
2.00	850.00	941	304	868
2.25	850.25	1,174	264	1,132
2.50	850.50	1,407	322	1,454
2.75	850.75	1,640	380	1,834
3.00	851.00	1,874	439	2,273
3.25	851.25	2,162	504	2,777
3.50	851.50	2,450	576	3,353
3.75	851.75	2,738	648	4,001
4.00	852.00	3,028	720	4,722
4.25	852.25	3,331	794	5,516
4.50	852.50	3,634	870	6,386
4.75	852.75	3,937	946	7,332
5.00	853.00	4,241	1,022	8,354
5.50	853.50	4,930	2,290	10,645
6.00	854.00	5,620	2,635	13,280

### Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 0.00	0.00	0.00	0.00
Span (in)	= 0.00	0.00	0.00	0.00
No. Barrels	= 0	0	0	0
Invert El. (ft)	= 0.00	0.00	0.00	0.00
Length (ft)	= 0.00	0.00	0.00	0.00
Slope (%)	= 0.00	0.00	0.00	n/a
N-Value	= .000	.000	.000	n/a
Orifice Coeff.	= 0.00	0.00	0.00	0.00
Multi-Stage	= n/a	No	No	No

### Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 0.00	0.00	0.00	0.00
Crest El. (ft)	= 0.00	0.00	0.00	0.00
Weir Coeff.	= 0.00	0.00	0.00	0.00
Weir Type	= ---	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 0.000	(by Contour)		
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

### Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Civ A cfs	Civ B cfs	Civ C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	848.00	---	---	---	---	---	---	---	---	---	---	0.000
0.03	15	848.03	---	---	---	---	---	---	---	---	---	---	0.000
0.05	30	848.05	---	---	---	---	---	---	---	---	---	---	0.000
0.08	46	848.08	---	---	---	---	---	---	---	---	---	---	0.000
0.10	61	848.10	---	---	---	---	---	---	---	---	---	---	0.000
0.13	76	848.13	---	---	---	---	---	---	---	---	---	---	0.000
0.15	91	848.15	---	---	---	---	---	---	---	---	---	---	0.000
0.18	107	848.18	---	---	---	---	---	---	---	---	---	---	0.000
0.20	122	848.20	---	---	---	---	---	---	---	---	---	---	0.000
0.23	137	848.23	---	---	---	---	---	---	---	---	---	---	0.000
0.25	152	848.25	---	---	---	---	---	---	---	---	---	---	0.000
0.28	160	848.28	---	---	---	---	---	---	---	---	---	---	0.000
0.30	169	848.30	---	---	---	---	---	---	---	---	---	---	0.000
0.33	177	848.33	---	---	---	---	---	---	---	---	---	---	0.000
0.35	185	848.35	---	---	---	---	---	---	---	---	---	---	0.000
0.38	193	848.38	---	---	---	---	---	---	---	---	---	---	0.000
0.40	202	848.40	---	---	---	---	---	---	---	---	---	---	0.000
0.43	210	848.43	---	---	---	---	---	---	---	---	---	---	0.000
0.45	218	848.45	---	---	---	---	---	---	---	---	---	---	0.000
0.48	226	848.48	---	---	---	---	---	---	---	---	---	---	0.000
0.50	234	848.50	---	---	---	---	---	---	---	---	---	---	0.000
0.55	251	848.55	---	---	---	---	---	---	---	---	---	---	0.000
0.60	267	848.60	---	---	---	---	---	---	---	---	---	---	0.000

Continues on next page...

# Pond Report

## Pond No. 13 - Infiltration Pipe Volume

### Pond Data

Contours -User-defined contour areas. Conic method used for volume calculation. Begining Elevation = 849.00 ft

### Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	849.00	634	0	0
0.25	849.25	634	158	158
0.50	849.50	634	158	317
0.75	849.75	634	158	475
1.00	850.00	634	158	634
1.25	850.25	949	197	830
1.50	850.50	1,059	251	1,081
1.75	850.75	1,128	273	1,355
2.00	851.00	1,172	287	1,642
2.25	851.25	1,197	296	1,938
2.50	851.50	1,205	300	2,238
2.75	851.75	1,197	300	2,539
3.00	852.00	1,172	296	2,835
3.25	852.25	1,128	287	3,122
3.50	852.50	1,059	273	3,395
3.75	852.75	949	251	3,646
4.00	853.00	634	197	3,843
4.25	853.25	634	158	4,001
4.50	853.50	634	158	4,160



### Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 0.00	0.00	0.00	0.00
Span (in)	= 0.00	0.00	0.00	0.00
No. Barrels	= 0	0	0	0
Invert El. (ft)	= 0.00	0.00	0.00	0.00
Length (ft)	= 0.00	0.00	0.00	0.00
Slope (%)	= 0.00	0.00	0.00	n/a
N-Value	= .000	.000	.000	n/a
Orifice Coeff.	= 0.00	0.00	0.00	0.00
Multi-Stage	= n/a	No	No	No

### Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 0.00	0.00	0.00	0.00
Crest El. (ft)	= 0.00	0.00	0.00	0.00
Weir Coeff.	= 0.00	0.00	0.00	0.00
Weir Type	= ---	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 0.000	(by Wet area)		
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

### Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	849.00	---	---	---	---	---	---	---	---	---	---	0.000
0.03	16	849.03	---	---	---	---	---	---	---	---	---	---	0.000
0.05	32	849.05	---	---	---	---	---	---	---	---	---	---	0.000
0.08	48	849.08	---	---	---	---	---	---	---	---	---	---	0.000
0.10	63	849.10	---	---	---	---	---	---	---	---	---	---	0.000
0.13	79	849.13	---	---	---	---	---	---	---	---	---	---	0.000
0.15	95	849.15	---	---	---	---	---	---	---	---	---	---	0.000
0.18	111	849.18	---	---	---	---	---	---	---	---	---	---	0.000
0.20	127	849.20	---	---	---	---	---	---	---	---	---	---	0.000
0.23	143	849.23	---	---	---	---	---	---	---	---	---	---	0.000
0.25	158	849.25	---	---	---	---	---	---	---	---	---	---	0.000
0.28	174	849.28	---	---	---	---	---	---	---	---	---	---	0.000
0.30	190	849.30	---	---	---	---	---	---	---	---	---	---	0.000
0.33	206	849.33	---	---	---	---	---	---	---	---	---	---	0.000
0.35	222	849.35	---	---	---	---	---	---	---	---	---	---	0.000
0.38	238	849.38	---	---	---	---	---	---	---	---	---	---	0.000
0.40	254	849.40	---	---	---	---	---	---	---	---	---	---	0.000
0.43	269	849.43	---	---	---	---	---	---	---	---	---	---	0.000
0.45	285	849.45	---	---	---	---	---	---	---	---	---	---	0.000
0.48	301	849.48	---	---	---	---	---	---	---	---	---	---	0.000
0.50	317	849.50	---	---	---	---	---	---	---	---	---	---	0.000
0.52	333	849.53	---	---	---	---	---	---	---	---	---	---	0.000
0.55	349	849.55	---	---	---	---	---	---	---	---	---	---	0.000
0.57	365	849.58	---	---	---	---	---	---	---	---	---	---	0.000

Continues on next page...

## Below Ground Infiltration Basin

### Infiltration Period Calculation

Storage Volume	2835 CF
Surface Area	1585 SF
Volume Routed to SCM*	12524 CF
Infiltration Rate	2.13 in/hr

Infiltration Capacity	281.3375
Infiltration Period	10.076865 Hrs

\*Where Storage Volume below lowest orifice is less than volume routed to SCM, use storage volume below lowest orifice

## Above Ground Infiltration Basin

### Infiltration Period Calculation

Storage Volume	4722 CF
Surface Area	941 SF
Volume Routed to SCM*	9506 CF
Infiltration Rate	2.13 in/hr

Infiltration Capacity	167.0275
Infiltration Period	28.270794 Hrs

\*Where Storage Volume below lowest orifice is less than volume routed to SCM, use storage volume below lowest orifice

Project Number: C-18927-0096 Date: 2/4/2026

Prepared By: BRL Page Number: \_\_\_\_\_

Project Name: Hastings Phase 5



Attendee(s): \_\_\_\_\_

Purpose / Goal: Design Infiltration Rate Calculation

Bottom of Infiltration Basin Soil Media = 848.00

Tests at Elevation 848 Use FOS=2 Per Grottech

ITP-1	2.5 in/hr	$\times \frac{1}{2}$	=	1.25 in/hr
ITP-2	2.6 in/hr	$\times \frac{1}{2}$	=	1.3 in/hr
ITP-3	2.4 in/hr	$\times \frac{1}{2}$	=	1.2 in/hr

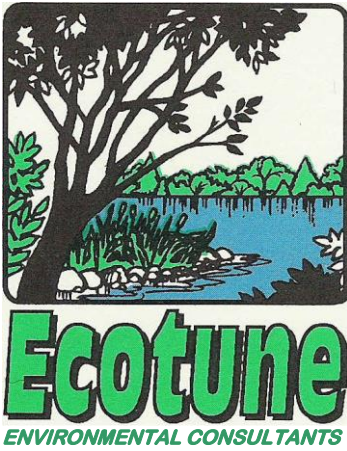
Temperature Adjustment Factor per PCSM Manual App B-Table B-5  
(Temp 30° ±)

ITP-1	1.25 in/hr	$\times 1.7$	=	2.13 in/hr
ITP-2	1.3 in/hr	$\times 1.7$	=	2.21 in/hr
ITP-3	1.2 in/hr	$\times 1.7$	=	2.04 in/hr

Geometric Mean

$$(2.13 \times 2.21 \times 2.04)^{1/3} = \boxed{2.13 \text{ in/hr Design Rate}}$$

**APPENDIX F**  
**SOIL INFILTRATION TESTING REPORT**



Charter Homes  
322 N. Arch Street  
Lancaster, PA 17603

19 JAN 2026

Attn: Anthony  
Re: Hastings Site – Infiltration Testing Report #2  
Phase 1.9.3, 1.9.4 and OTB Alternate Area

Dear Anthony:

We have completed the infiltration testing at the Hastings Site (inclusive of the Phase 1.9.3, 1.9.4 and OTB Alternate Areas) as per the design provided by the Gateway Engineers (refer to Figures 1 & 2).

The Gateway Infiltration Test Plans consisted of three (3) infiltration test pit sites (TP-1, TP-2 and TP-3) in the Phase 1.9.3/1.9.4 proposed basin area and an three (3) infiltration test pit sites (TP-7, TP-8, TP-9) in the OTB Alternate Area (TP 1-6 were completed during the initial testing phase at the OTB Area).

We initiated the testing procedure by staking all 6 test sites in the field using the lat./long. information provided by Gateway.

At each TP location, a test pit was then excavated from the existing ground surface down to the depth of proposed testing elevation. The excavations within each TP then proceeded an additional 2' lower that the test elevation to determine the presence/absence of any bearing surface. Test benches were established (one at each test elevation) within each TP based on observed soil conditions, and infiltration testing was then conducted.

A brief profile description of the soil profile within each TP location can be seen in Appendix A and photographs of each TP can be seen in Appendix B.

A bearing surface (clay and solid rock) was encountered in several of the TP locations, but these bearing surfaces were higher in elevation than the prescribed test elevations.

Signs of deposited fill were encountered in a number of the TP locations, but at elevations higher than the proposed test elevations.

A summary of the Test Pits is as follows:

TP#	EGS	Test El.	Test Depth	Pit Depth
1	860.0	848.0	12.0	14.7
1A		846.0	14.0	
2	858.0	848.0	10.0	14.3
2A		846.0	12.0	
3	857.0	848.0	9.0	13.9
3A		846.0	11.0	
7	846.5	842.0	4.5	8.9
7A		840.0	6.5	
8	847.0	842.0	5.0	9.3
8A		840.0	7.0	
9	845.0	842.0	3.0	7.6
9A		840.0	5.0	

TP#	Test Pit number
EGS	Existing Ground Surface elevation
Test El.	Test Elevation
Test Depth	Depth from EGS to infiltration test locations (2/TP)
Pit Depth	Total depth of Test Pit

Following the excavation of each test pit, the soils on each test bench were scarified to remove any soils that were compacted while excavating or working in the Test Pit.

A 12" high double-ring infiltrometer (consisting of an 8" outer ring and a 4" inner ring) was installed in each test pit at the test depths, with approximately 4" being driven into the ground, while 8" remaining above the floor elevation of each test pit.

The infiltration testing was conducted according to the following protocol:

1. Both rings of each infiltrometer were filled with clean water and two, thirty-minute-long preliminary infiltration rate tests were completed in order to determine the appropriate time interval (10- or 30-minute) for monitoring the infiltration tests.

The pre-test periods determined preliminary infiltration rates of greater than 2"/hour in all of the test pits, so each test location was subsequently monitored one time every 10 minutes respectively.

At the conclusion of the pre-testing periods, both rings of each infiltrometer were again filled with clean water to a pre-marked point on the inside of each ring.

2. Each Infiltrometer was monitored one time per 10 minutes for a minimum of 4 readings or until a stabilized rate of drop is obtained (defined as a difference of ¼ inch or less of drop between the highest and the lowest readings of four consecutive readings). During each monitoring, the drop in water surface elevation within the inner ring of each infiltrometer was measured (to the nearest 0.1") and recorded. Both rings of each infiltrometer were again filled with clean water to a pre-marked point on the inside of each ring.

3. At the conclusion of the timed infiltration intervals, the infiltrometers were removed from each Test Pit.

The raw and adjusted (for a factor of safety of 2 based upon the soils observed) results of the infiltration testing conducted at each depth within each test pit can be seen in Table 1.

If you have any questions, please contact me at my office.

Sincerely,



Patrick D. Gavaghan  
Senior Ecologist, Owner

**Table 1**

Infiltration Rates (in Inches/hr.)

ITP	Test Depth	Ave Rate/hr.	Adjusted Rate/Hr.*
1	12.0'	2.50	1.25
1A	14.0'	3.00	1.50
2	10.0'	2.60	1.30
2A	12.0'	2.90	1.45
3	9.0'	2.40	1.20
3A	11.0'	2.80	1.40
7	4.4'	1.60	0.80
7A	6.5'	2.60	1.30
8	5.0'	1.80	0.90
8A	7.0'	2.20	1.10
9	3.0'	1.40	0.70
9A	5.0'	1.70	0.85

\* Adjuster rate per hour based upon a Factor of Safety of 2 (based on observed soil conditions).

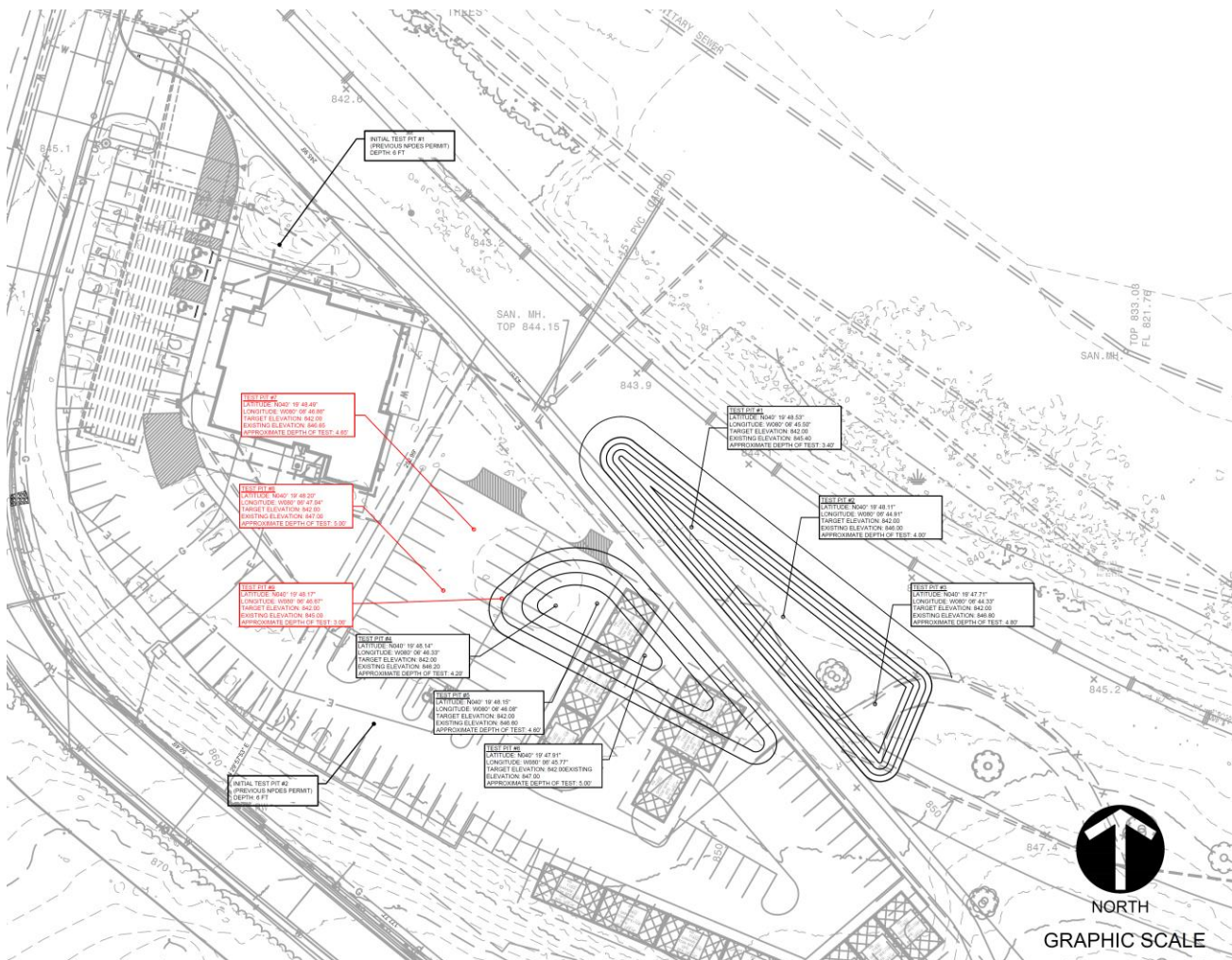


Figure 1 – Infiltration Testing Plan – OTB Alternate Area

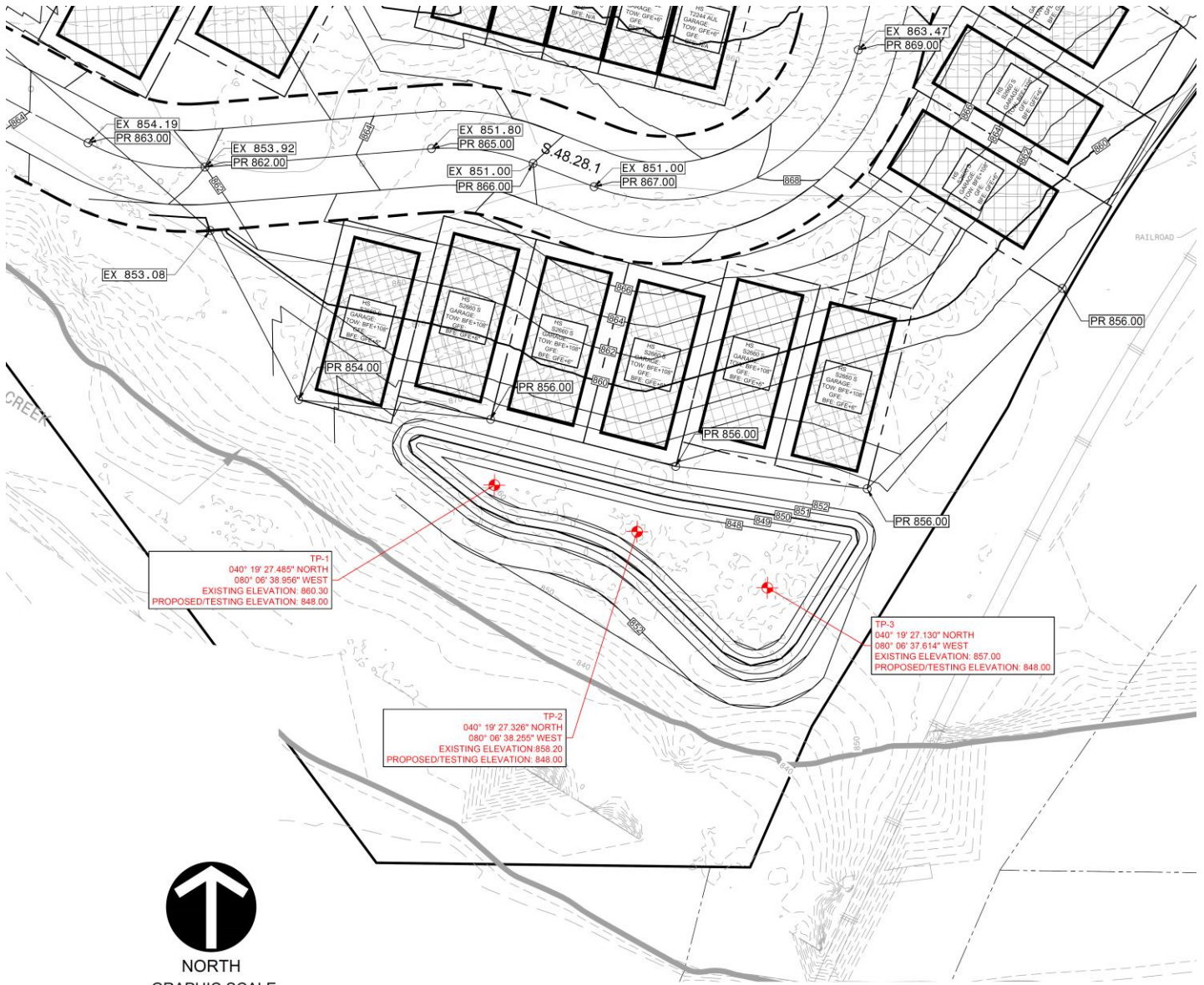


Figure 2 – Infiltration Testing Plan – Phase 1.9.3 / 1.9.4 Area

## Appendix A – Soil Profile Information

<b>TP-1 860.0</b>	Upper Limit (ft.)	Lower Limit (ft.)	Texture Class	Color	Color patterns	Pores, roots, rock, etc.	Depth to rock	Depth to water
	0	2.5	C	10YR4/3	-	Roots Debris (fill)	-	-
	2.5	4.9	C	10YR4/4 10YR4/1	Mottles	Debris (fill)	-	-
	4.9	6.3	SC	10YR5/4 10YR6/4	-	Debris (fill)	-	-
	6.3	9.2	SC	10YR4/6 10YR5/2	-	Debris (fill)	-	-
	9.2	10.0	Rock	-	-	Sandstone	-	-
	10.0	14.7	SC	10YR5/4 10YR4/3	-	rocks	-	-

L – Loam, CS – Course Sandy, SL – Sandy Loam, CL – Clay Loam, SHL – Shale loam, SC – Sandy Clay, C – Clay, SS – Solid Shale, WS – Weathered Shale

<b>TP-2 858.0</b>	Upper Limit (ft.)	Lower Limit (ft.)	Texture Class	Color	Color patterns	Pores, roots, rock, etc.	Depth to rock	Depth to water
	0	1.3	C	10YR4/3 10YR5/3	-	Roots Debris (fill)	-	-
	1.3	3.1	C	10YR5/3 10YR5/4	-	Debris (fill)	-	-
	3.1	7.4	C	10YR5/3 10YR5/4	-	Debris (fill)	-	-
	7.4	8.1	Rock	-	-	Sandstone	-	-
	8.1	14.3	SC	10YR4/6 10YR4/4	-	rocks	-	-

L – Loam, CS – Course Sandy, SL – Sandy Loam, CL – Clay Loam, SHL – Shale loam, SC – Sandy Clay, C – Clay, SS – Solid Shale, WS – Weathered Shale

<b>TP-3 857.0</b>	Upper Limit (ft.)	Lower Limit (ft.)	Texture Class	Color	Color patterns	Pores, roots, rock, etc.	Depth to rock	Depth to water
	0	1.1	C	10YR4/3	-	Roots Debris (fill)	-	-
	1.1	2.8	C	10YR5/5 10YR4/3	-	Debris (fill)	-	-
	2.8	4.4	SC	10YR5/6 10YR5/4	-	Debris (fill)	-	-
	4.4	7.6	SC	10YR3/4 10YR3/2	-	Debris (fill)	-	-
	7.6	9.8	Bricks	-	-	Bricks	-	-
	9.8	13.9	SC	10YR4/5 10YR4/3	-	rocks	-	-

L – Loam, CS – Course Sandy, SL – Sandy Loam, CL – Clay Loam, SHL – Shale loam, SC – Sandy Clay, C – Clay, SS – Solid Shale, WS – Weathered Shale

<b>TP-7 846.5</b>	Upper Limit (ft.)	Lower Limit (ft.)	Texture Class	Color	Color patterns	Pores, roots, rock, etc.	Depth to rock	Depth to water
	0	0.5	CL	10YR4/4 10YR4/3	-	Roots	-	-
	0.5	1.3	SC	10YR4/5 10YR4/2	-	Debris (fill)	-	-
	1.3	4.3	C	10YR5/6 10YR5/3	-	Debris (fill)	-	-
	4.3	4.8	SC	10YR5/5 10YR4/3	-	Debris (fill) Shale	-	-
	4.8	8.9	WS	-	-	Weathered shale	-	-

L – Loam, CS – Course Sandy, SL – Sandy Loam, CL – Clay Loam, SHL – Shale loam, SC – Sandy Clay, C – Clay, SS – Solid Shale, WS – Weathered Shale

<b>TP-8 847.0</b>	Upper Limit (ft.)	Lower Limit (ft.)	Texture Class	Color	Color patterns	Pores, roots, rock, etc.	Depth to rock	Depth to water
	0	0.6	SC	10YR4/4	-	Roots Debris (fill)	-	-
	0.6	1.5	SC	10YR4/6 10YR4/4	-	Debris (fill)	-	-
	1.5	4.1	C	10YR5/6 10YR5/3	-	Debris (fill)	-	-
	4.1	9.3	SC	10YR5/6 10YR4/3	-	Rocks	-	-

L – Loam, CS – Course Sandy, SL – Sandy Loam, CL – Clay Loam, SHL – Shale loam, SC – Sandy Clay, C – Clay, SS – Solid Shale, WS – Weathered Shale

<b>TP-9 845.0</b>	Upper Limit (ft.)	Lower Limit (ft.)	Texture Class	Color	Color patterns	Pores, roots, rock, etc.	Depth to rock	Depth to water
	0	0.8	SC	10YR4/4	-	Roots Debris (fill)	-	-
	0.8	7.6	SC	10YR4/6 10YR4/3	-	rocks	-	-

L – Loam, CS – Course Sandy, SL – Sandy Loam, CL – Clay Loam, SHL – Shale loam, SC – Sandy Clay, C – Clay, SS – Solid Shale, WS – Weathered Shale

**Appendix B – Test Pit Photos**



TP-1



TP-2



TP-3



TP-7



TP-8



TP-9

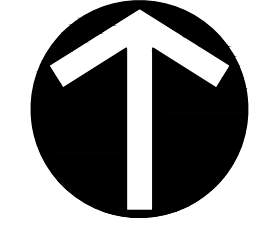
## **APPENDIX G**

# **STORM SEWER & RIPRAP CALCULATIONS**

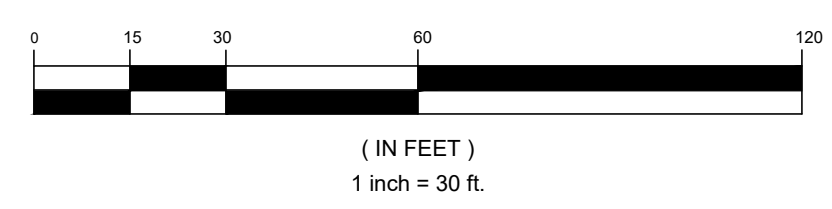
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 Plot Date: 12/28/2023 9:54 AM Location: R:\LANCASTER, PA  
 Save Date: 12/28/2023 9:47 PM



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REVISION RECORD	
No	Date
01	
02	
03	
04	
05	
06	
07	
08	

**HASTINGS**  
 South Fayette Township/Pittsburgh, PA  
 CHARTER Homes & Neighborhoods

HASTINGS PHASE 1.9.3 & 1.9.4  
 MAYVIEW ROAD  
 PITTSBURGH, PA 15102  
 PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC.**  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA 17603

INLET DRAINAGE AREA MAP  
 Project Number: 18927-0096  
 Drawing Scale: 1" = 30'  
 Date Issued: DEC. 2023  
 Index Number: -  
 Drawn By: DRC  
 Checked By: DMH  
 Project Manager: DMH  
**INLET DAS**



The Gateway Engineers, Inc.  
 100 McMorris Road  
 Pittsburgh, Pennsylvania 15205-9401  
 Phone: 412-921-4030  
 Facsimile: 412-921-9960

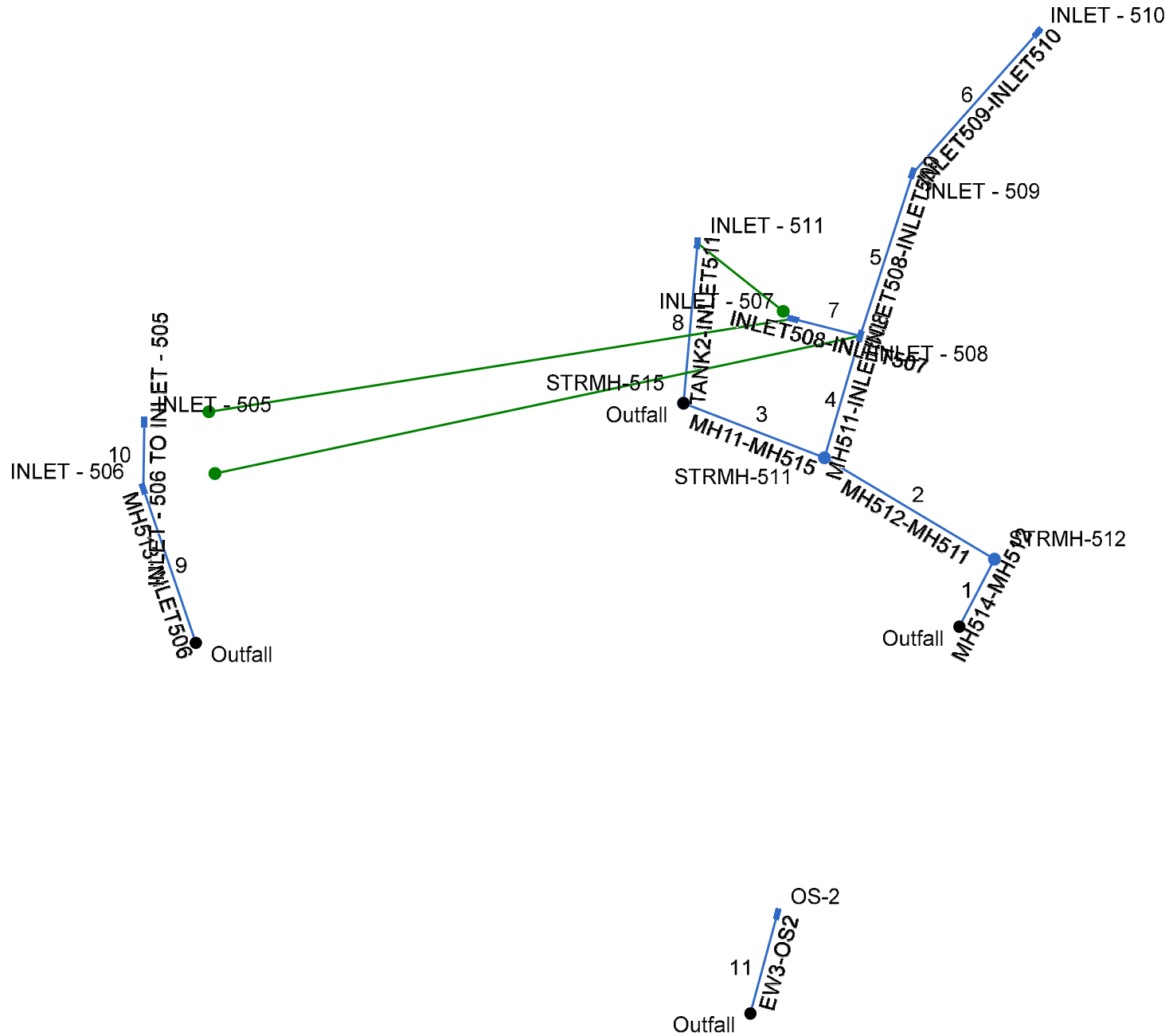
Date: 2026-02-04  
 Project: Hastings Phase 5  
 Project No: C-18927-0096  
 By: BL

Design Storm: 100  
 Rainfall Intensity: 8.52 (Tc = 5 min assumed for all inlet drainage areas)  
 PennDOT IDF Curve: Region 3

**SUB-AREA RUNOFF CALCULATIONS**

Receiving Structure	Drainage Area (AC)	Impervious Area (AC)	Impervious 'C' Value	Impervious Runoff (CFS)	Pervious Area (AC)	Pervious 'C' Value	Pervious Runoff (CFS)	Composite 'C' Value	Total Runoff (CFS)
INLET 505	0.95	0.35	0.90	2.68	0.60	0.35	1.79	0.55	4.47
INLET 506	0.32	0.30	0.90	2.30	0.02	0.35	0.06	0.87	2.36
INLET 507	0.45	0.08	0.90	0.61	0.37	0.35	1.10	0.45	1.72
INLET 508	0.13	0.11	0.90	0.84	0.02	0.35	0.06	0.82	0.90
INLET 509	0.32	0.20	0.90	1.53	0.12	0.35	0.36	0.69	1.89
INLET 510	0.19	0.11	0.90	0.84	0.08	0.35	0.24	0.67	1.08
INLET 511	0.09	0.09	0.90	0.69	0.00	0.35	0.00	0.90	0.69
STRMH-511	0.04	0.04	0.90	0.31	0.00	0.35	0.00	0.90	0.31

# Hydraflow Storm Sewers Extension for Autodesk® Civil 3D® Plan



# Storm Sewer Inventory Report

Line No.	Alignment				Flow Data				Physical Data								Line ID
	Dnstr Line No.	Line Length (ft)	Defl angle (deg)	Junc Type	Known Q (cfs)	Drng Area (ac)	Runoff Coeff (C)	Inlet Time (min)	Invert El Dn (ft)	Line Slope (%)	Invert El Up (ft)	Line Size (in)	Line Shape	N Value (n)	J-Loss Coeff (K)	Inlet/ Rim El (ft)	
1	End	28.521	-62.502	MH	0.00	0.00	0.00	5.0	851.00	1.05	851.30	15	Cir	0.011	1.00	859.11	MH514-MH512
2	1	73.935	-86.573	MH	0.00	0.00	0.00	5.0	851.50	1.76	852.80	15	Cir	0.011	0.97	866.96	MH512-MH511
3	2	56.549	-9.750	MH	1.72	0.00	0.00	5.0	853.00	2.65	854.50	15	Cir	0.011	1.00	865.42	MH11-MH515
4	2	47.552	75.400	Grate	0.00	0.13	0.82	5.0	860.03	2.00	860.98	15	Cir	0.011	1.50	868.21	MH511-INLET508
5	4	64.126	1.401	Grate	0.00	0.32	0.69	5.0	860.98	5.01	864.19	15	Cir	0.011	0.69	871.91	INLET508-INLET509
6	5	70.341	23.835	Grate	0.00	0.19	0.67	5.0	864.19	3.99	867.00	15	Cir	0.011	1.00	875.61	INLET509-INLET510
7	4	26.000	-92.106	Grate	0.00	0.45	0.45	5.0	860.98	1.00	861.24	15	Cir	0.011	1.00	866.99	INLET508-INLET507
8	End	60.238	-85.000	Grate	0.00	0.04	0.90	5.0	855.50	19.51	867.25	15	Cir	0.011	1.00	870.25	TANK2-INLET511
9	End	61.000	-108.837	Grate	0.00	0.32	0.87	5.0	850.00	0.00	850.00	15	Cir	0.011	0.58	857.82	MH513-INLET506
10	9	25.001	19.613	Grate	0.00	0.95	0.55	5.0	853.01	1.00	853.26	15	Cir	0.011	1.00	857.81	INLET - 506 TO INL
11	End	38.606	-74.931	Grate	15.59	0.00	0.00	5.0	844.00	7.77	847.00	18	Cir	0.011	1.00	852.25	EW3-OS2

Project File: storm sewers.stm

Number of lines: 11

Date: 2/9/2026

# Structure Report

Struct No.	Structure ID	Junction Type	Rim Elev (ft)	Structure			Line Out			Line In		
				Shape	Length (ft)	Width (ft)	Size (in)	Shape	Invert (ft)	Size (in)	Shape	Invert (ft)
1	STRMH-512	Manhole	859.11	Cir	4.00	4.00	15	Cir	851.30	15	Cir	851.50
2	STRMH-511	Manhole	866.96	Cir	4.00	4.00	15	Cir	852.80	15 15	Cir Cir	853.00 860.03
3	STRMH-515	Manhole	865.42	Cir	4.00	4.00	15	Cir	854.50			
4	INLET - 508	Grate	868.21	Rect	4.00	2.00	15	Cir	860.98	15 15	Cir Cir	860.98 860.98
5	INLET - 509	Grate	871.91	Rect	4.00	2.00	15	Cir	864.19	15	Cir	864.19
6	INLET - 510	Grate	875.61	Rect	4.00	2.00	15	Cir	867.00			
7	INLET - 507	Grate	866.99	Rect	4.00	2.00	15	Cir	861.24			
8	INLET - 511	Grate	870.25	Rect	4.00	2.00	15	Cir	867.25			
9	INLET - 506	Grate	857.82	Rect	4.00	2.00	15	Cir	850.00	15	Cir	853.01
10	INLET - 505	Grate	857.81	Rect	4.00	2.00	15	Cir	853.26			
11	OS-2	Grate	852.25	Rect	4.00	2.00	18	Cir	847.00			

Project File: storm sewers.stm

Number of Structures: 11

Run Date: 2/9/2026

# Storm Sewer Summary Report

Line No.	Line ID	Flow rate (cfs)	Line Size (in)	Line shape	Line length (ft)	Invert EL Dn (ft)	Invert EL Up (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor loss (ft)	HGL Junct (ft)	Dns Line No.	Junction Type
1	MH514-MH512	6.67	15	Cir	28.521	851.00	851.30	1.052	852.04	852.34	0.58	852.34	End	Manhole
2	MH512-MH511	6.72	15	Cir	73.935	851.50	852.80	1.758	852.34	853.84	n/a	853.84	1	Manhole
3	MH11-MH515	1.72	15	Cir	56.549	853.00	854.50	2.653	853.84	855.02	n/a	855.02 j	2	Manhole
4	MH511-INLET508	5.05	15	Cir	47.552	860.03	860.98	1.998	860.63	861.89	0.65	861.89	2	Grate
5	INLET508-INLET509	2.74	15	Cir	64.126	860.98	864.19	5.006	861.89	864.85	n/a	864.85 j	4	Grate
6	INLET509-INLET510	1.08	15	Cir	70.341	864.19	867.00	3.995	864.85	867.41	n/a	867.41 j	5	Grate
7	INLET508-INLET507	1.72	15	Cir	26.000	860.98	861.24	1.000	861.89	861.76	0.20	861.76	4	Grate
8	TANK2-INLET511	0.31	15	Cir	60.238	855.50	867.25	19.506	855.71	867.46	0.07	867.46	End	Grate
9	MH513-INLET506	6.77	15	Cir	61.000	850.00	850.00	0.000	851.04*	851.64*	0.27	851.91	End	Grate
10	INLET - 506 TO INLET - 505	4.45	15	Cir	25.001	853.01	853.26	1.000	853.70	854.11	n/a	854.11	9	Grate
11	EW3-OS2	15.59	18	Cir	38.606	844.00	847.00	7.771	845.42	848.42	1.26	848.42	End	Grate

Project File: storm sewers.stm

Number of lines: 11

Run Date: 2/9/2026

NOTES: Return period = 100 Yrs. ; \*Surcharged (HGL above crown). ; j - Line contains hyd. jump.

# Storm Sewer Tabulation

Station		Len (ft)	Drng Area		Rnoff coeff (C)	Area x C		Tc		Rain (l) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
Line	To Line		Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
1	End	28.521	0.00	1.09	0.00	0.00	0.66	5.0	7.2	7.5	6.67	7.83	6.12	15	1.05	851.00	851.30	852.04	852.34	859.09	859.11	MH514-MH512
2	1	73.935	0.00	1.09	0.00	0.00	0.66	5.0	7.0	7.6	6.72	10.12	6.92	15	1.76	851.50	852.80	852.34	853.84	859.11	866.96	MH512-MH511
3	2	56.549	0.00	0.00	0.00	0.00	0.00	5.0	5.0	0.0	1.72	12.43	2.76	15	2.65	853.00	854.50	853.84	855.02	866.96	865.42	MH11-MH515
4	2	47.552	0.13	1.09	0.82	0.11	0.66	5.0	6.8	7.7	5.05	10.79	6.96	15	2.00	860.03	860.98	860.63	861.89	866.96	868.21	MH511-INLET508
5	4	64.126	0.32	0.51	0.69	0.22	0.35	5.0	6.3	7.9	2.74	17.07	3.50	15	5.01	860.98	864.19	861.89	864.85	868.21	871.91	INLET508-INLET5
6	5	70.341	0.19	0.19	0.67	0.13	0.13	5.0	5.0	8.5	1.08	15.25	2.37	15	3.99	864.19	867.00	864.85	867.41	871.91	875.61	INLET509-INLET5
7	4	26.000	0.45	0.45	0.45	0.20	0.20	5.0	5.0	8.5	1.72	7.63	2.68	15	1.00	860.98	861.24	861.89	861.76	868.21	866.99	INLET508-INLET5
8	End	60.238	0.04	0.04	0.90	0.04	0.04	5.0	5.0	8.5	0.31	33.71	2.19	15	19.51	855.50	867.25	855.71	867.46	865.42	870.25	TANK2-INLET511
9	End	61.000	0.32	1.27	0.87	0.28	0.80	5.0	5.1	8.5	6.77	0.00	5.85	15	0.00	850.00	850.00	851.04	851.64	854.24	857.82	MH513-INLET506
10	9	25.001	0.95	0.95	0.55	0.52	0.52	5.0	5.0	8.5	4.45	7.63	5.72	15	1.00	853.01	853.26	853.70	854.11	857.82	857.81	INLET - 506 TO I
11	End	38.606	0.00	0.00	0.00	0.00	0.00	5.0	5.0	0.0	15.59	34.60	9.02	18	7.77	844.00	847.00	845.42	848.42	849.76	852.25	EW3-OS2

Project File: storm sewers.stm

Number of lines: 11

Run Date: 2/9/2026

NOTES: Intensity = 40.14 / (Inlet time + 5.60) ^ 0.66; Return period = Yrs. 100 ; c = cir e = ellip b = box

# Inlet Report

Line No	Inlet ID	Q = CIA (cfs)	Q carry (cfs)	Q capt (cfs)	Q Byp (cfs)	Junc Type	Curb Inlet		Grate Inlet			Gutter						Inlet			Byp Line No		
							Ht (in)	L (ft)	Area (sqft)	L (ft)	W (ft)	So (ft/ft)	W (ft)	Sw (ft/ft)	Sx (ft/ft)	n	Depth (ft)	Spread (ft)	Depth (ft)	Spread (ft)		Depr (in)	
1	STRMH-512	0.00	0.00	0.00	0.00	MH	0.0	0.00	0.00	0.00	0.00	Sag	0.00	0.000	0.000	0.000	0.00	0.00	0.00	0.00	0.00	0.0	Off
2	STRMH-511	0.00	0.00	0.00	0.00	MH	0.0	0.00	0.00	0.00	0.00	Sag	0.00	0.000	0.000	0.000	0.00	0.00	0.00	0.00	0.00	0.0	Off
3	STRMH-515	1.72*	0.00	0.00	1.72	MH	0.0	0.00	0.00	0.00	0.00	Sag	0.00	0.000	0.000	0.000	0.00	0.00	0.00	0.00	0.00	0.0	Off
4	INLET - 508	0.91	0.35	1.14	0.12	Grate	0.0	0.00	0.00	4.00	2.00	0.050	2.00	0.050	0.020	0.013	0.15	4.38	0.06	1.26	0.0	9	
5	INLET - 509	1.88	0.08	1.61	0.35	Grate	0.0	0.00	0.00	4.00	2.00	0.050	2.00	0.050	0.020	0.013	0.17	5.52	0.09	1.87	0.0	4	
6	INLET - 510	1.08	0.00	1.01	0.08	Grate	0.0	0.00	0.00	4.00	2.00	0.050	2.00	0.050	0.020	0.013	0.14	4.03	0.05	1.07	0.0	5	
7	INLET - 507	1.72	0.00	1.46	0.26	Grate	0.0	0.00	0.00	4.00	2.00	0.050	2.00	0.050	0.020	0.013	0.16	5.18	0.08	1.69	0.0	10	
8	INLET - 511	0.31	0.00	0.31	0.00	Grate	0.0	0.00	0.00	4.00	2.00	0.050	2.00	0.050	0.020	0.013	0.09	1.79	0.00	0.00	0.0	7	
9	INLET - 506	2.37	0.12	2.49	0.00	Grate	0.0	0.00	6.14	4.00	2.00	Sag	2.00	0.050	0.020	0.000	0.27	10.53	0.27	10.53	0.0	Off	
10	INLET - 505	4.45	0.26	4.71	0.00	Grate	0.0	0.00	6.14	4.00	2.00	Sag	2.00	0.050	0.020	0.000	0.39	16.38	0.39	16.38	0.0	Off	
11	OS-2	15.59*	0.00	15.59	0.00	Grate	0.0	0.00	6.14	4.00	2.00	Sag	2.00	0.050	0.020	0.000	0.80	37.00	0.80	37.00	0.0	Off	

Project File: storm sewers.stm

Number of lines: 11

Run Date: 2/9/2026

NOTES: Inlet N-Values = 0.016; Intensity = 40.14 / (Inlet time + 5.60) ^ 0.66; Return period = 100 Yrs. ; \* Indicates Known Q added. All curb inlets are Horiz throat.

# Hydraulic Grade Line Computations

Line	Size (in)	Q (cfs)	Downstream								Len (ft)	Upstream								Check		JL coeff (K)	Minor loss (ft)
			Invert elev (ft)	HGL elev (ft)	Depth (ft)	Area (sqft)	Vel (ft/s)	Vel head (ft)	EGL elev (ft)	Sf (%)		Invert elev (ft)	HGL elev (ft)	Depth (ft)	Area (sqft)	Vel (ft/s)	Vel head (ft)	EGL elev (ft)	Sf (%)	Ave Sf (%)	Enrgy loss (ft)		
1	15	6.67	851.00	852.04	1.04	1.09	6.12	0.58	852.62	0.000	28.521	851.30	852.34	1.04**	1.09	6.12	0.58	852.92	0.000	0.000	n/a	1.00	0.58
2	15	6.72	851.50	852.34	0.84	0.87	7.69	0.59	852.93	0.000	73.935	852.80	853.84	1.04**	1.09	6.15	0.59	854.43	0.000	0.000	n/a	0.97	n/a
3	15	1.72	853.00	853.84	0.84	0.48	1.96	0.20	854.04	0.000	56.549	854.50	855.02 j	0.52**	0.48	3.56	0.20	855.22	0.000	0.000	n/a	1.00	0.20
4	15	5.05	860.03	860.63	0.60*	0.58	8.64	0.43	861.06	0.000	47.552	860.98	861.89	0.91**	0.96	5.27	0.43	862.32	0.000	0.000	n/a	1.50	0.65
5	15	2.74	860.98	861.89	0.91	0.66	2.86	0.27	862.16	0.000	64.126	864.19	864.85 j	0.66**	0.66	4.14	0.27	865.12	0.000	0.000	n/a	0.69	n/a
6	15	1.08	864.19	864.85	0.66	0.35	1.64	0.15	865.00	0.000	70.341	867.00	867.41 j	0.41**	0.35	3.10	0.15	867.56	0.000	0.000	n/a	1.00	0.15
7	15	1.72	860.98	861.89	0.91	0.48	1.80	0.20	862.09	0.000	26.000	861.24	861.76	0.52**	0.48	3.56	0.20	861.96	0.000	0.000	n/a	1.00	0.20
8	15	0.31	855.50	855.71	0.21*	0.14	2.19	0.07	855.79	0.000	60.238	867.25	867.46	0.21**	0.14	2.19	0.07	867.54	0.000	0.000	n/a	1.00	0.07
9	15	6.77	850.00	851.04	1.04*	1.10	6.18	0.59	851.64	0.761	61.000	850.00	851.64	1.25	1.23	5.52	0.47	852.11	0.787	0.774	0.472	0.58	0.27
10	15	4.45	853.01	853.70	0.69*	0.69	6.45	0.39	854.08	0.000	25.001	853.26	854.11	0.85**	0.89	4.98	0.39	854.50	0.000	0.000	n/a	1.00	n/a
11	18	15.59	844.00	845.42	1.42*	1.73	9.02	1.26	846.68	0.000	38.606	847.00	848.42	1.42**	1.73	9.02	1.26	849.68	0.000	0.000	n/a	1.00	1.26

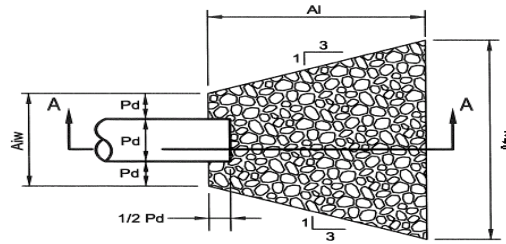
Project File: storm sewers.stm

Number of lines: 11

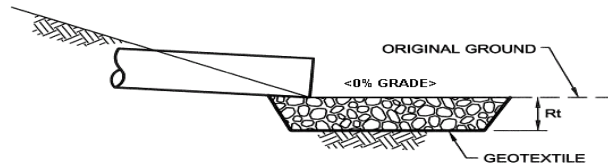
Run Date: 2/9/2026

Notes: \* Normal depth assumed; \*\* Critical depth.; j-Line contains hyd. jump ; c = cir e = ellip b = box

**RIPRAP APRON OUTLET PROTECTION**



**PLAN VIEW**



**SECTION A - A**

NO.	PIPE DIA. Do (in)	TAIL WATER COND. (Max or Min)	MIN. "n" FOR PIPE	PIPE SLOPE (FT/FT)	Q (CFS)	V* (FPS)	Flow Depth (ft)	Tailwater Condition	RIPRAP SIZE	Rt (in)	Al (ft)	Aiw (ft)	Atw (ft)
EW-1	36	Min	0.011	0	6.36	4.27	0.79	Min	R-4	18	8.00	9.00	17.00
EW-2	36	Min	0.011	0	6.65	4.32	0.81	Min	R-4	18	8.00	9.00	17.00
EW-3	18	Min	0.011	0.0778	15.59	9.02	1.42	Max	R-5	27	25.00	4.50	15.00

\*The anticipated velocity (V) should not exceed the maximum permissible shown in Table 6.6 for the proposed riprap protection. Adjust for less than full pipe flow. Use Manning's equation to calculate velocity for pipe slopes  $\geq 0.05$  ft/ft.

## **APPENDIX H**

# **LONG TERM OPERATION AND MAINTENANCE SCHEDULE**

# Stormwater Management Conveyance Maintenance Schedule

**Owner and responsible maintenance party: Charter Homes and Neighborhoods**

The stormwater management system, which includes inlets, storm sewers, an underground detention tank, and an above/below ground infiltration basin, should be inspected around April 15 and November 15 of each year and after heavy rainfall events. The stormwater management conveyance is a privately owned system, and it is the responsibility of the property owner, to perform these inspections, make all necessary repairs, and keep a record of the findings and results of the inspections available for review.

The following maintenance shall be performed as soon as practical following an inspection:

**Manholes/Inlets** – The manholes/inlets shall be maintained so as not to allow any sediment or debris to prevent the flow of water into the manholes/inlets. Any obstructions to the pipe should be removed.

**Storm Sewer Pipes** – All storm sewer piping should be inspected to make sure no sediment or debris build-up has occurred that might restrict the flow of water through them. If build-up has occurred, the pipes should be flushed and cleaned.

**Infiltration Basin** – Infiltration basins, including basin bottoms, trash racks, outlet structures, riprap and inlet, should be inspected for clogging and excessive debris and sediment accumulation at least four times per year, as well as after every storm greater than 1-inch. Sediment removal should be conducted when the basin is completely dry. Sediment should be disposed of properly and once sediment removed; disturbed areas need to be immediately stabilized and revegetated. Mowing and/or trimming of vegetation should be performed as necessary to sustain the system, but all detritus should be removed from the basin. Vehicles should not be parked or driven on an Infiltration Basin, and care should be taken to avoid excessive compaction by mowers. Vegetated areas should be inspected annually for erosion. Vegetated areas should be inspected annually for unwanted growth of exotic/invasive species. Vegetative cover should be maintained at a minimum of 95 percent. If vegetative cover has been reduced by 10 percent, vegetation should be reestablished. Mulch should be re-spread when erosion is evident and soil media should be replenished as needed. Grasses within the vegetated area may be mowed twice per year to a height no lower than 6 inches (or cut back every year) but not more frequently.

**Detention Tanks** – The detention tanks should be inspected to make sure there is no buildup of debris or silt in the vessels. Dispose of sediment, debris/trash, and any other waste material removed from the system. The facility should be inspected at least 4 times a year, as well as after every storm exceeding 1 inch.

**Primary Spillway Orifices** - The primary spillway should be inspected to make sure no obstructions are preventing the orifice opening(s) from passing water into the outlet pipe. Any obstructions preventing the primary spillway from functioning properly must be removed.

**Outlet Control Structure** – The outlet control structure should be inspected to make sure no obstructions are preventing the orifice opening(s) from passing water into the outlet pipe. Any obstructions preventing the primary spillway from functioning properly must be removed.

**Underdrain** – The underdrain for the basin shall be in the closed position, except for maintenance purposes. If the underdrain is opened, return it to the closed position once maintenance operations are completed. The underdrain should be inspected and tested 4 times

per year.

**Riprap Aprons** – Inspect weekly and after every runoff event for sediment accumulation and/or apron washout. Reshape as necessary and replace with larger size riprap if necessary.

In addition to these measures, all maintenance requirements of the South Fayette Township Stormwater Management Ordinance must be followed.

## **APPENDIX I PLAN PREPARER INFORMATION**

**STANDARD WORKSHEET #22: PLAN PREPARER RECORD OF TRAINING AND  
EXPERIENCE IN POST CONSTRUCTION STORMWATER MANAGEMENT  
METHODS AND TECHNIQUES**

**NAME OF PLAN PREPARER:** Benjamin R. Landin, E.I.T.

**FORMAL EDUCATION:**

**Name of college or Technical Institute:** Penn State University

**Curriculum or Program:** Civil Engineering

**Date of Attendance:**                      **From:** August 2004                      **To:** May 2008

**Degree(s) Received:** Bachelor of Science in Civil Engineering

**EMPLOYMENT HISTORY:**

**Current Employer:** The Gateway Engineers, Inc.

**Telephone:** (412) 921-4030

**From:** July 2025 **To:** Current

**Former Employer:** LSSE, Inc.

**Telephone:** (412) 264-4400

**From:** June 2008                      **To:** June 2025

**RECENT POST CONSTRUCTION STORMWATER PLANS PREPARED:**

**Fox Chapel Estates, L.P.**

Indiana Trails Plan of Lots

Erosion and Sedimentation Control – Chapter 102 Individual NPDES Permit

Indiana Township, Allegheny County, PA

Reviewed By: Pennsylvania Department of Environmental Protection Southwest Regional Office

**Western Avenue Associates**

GetGo Western & Fulton

Erosion and Sedimentation Control – Chapter 102 General NPDES Permit

City of Pittsburgh, Allegheny County, PA

Reviewed By: Allegheny County Conservation District

**GetGo Portfolio II, LLC**

GetGo South Union – Work Parkway

Erosion and Sedimentation Control – Chapter 102 General NPDES Permit

South Union Township, Fayette County, PA

Reviewed By: Fayette County Conservation District

**Bradford Park Borough**

Acorn Park Improvements

Erosion and Sedimentation Control – Chapter 102 Individual NPDES Permit

Borough of Bradford Park, Allegheny County, PA

Reviewed By: Pennsylvania Department of Environmental Protection Southwest Regional Office

**Imperial Land Corporation**

Fort Cherry Development District

Erosion and Sedimentation Control – Chapter 102 General NPDES Permit

Robinson Township, Washington County, PA

Reviewed By: Washington County Conservation District



# GATEWAY

On Call. On Time. On Target.

C-18927-2512

February 2026

## Hastings – Final Phase TIS Addendum

Mayview Road  
South Fayette Township  
Allegheny County, Pennsylvania

### PREPARED FOR

Charter Homes & Neighborhoods  
322 N. Arch Street  
Lancaster, PA 17603

### SUBMITTED BY

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A FULL-SERVICE CIVIL ENGINEERING FIRM

TIS ADDENDUM  
TRANSPORTATION IMPACT STUDY

**Final Phase TIS Addendum  
Proposed Hastings Development  
South Fayette Township, Allegheny County, Pennsylvania**

## **1.0 INTRODUCTION**

The Hastings development is located on the eastern side of Mayview Road (SR 3005) in South Fayette Township, Allegheny County, PA. To date, all of Phases 1, 2, and 3 have been constructed and are occupied along with a portion of Phase 4 of the development. The purpose of this report is to provide updated trip generation information to the Developer regarding the final phase of the development known as Phase 5.

This addendum provides a comparison of the trip generation from the original Master Plan TIS to the actual site-generated traffic of what has been built and occupied, combined with the anticipated trip generation for the remainder of the development.

## **2.0 MASTER PLAN SUMMARY**

### ***2.1 Project Summary and Trip Generation***

The original Master Plan TIS Report was completed in August 2016 and included a full buildout of the Hastings mixed-use development with the following land use mix:

- *Single-Family Homes* – 156 dwelling units
- *Multifamily Housing (Mid-Rise)* – 300 dwelling units
- *Multifamily Housing (Low-Rise)* – 160 dwelling units
- *Senior Adult Housing – Attached* – 73 dwelling units
- *Assisted Living* – 62 beds
- *Nursing Home* – 15 beds
- *General Office* – 40,000 s.f.
- *Shopping Center* – 28,000 s.f.
- *Quality Restaurant* – 100 seats

The anticipated trip generation from the original Master Plan TIS were calculated using ITE *Trip Generation*, 9<sup>th</sup> Edition. The total trip generation that was evaluated can be seen in **Table 1** in the Tables section at the end of this addendum.

### ***2.2 Results and Mitigation – Master Plan***

In the August 2016 Master Plan TIS Report, several impacts were identified and measures were recommended to mitigate the projected impacts to the roadway network. With the

exclusion of the proposed accesses, which have all been constructed along with the auxiliary left turn lanes on Mayview Road (SR 3005), the following impacts and improvements were identified:

Mayview Road (SR 3005) and Chartiers Street (SR 3034)/Lesnett Road (SR 3034)

- Construct a 125-foot channelized right turn lane on the Chartiers Street (SR 3034) approach to Mayview Road (SR 3005).
- Construct a 200-foot channelized right turn lane on the Lesnett Road (SR 3034) approach to Bank Street (SR 3005).

Mayview Road (SR 3005) and Boyce Road (SR 3006)

- Construct a 400-foot southbound left turn lane on Mayview Road (SR 3005).
- Modify the traffic signal as necessary to accommodate the proposed turn lane and optimize signal timings.

Copies of relevant pages from the August 2016 Master Plan TIS Report are included in **Appendix A** at the end of this report.

### **2.3 Phase 1 TIS**

Subsequent to the preparation of the Master Plan TIS in August 2016, Gateway prepared a “Phase 1 TIS”. The purpose of the Phase 1 TIS was to determine how much of the development could be constructed before offsite improvements would be warranted. The analyses was an iterative analysis and were based on trip generation estimates from ITE *Trip Generation*, 9<sup>th</sup> Edition. The results of the Phase 1 TIS (dated January 2017) showed that the following land use mix could be constructed without impacting either offsite intersection:

- *Single-Family Homes* – 42 dwelling units
- *Multifamily Housing (Mid-Rise)* – 270 dwelling units
- *Multifamily Housing (Low-Rise)* – 77 dwelling units
- *Senior Adult Housing – Attached* – 130 dwelling units
- *Shopping Center* – 20,920 s.f.

The anticipated trip generation from the approved Phase 1 TIS were calculated using ITE *Trip Generation*, 9<sup>th</sup> Edition. The total Phase 1 TIS trip generation that was evaluated can be seen in **Table 2** in the Tables section at the end of this addendum.

## **2.4 Results and Mitigation – Phase 1 TIS**

In the January 2017 Phase 1 TIS Report, the results showed that neither offsite intersection would experience a drop in Level-of-Service or an impact of greater than 10.0 seconds per vehicle for the overall intersection. As such, no offsite mitigation was required. In addition to the evaluation of the offsite intersections, the Phase 1 TIS also recommended the installation of auxiliary left turn lanes along Mayview Road (SR 3005) at the two (2) local-road site-access intersections. The southbound left turn lane at Site Road B (Hastings Crescent Drive) was recommended to provide 125 feet of vehicular storage and the southbound left turn lane at Site Road C (Hastings Park Drive) was recommended to provide 75 feet of vehicular storage as well as a northbound left turn lane onto relocated Sunset Drive, which also was recommended to provide 75 feet of vehicular storage. The recommended auxiliary turn lanes along Mayview Road (SR 3005) at the Site Road intersections were constructed in 2022 and are open to traffic.

Copies of relevant pages from the January 2017 Phase 1 TIS Report are included in **Appendix B** at the end of this report.

## **3.0 UPDATED ANALYSES, DATA, AND PROJECTIONS**

The purpose of this Addendum study is to provide updated data and analyses to determine if improvements to the offsite intersections will actually be required upon full buildout. To perform the analyses, new existing condition AM and PM peak hour turning movement counts were performed at the Site Drive A (Over the Bar), Site Road B (Hastings Crescent Drive) and Site Road C (Hastings Park Drive) intersections to establish the actual site-generated peak hour trips.

Further, the overall development land use mix has evolved since the time the original Master Plan TIS and the Phase 1 TIS were prepared. So this Addendum study also outlines the differences in land use mix (type and size) between the Master Plan and Phase 1 TIS and what has been / will be constructed upon full buildout of the development. The following sections of this report summarize the results of the updated analyses.

### **3.1 Turning Movement Counts**

Turning movement counts were performed at the following intersections:

- Mayview Road (SR 3005) and Over the Bar Driveway (Site Drive A)
- Mayview Road (SR 3005) and Hastings Crescent Drive (Site Road B)
- Mayview Road (SR 3005) and Hastings Park Drive (Site Road C)

These counts were performed on Wednesday, December 3, 2025, from 7:00 a.m. to 9:00 a.m. and from 4:00 p.m. to 6:00 p.m. These times were chosen because they reflect the typical morning (AM) and evening (PM) peak hours for vehicular traffic. Summaries of the turning movement count data have been included in **Appendix C** at the end of this report.

### ***3.2 Currently Completed and Occupied Development***

At the time of the counts, all of Phases 1, 2, and 3 (of the development land development plan phasing, not the TIS phasing) were completed and occupied, and a portion of Phase 4 was completed and occupied. Specifically, the following components of the overall Hastings development were completed and occupied at the time of the turning movement counts:

- *Single-Family Detached Housing* – 173 dwelling units
- *Single-Family Attached Housing* – 406 dwelling units
- *Senior Adult Housing – Attached* – 130 dwelling units
- *General Office* – 8,040 s.f.
- *Shopping Center* – 10,940 s.f.
- *High-Turnover (Sit-Down) Restaurant* – 11,916 s.f.

The trips generated by the components of the Hastings Mixed-Use Development that have been constructed and occupied are now captured in turning movement counts. The constructed components are generating 213 trips (76 in, 137 out) during the AM peak hour, and 260 trips (165 in, 95 out) during the PM peak hour. These actual site-generated AM and PM peak hour trips can be seen in **Table 3** in the Tables section at the end of this report.

### ***3.3 Remainder of Phase 4 and Phase 5***

To determine the updated total site-generated trips for the development, the actual site-generated AM and PM peak hour trips (Table 3) were combined with the projected trips associated with the remainder of Phase 4 and the proposed Phase 5 of the development. The remainder of Phase 4 and Phase 5 consist of the following components:

- *Single-Family Detached Homes* – 21 dwelling units (7 remaining in Phase 4 and 14 proposed in Phase 5)
- *Single-Family Attached Homes* – 57 dwelling units (47 remaining in Phase 4 and 10 proposed in Phase 5)

Copies of the site plan for Phase 4 and Phase 5 are included in **Appendix D** at the end of this report for reference.

The Institute of Transportation Engineers' (ITE) *Trip-Generation*, 12<sup>th</sup> Edition, was utilized to determine the trip generation for the remainder of Phase 4 and for Phase 5. The AM and PM peak hour rates were based on the following Land Use Codes:

- LU Code 210 – *Single-Family Detached Housing*
- LU Code 215 – *Single-Family Attached Housing*

The projected AM and PM peak hour trips associated with the remainder of the development can be seen in **Table 4** in the Tables section at the end of this report.

Copies of the trip generation calculations have been included in **Appendix E** at the end of this report.

As can be seen in Table 4, the remaining components of the Hastings development are projected to generate 38 trips (10 in, 28 out) during the AM peak hour and 48 trips (28 in, 20 out) during the PM peak hour. These actual trips and calculated remaining trips were then combined to establish the Total Development Trips (at full buildout) for the Hastings development. These trips can be seen graphically in **Table 5**.

### **3.4 Trip Generation Comparison**

#### *3.4.1 Actual/Remaining Trip Generation vs. Original Master Plan TIS Trip Generation*

**Table 6a** in the Tables section at the end of this report provides a comparison between the original Master Plan TIS trip generation projections and the Actual/Remaining Trip Generation for the Hastings Development. As can be seen in Table 6a, the overall site development mix and trip generating characteristics are significantly different than what was included in the original Master Plan TIS that was prepared in 2016. Overall, the proposed Hastings development is projected to generate **220 fewer AM peak hour trips** and **199 fewer PM peak hour trips** than what was originally projected and analyzed.

Specifically, the commercial components (proposed uses and sizes) are tangibly different than what originally contemplated and the total number of residential units is significantly less than what was included on the tentative master plan. For example, the originally proposed 300 apartment units on the Phase 4 parcel have been replaced with a mixture of single family homes (20 dwelling units) and townhomes (67 dwelling units). Thus the total number of residential units on the Phase 4 parcel is now 87 compared to the 300 that were included in the original Master Plan TIS.

### *3.4.2 Actual/Remaining Trip Generation vs. Phase 1 TIS Trip Generation*

In addition to the comparison of the trips to the original Master Plan TIS, **Table 6b** has been prepared to provide a comparison of the approved Phase 1 TIS trips to the Actual/Remaining Trip Generation for the Hastings development at full buildout. As can be seen in Table 6b, the total trip generation of the Hastings development at full buildout (actual/remaining trips) will be almost equal to the total trips that were estimated in the Phase 1 TIS for the AM peak hour (22 fewer trips) and for the PM peak hour (6 additional trips). Based on the results of these analyses, the full buildout of the development is essentially projected to generate approximately the same number of trips during the AM and PM peak hours as was analyzed in the Phase 1 TIS, which was approved by both South Fayette Township and PennDOT and did not require any offsite improvements.

As was described in Section 2.3 of this report, the purpose of the Phase 1 TIS was to determine how much of the proposed development could be constructed before impacts to the offsite intersections would be realized. An “impact” is identified when the site-generated traffic from a proposed development increases the overall intersection delay by more than 10.0 seconds per vehicle during either the AM or PM peak hour. As was outlined in the approved Phase 1 TIS, at least a total of 273 AM and 302 PM peak hour trips could be generated by the development without impacting the offsite intersections. The newly collected actual trip generation data combined with the trip generation estimates for the remainder of the development and the proposed change to the use/mix of Phase 4 reveals that the Hastings development is projected to generate significantly fewer AM and PM peak hour trips at full buildout than what was projected in the original Master Plan TIS. Further, the full buildout trips (actual and remaining) are now expected to mirror the total trips that were analyzed in the Phase 1 TIS, which did not require any offsite mitigation.

## **4.0 SUMMARY AND CONCLUSIONS**

### *4.1 Summary of Analyses and Findings*

The purpose of this Addendum traffic study for the Hastings development was to provide updated analyses and trip generation calculations for the development to determine if offsite improvements will be required as part of the development, and if so, what improvements would be required. Based on the analyses performed, it has been demonstrated that the Hastings development at full buildout will generate significantly less AM and PM peak hour traffic than what was evaluated in the original Master Plan TIS that was prepared in 2016.

Specifically, Gateway collected actual AM and PM peak hour traffic volumes at the existing accesses to the development to establish current trip generation for the completed and occupied components of the development. Those existing AM and PM peak hour trips were then combined with the trip generation projections for the remainder of the

development (remainder of Phase 4 and proposed Phase 5) to establish updated full buildout trip generation projections. The analyses show that at full buildout the Hastings development is projected to generate **220 fewer AM peak hour trips** and **199 fewer PM peak hour trips** than what was originally contemplated in the Master Plan TIS from 2016.

In addition to the comparison of the updated full buildout trip generation (actual/remaining) to the Master Plan TIS trip generation, Gateway also compared the updated full buildout trip generation (actual/remaining) to the approved Phase 1 TIS trip generation that was included in the approved Phase 1 TIS, which was prepared in 2017. That analyses shows that at full buildout, the Hastings development will generate approximately the same amount of AM and PM peak hour traffic as was projected and analyzed in the Phase 1 TIS.

## **4.2 Conclusion**

Based on the information and analyses included in this report, Gateway concludes that at full buildout, the Hastings development will generate *significantly less* traffic during the AM and PM peak hours when compared to what was evaluated in the original Master Plan TIS, which was prepared in 2016. In the original Master Plan TIS, offsite intersection impacts were identified; however, the implementation of those improvements was deferred in order to allow the development to begin buildout.

In order to determine how much of the development could be constructed before offsite improvements would be triggered, a Phase 1 TIS was prepared in 2017. The Phase 1 TIS was an iterative analysis of AM and PM peak hour trips in order to determine how many trips could be generated by the development before an impact would be realized at the offsite intersections. The Phase 1 TIS was ultimately reviewed and approved by both South Fayette Township and PennDOT.

The results of the analyses included in this report reveal that at full buildout, the trip generation of the Hastings development (actual trips plus projections for the remainder of the development) will be approximately the same as what was analyzed in the approved Phase 1 TIS. Because the approved Phase 1 TIS revealed no impacts to any of the offsite intersections, Gateway concludes that no offsite intersection impacts will be realized upon full buildout of the development. The developer has already constructed the required auxiliary left turn lanes along Mayview Road (SR 3005) at Hastings Crescent Drive and Hastings Park Drive/Sunset Drive. No further improvements are necessary or required.

# **TABLES**

**Table 1**  
**Hastings Mixed-Use Development – Trip Generation Summary**  
**Original Master Plan TIS (May 2016)**

TIME PERIOD	ANTICIPATED TRIP GENERATION		
	IN	OUT	TOTAL
<b>Total Projected Site-Generated Trips - Master Plan</b>			
<b>ADT</b>	<b>3,584</b>	<b>3,584</b>	<b>7,168</b>
<b>AM Peak Hour</b>	<b>218</b>	<b>279</b>	<b>497</b>
<i>Internal Capture</i>	<i>13</i>	<i>13</i>	<i>26</i>
<i>Pass-By Trips</i>	<i>10</i>	<i>5</i>	<i>15</i>
<i>Primary Trips</i>	<i>195</i>	<i>261</i>	<i>456</i>
<b>PM Peak Hour</b>	<b>318</b>	<b>271</b>	<b>589</b>
<i>Internal Capture</i>	<i>41</i>	<i>41</i>	<i>82</i>
<i>Pass-By Trips</i>	<i>14</i>	<i>12</i>	<i>26</i>
<i>Primary Trips</i>	<i>263</i>	<i>218</i>	<i>481</i>

**Table 2**  
**Hastings Mixed-Use Development – Trip Generation Summary**  
**Approved Phase 1 TIS (January 2017)**

TIME PERIOD	ANTICIPATED TRIP GENERATION		
	IN	OUT	TOTAL
<b>Total Projected Site-Generated Trips – Phase I</b>			
<b>ADT</b>	<b>2,158</b>	<b>2,158</b>	<b>4,316</b>
<b>AM Peak Hour</b>	<b>107</b>	<b>174</b>	<b>281</b>
<i>Internal Capture</i>	<i>4</i>	<i>4</i>	<i>8</i>
<i>Pass-By Trips</i>	<i>8</i>	<i>5</i>	<i>13</i>
<i>Primary Trips</i>	<i>95</i>	<i>165</i>	<i>260</i>
<b>PM Peak Hour</b>	<b>185</b>	<b>151</b>	<b>336</b>
<i>Internal Capture</i>	<i>17</i>	<i>17</i>	<i>34</i>
<i>Pass-By Trips</i>	<i>9</i>	<i>10</i>	<i>19</i>
<i>Primary Trips</i>	<i>159</i>	<i>124</i>	<i>283</i>

**Table 3**  
**Hastings Development – Actual Trip Generation Summary**  
**Data Collected at Three (3) Site Accesses (December 2025)**

TIME PERIOD	ANTICIPATED TRIP GENERATION		
	IN	OUT	TOTAL
Site Drive A (Over The Bar Driveway)			
AM Peak Hour	0	0	0
PM Peak Hour	32	11	43
Site Road B (Hastings Crescent Drive)			
AM Peak Hour	50	99	149
PM Peak Hour	94	54	148
Site Road C (Hastings Park Drive)			
AM Peak Hour	26	38	64
PM Peak Hour	39	30	69
<b>Total Actual Site-Generated Trips (Phase 1, Phase 2, Phase 3, and Partial Phase 4)</b>			
<b>AM Peak Hour</b>	<b>76</b>	<b>137</b>	<b>213</b>
<b>PM Peak Hour</b>	<b>165</b>	<b>95</b>	<b>260</b>

**Table 4**

**Hastings Mixed-Use Development Remaining Trips  
Remainder of Phase 4 (7 single family homes and 47 townhomes) and  
Proposed Phase 5 (14 single family homes and 10 townhomes)**

TIME PERIOD	ANTICIPATED TRIP GENERATION		
	IN	OUT	TOTAL
<b>Land Use Code #210, Single-Family Detached Housing – 21 dwelling units</b>			
AM Peak Hour	5	15	20
PM Peak Hour	14	9	23
<b>Land Use Code #215, Single-Family Attached Housing – 57 dwelling units</b>			
AM Peak Hour	5	13	18
PM Peak Hour	14	11	25
<b>Total Remaining Site-Generated Trips (Partial Phase 4 and Phase 5)</b>			
<b>AM Peak Hour</b>	<b>10</b>	<b>28</b>	<b>38</b>
<b>PM Peak Hour</b>	<b>28</b>	<b>20</b>	<b>48</b>

**Table 5**  
**Hastings Mixed-Use Development – Actual & Projected Trip Generation Summary**

TIME PERIOD	ANTICIPATED TRIP GENERATION		
	IN	OUT	TOTAL
Actual Site Trips – Phases 1, 2, 3, and Part of Phase 4 <sup>1</sup>			
AM Peak Hour	76	137	213
PM Peak Hour	165	95	260
Calculated Trip Generation –Remainder of Phase 4 <sup>2</sup>			
AM Peak Hour	10	28	38
PM Peak Hour	28	20	48
<b>Total Development Trips</b>			
<b>AM Peak Hour</b>	<b>86</b>	<b>165</b>	<b>251</b>
<b>PM Peak Hour</b>	<b>193</b>	<b>115</b>	<b>308</b>

<sup>1</sup> From count data and as summarized in Table 3.

<sup>2</sup> Total remaining trips from Table 4.

**Table 6a**  
**Hastings Development – Trip Generation Comparison**  
**Master Plan TIS Trip Generation vs. Actual/Projected Full Buildout Trip Generation**

TIME PERIOD	ANTICIPATED TRIP GENERATION		
	IN	OUT	TOTAL
Actual and Projected Full Buildout Trip Generation (see Table 5)			
AM Peak Hour	86	165	251
PM Peak Hour	193	115	308
Original Master Plan TIS Trip Generation (see Table 1)*			
AM Peak Hour	205	266	471
PM Peak Hour	277	230	507
<b>Actual/Project Trip Generation Minus (-) Original Master Plan TIS Projections</b>			
<b>AM Peak Hour</b>	<b>-119</b>	<b>-101</b>	<b>-220</b>
<b>PM Peak Hour</b>	<b>-84</b>	<b>-115</b>	<b>-199</b>

\*Trips include only primary and pass-by trips as internal trips are internal to the site.

**Table 6b**  
**Hastings Development – Trip Generation Comparison**  
**Phase 1 TIS Trip Generation vs. Actual/Projected Full Buildout Trip Generation**

TIME PERIOD	ANTICIPATED TRIP GENERATION		
	IN	OUT	TOTAL
Actual and Projected Full Buildout Trip Generation (see Table 5)			
AM Peak Hour	86	165	251
PM Peak Hour	193	115	308
Phase 1 TIS Trip Generation (see Table 2)*			
AM Peak Hour	103	170	273
PM Peak Hour	168	134	302
<b>Actual/Project Trip Generation Minus (-) Original Phase 1 TIS Projections</b>			
<b>AM Peak Hour</b>	<b>-17</b>	<b>-5</b>	<b>-22</b>
<b>PM Peak Hour</b>	<b>+25</b>	<b>-19</b>	<b>+6</b>

\*Trips include only primary and pass-by trips as internal trips are internal to the site.

## **APPENDICES**

## **APPENDIX A**

Relevant Pages and Information from Master Plan TIS (August 2016)



# GATEWAY

On Call. On Time. On Target.

C-18927-0017

May 19, 2016  
Revised August 2016

## Proposed Hastings Mixed-Use Development Master Plan TIS (EPS # 111361)

Mayview Road (SR 3005)  
South Fayette Township  
Allegheny County, Pennsylvania

### PREPARED FOR

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Neighborhoods  
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TRANSPORTATION IMPACT STUDY  
TIS REPORT

**Revised Transportation Impact Study  
Proposed Hastings Mixed-Use Development  
South Fayette Township, Allegheny County, Pennsylvania**

**EXECUTIVE SUMMARY**

**Background / Introduction**

This TIS for the proposed Hastings mixed-use development has been revised to incorporate comments made by PennDOT in their review letter dated June 10, 2016. This letter and the response to review comments have been attached to this revised TIS as **Appendix EE**. This revised TIS incorporates the responses to these comments including the following changes from the May 2016 submission:

- Adjustments to signal timing parameters at the Mayview Road (SR 3005) and Boyce Road (SR 3006) intersection.
- Adjustments to the methodology used to determine the conditions of the Mayview Road / Bank Street (SR 3005) and Chartiers Street / Lesnett Road (SR 3034) intersection due to its skewed geometry.

**Project Description**

The proposed development is located on the eastern side of Mayview Road (SR 3005) in South Fayette Township, Allegheny County, Pennsylvania. The mixed-use development is proposed to include the following residential, office, and retail components at *full buildout*:

- *Single-Family Homes* – 156 dwelling units
- *Mid-Rise Apartments* – 300 dwelling units<sup>1</sup>
- *Residential Condominium / Townhouses* – 160 dwelling units
- *Senior Adult Housing – Attached* – 73 dwelling units
- *Assisted Living* – 62 beds
- *Nursing Home* – 15 beds
- *General Office* – 40,000 s.f.
- *Specialty Retail / Shopping Center* – 28,000 s.f.
- *Quality Restaurant* – 100 seats

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<sup>1</sup> The development plan indicates anywhere from 260 to 300 units; however, 300 units was utilized to provide conservative results.

The intersection of Bank Street (SR 3005) and Lesnett Road (SR 3034) is projected to operate at an overall LOS “F” during both peak hours under Design Year 2028 Without Development Conditions. The side-street (Lesnett) approach is anticipated to continue operating above capacity during both peak hours.

The Mayview Road (SR 3005) and Boyce Road (SR 3006) intersection is anticipated to improve overall intersection operations as compared to Existing Year 2015 Conditions with the improvements proposed as part of the PennDOT project. The intersection is projected to continue to operate with acceptable Levels-of-Service (LOS “C” or better) during both the AM and PM peak hours with significant improvements as a result of PennDOT’s project.

**Table 1a** and **Table 1c** in the Tables section at the end of this report show the Design Year 2028 Without Development Condition AM and PM peak hour Levels-of-Service for the study intersections. The Design Year 2028 Without Development Condition LOS can also be seen graphically on **Figure 6c**.

Synchro printouts for the signalized intersections for the Design Year 2028 Without Development Conditions can be found in **Appendix K** at the end of this report. HCM / HCS reports from Synchro for the Design Year 2028 Without Development Conditions can be found in **Appendix L** at the end of this report.

## **7.0 PROPOSED DEVELOPMENT**

### **7.1 Development Description**

The proposed development is located on the east side of Mayview Road (SR 0008) north of Boyce Road (SR 3006) in South Fayette Township, Allegheny County, Pennsylvania. The mixed-use development is proposed to include the following residential, office, and retail components at *full buildout*:

- *Single-Family Homes* – 156 dwelling units
- *Mid-Rise Apartments* – 300 dwelling units<sup>7</sup>
- *Residential Condominium / Townhouses* – 160 dwelling units
- *Senior Adult Housing – Attached* – 73 dwelling units
- *Assisted Living* – 62 beds
- *Nursing Home* – 15 beds
- *General Office Building* – 40,000 s.f.

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<sup>7</sup> The development plan indicates anywhere from 260 to 300 units; however, 300 units was utilized to provide conservative results.

- *Specialty Retail / Shopping Center* – 28,000 s.f.
- *Quality Restaurant* – 100 seats

## 7.2 *Development Access*

The proposed development will include the construction of the following access driveways:

- Site Drive A (full access to Mayview Road for the general office only)
- Site Road B (full access to Mayview Road)
- Site Road C (full access to Mayview Road)

The locations of these driveways relative to each of the land uses within the development can be seen on the conceptual site plan (Figure 2).

## 7.3 *Trip Generation Estimates*

### 7.3.1 *Land Use Codes*

The Institute of Transportation Engineers' (ITE) *Trip-Generation*, 9<sup>th</sup> Edition, was used to determine the trip generation rates for the proposed Middlesex Crossings Mixed-Use Development. Specifically, the following ITE Land Use Codes were utilized:

- LU Code 210 – *Single Family Detached Housing*
- LU Code 223 – *Mid-Rise Apartments*
- LU Code 230 – *Residential Condominium / Townhouse*
- LU Code 252 – *Senior Adult Housing – Attached*
- LU Code 254 – *Assisted Living*
- LU Code 620 – *Nursing Home*
- LU Code 710 – *General Office Building*
- LU Code 826 / 820 – *Specialty Retail Center / Shopping Center*
- LU Code 931 – *Quality Restaurant*

### 7.3.2 *Overall Trip Generation*

The Institute of Transportation Engineers' (ITE) *Trip-Generation*, 9<sup>th</sup> Edition, was used to determine the trip generation rates for the proposed Hastings Mixed-Use Development. The site-generated trips were split into internal, primary, and pass-by trips.

A copy of the trip generation calculations for the proposed development can be found in **Appendix M** at the end of this report. The ADT, AM peak hour, and PM peak hour trips

**Table 2**  
**Hastings Mixed-Use Development – Trip Generation Summary**

TIME PERIOD	ANTICIPATED TRIP GENERATION		
	IN	OUT	TOTAL
<b>Land Use Code #210, Single-Family Detached Housing – 156 dwelling units</b>			
<b>ADT</b>	<b>791</b>	<b>791</b>	<b>1,582</b>
<b>AM Peak Hour</b>	<b>30</b>	<b>89</b>	<b>119</b>
<i>Internal Capture</i>	<i>1</i>	<i>2</i>	<i>3</i>
<i>Primary Trips</i>	<i>29</i>	<i>87</i>	<i>116</i>
<b>PM Peak Hour</b>	<b>99</b>	<b>58</b>	<b>157</b>
<i>Internal Capture</i>	<i>6</i>	<i>4</i>	<i>10</i>
<i>Primary Trips</i>	<i>93</i>	<i>54</i>	<i>147</i>
<b>Land Use Code #223, Mid-Rise Apartments – 300 dwelling units</b>			
<b>ADT</b>	<b>971</b>	<b>971</b>	<b>1,942</b>
<b>AM Peak Hour</b>	<b>34</b>	<b>76</b>	<b>110</b>
<i>Internal Capture</i>	<i>1</i>	<i>1</i>	<i>2</i>
<i>Primary Trips</i>	<i>33</i>	<i>75</i>	<i>108</i>
<b>PM Peak Hour</b>	<b>77</b>	<b>56</b>	<b>133</b>
<i>Internal Capture</i>	<i>5</i>	<i>5</i>	<i>10</i>
<i>Primary Trips</i>	<i>72</i>	<i>51</i>	<i>123</i>
<b>Land Use Code #230, Residential Townhouse / Condominium – 160 dwelling units</b>			
<b>ADT</b>	<b>484</b>	<b>484</b>	<b>968</b>
<b>AM Peak Hour</b>	<b>13</b>	<b>62</b>	<b>75</b>
<i>Internal Capture</i>	<i>0</i>	<i>1</i>	<i>1</i>
<i>Primary Trips</i>	<i>13</i>	<i>61</i>	<i>74</i>
<b>PM Peak Hour</b>	<b>59</b>	<b>29</b>	<b>88</b>
<i>Internal Capture</i>	<i>4</i>	<i>2</i>	<i>6</i>
<i>Primary Trips</i>	<i>55</i>	<i>27</i>	<i>82</i>
<b>Land Use Code #252, Senior Adult Housing - Attached – 73 dwelling units</b>			
<b>ADT</b>	<b>120</b>	<b>120</b>	<b>240</b>
<b>AM Peak Hour</b>	<b>5</b>	<b>9</b>	<b>14</b>
<i>Internal Capture</i>	<i>0</i>	<i>0</i>	<i>0</i>
<i>Primary Trips</i>	<i>5</i>	<i>9</i>	<i>14</i>
<b>PM Peak Hour</b>	<b>10</b>	<b>9</b>	<b>19</b>
<i>Internal Capture</i>	<i>1</i>	<i>1</i>	<i>2</i>
<i>Primary Trips</i>	<i>9</i>	<i>8</i>	<i>16</i>
<b>Land Use Code #254, Assisted Living – 62 beds</b>			
<b>ADT</b>	<b>109</b>	<b>109</b>	<b>218</b>
<b>AM Peak Hour</b>	<b>6</b>	<b>3</b>	<b>9</b>
<i>Internal Capture</i>	<i>0</i>	<i>0</i>	<i>0</i>
<i>Primary Trips</i>	<i>6</i>	<i>3</i>	<i>9</i>
<b>PM Peak Hour</b>	<b>6</b>	<b>8</b>	<b>14</b>
<i>Internal Capture</i>	<i>0</i>	<i>0</i>	<i>0</i>
<i>Primary Trips</i>	<i>6</i>	<i>8</i>	<i>14</i>

**Table 2 (continued)**  
**Hastings Mixed-Use Development – Trip Generation Summary**

TIME PERIOD	ANTICIPATED TRIP GENERATION		
	IN	OUT	TOTAL
<b>Land Use Code #620, Nursing Home – 15 beds</b>			
<b>ADT</b>	<b>21</b>	<b>21</b>	<b>42</b>
<b>AM Peak Hour</b>	<b>2</b>	<b>1</b>	<b>3</b>
<i>Internal Capture</i>	0	0	0
<i>Primary Trips</i>	2	1	3
<b>PM Peak Hour</b>	<b>1</b>	<b>2</b>	<b>3</b>
<i>Internal Capture</i>	0	0	0
<i>Primary Trips</i>	1	2	3
<b>Land Use Code #710, General Office Building – 40,000 s.f.</b>			
<b>ADT</b>	<b>327</b>	<b>327</b>	<b>654</b>
<b>AM Peak Hour</b>	<b>81</b>	<b>11</b>	<b>92</b>
<i>Internal Capture</i>	5	3	8
<i>Primary Trips</i>	76	8	84
<b>PM Peak Hour</b>	<b>10</b>	<b>50</b>	<b>60</b>
<i>Internal Capture</i>	7	4	11
<i>Primary Trips</i>	3	46	49
<b>Land Use Code #826 / #820, Specialty Retail Center / Shopping Center – 28,000 s.f.*</b>			
<b>ADT</b>	<b>618</b>	<b>618</b>	<b>1,236</b>
<b>AM Peak Hour*</b>	<b>45</b>	<b>27</b>	<b>72</b>
<i>Internal Capture</i>	5	6	11
<i>Pass-By Trips (24%)</i>	10	5	15
<i>Primary Trips</i>	30	16	46
<b>PM Peak Hour</b>	<b>39</b>	<b>50</b>	<b>89</b>
<i>Internal Capture</i>	11	19	30
<i>Pass-By Trips (34%)</i>	10	11	21
<i>Primary Trips</i>	18	20	38

\*LU Code #820 used for AM peak hour for the retail shops.

**Table 2 (continued)**  
**Hastings Mixed-Use Development – Trip Generation Summary**

TIME PERIOD	ANTICIPATED TRIP GENERATION		
	IN	OUT	TOTAL
<b>Land Use Code #931, Quality Restaurant – 100 Seats</b>			
<b>ADT</b>	<b>143</b>	<b>143</b>	<b>286</b>
<b>AM Peak Hour</b>	<b>2</b>	<b>1</b>	<b>3</b>
<i>Internal Capture</i>	<i>1</i>	<i>0</i>	<i>1</i>
<i>Pass-By Trips (34%)</i>	<i>0</i>	<i>0</i>	<i>0</i>
<i>Primary Trips</i>	<i>1</i>	<i>1</i>	<i>2</i>
<b>PM Peak Hour</b>	<b>17</b>	<b>9</b>	<b>26</b>
<i>Internal Capture</i>	<i>7</i>	<i>6</i>	<i>13</i>
<i>Pass-By Trips (44%)</i>	<i>4</i>	<i>1</i>	<i>5</i>
<i>Primary Trips</i>	<i>6</i>	<i>2</i>	<i>8</i>
<b>Total Development Trips</b>			
<b>ADT</b>	<b>3,584</b>	<b>3,584</b>	<b>7,168</b>
<b>AM Peak Hour</b>	<b>218</b>	<b>279</b>	<b>497</b>
<i>Internal Capture</i>	<i>13</i>	<i>13</i>	<i>26</i>
<i>Pass-By Trips</i>	<i>10</i>	<i>5</i>	<i>15</i>
<i>Primary Trips</i>	<i>195</i>	<i>261</i>	<i>456</i>
<b>PM Peak Hour</b>	<b>318</b>	<b>271</b>	<b>589</b>
<i>Internal Capture</i>	<i>41</i>	<i>41</i>	<i>82</i>
<i>Pass-By Trips</i>	<i>14</i>	<i>12</i>	<i>26</i>
<i>Primary Trips</i>	<i>263</i>	<i>218</i>	<i>481</i>

## **APPENDIX B**

Relevant Pages and Information from Phase 1 TIS (January 2017)



# GATEWAY

On Call. On Time. On Target.

C-18927-0017

July 14, 2016

Revised January 10, 2017

## Proposed Hastings Mixed-Use Development (Phase 1) EPS # 111361

Mayview Road (SR 3005)  
South Fayette Township  
Allegheny County, Pennsylvania



### PREPARED FOR

Charter Homes &  
Neighborhoods  
1190 Dillerville Road  
Lancaster, PA 17601

### SUBMITTED BY

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TRANSPORTATION IMPACT STUDY  
TIS REPORT

**Revised Transportation Impact Study  
Proposed Hastings Mixed-Use Development – Phase 1  
South Fayette Township, Allegheny County, Pennsylvania**

**EXECUTIVE SUMMARY**

**Project Description**

The proposed development is located on the east side of Mayview Road (SR 3005) north of Boyce Road (SR 3006) in South Fayette Township, Allegheny County, Pennsylvania. The mixed-use development is proposed to include the following residential, office, and retail components at *full buildout*<sup>1</sup>:

- *Single-Family Homes* – 151 dwelling units
- *Mid-Rise Apartments* – 270 dwelling units
- *Residential Condominium / Townhouses* – 165 dwelling units
- *Senior Adult Housing – Attached* – 130 dwelling units
- *General Office Building* – 10,000 s.f.
- *Specialty Retail / Shopping Center* – 20,920 s.f.

Phase 1 of the development is proposed to include the following components of the site:

- 42 Single-Family Homes
- 270 Mid-Rise Apartments
- 77 Residential Condominium / Townhouses
- 130 Senior Adult Housing –Attached Units
- 20,920 s.f. of Specialty Retail / Shopping Center

The construction of the development is anticipated to occur in two phases. These phases are as follows:

- Phase 1 – Opening Year 2017<sup>2</sup> and Design Year 2022
- Full Build Out – Opening Year 2023 and Design Year 2028

---

<sup>1</sup> A Master Plan TIS has been submitted under separate cover and is being reviewed as a standalone document.

<sup>2</sup> Occupancy of components within Phase I of the development anticipated to occur beginning in 2017; completion of Phase I likely won't occur until 2019-2020. 2017 was evaluated as the Opening Year for Phase I as occupancy is projected to begin in that calendar year with a Design Year of 2022.

- 77 Residential Condominium / Townhouses
- 130 Senior Adult Housing –Attached Units
- 20,920 s.f. of Specialty Retail / Shopping Center

## 7.2 *Development Access*

This phase of the development will include the construction of the following access driveways:

- **Site Drive A** – full access low-volume driveway along Mayview Road (SR 3005).
- **Site Road B** – full access local road along Mayview Road (SR 3005).
- **Site Road C** – full access local road along Mayview Road (SR 3005).

The locations of these driveways relative to each of the land uses within the development can be seen on the site plan (Figure 2).

## 7.3 *Trip Generation Estimates*

The Institute of Transportation Engineers’ (ITE) *Trip-Generation*, 9<sup>th</sup> Edition, was used to determine the trip generation rates for each of the individual uses within the proposed development. These rates were then utilized to determine the additional trips expected to be generated by the proposed development. The site-generated trips were split into internal capture, pass-by, and primary trips. The following Land Use Codes were utilized:

- LU Code 210 – *Single Family Detached Housing*
- LU Code 223 – *Mid-Rise Apartment*
- LU Code 230 – *Residential Condominium / Townhouse*
- LU Code 252 – *Senior Housing – Attached*
- LU Code 820 / 826<sup>10</sup> – *Specialty Retail / Shopping Center*

A copy of the trip generation calculations for Phase 1 of the proposed development can be found in **Appendix M** at the end of this report. The ADT, AM peak hour, and PM peak hour trips for Phase 1 are also summarized in **Table 2**, which can be found in the Tables section at the end of this report.

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<sup>10</sup> It should be noted that LU Code 826 was utilized to estimate the ADT and the PM peak hour trip generation for the 20,920 s.f. of general retail; however, LU Code 820 was utilized for the AM peak hour. This was done because LU Code 826 does not include data for the AM peak hour of the adjacent street.

**Table 2**  
**Hastings Mixed-Use Development – Trip Generation Summary (Phase 1)**

TIME PERIOD	ANTICIPATED TRIP GENERATION		
	IN	OUT	TOTAL
<b>Land Use Code #210, Single-Family Detached Housing – 42 dwelling units</b>			
<b>ADT</b>	<b>237</b>	<b>237</b>	<b>474</b>
<b>AM Peak Hour</b>	<b>10</b>	<b>29</b>	<b>39</b>
<i>Internal Capture</i>	<i>0</i>	<i>0</i>	<i>0</i>
<i>Primary Trips</i>	<i>10</i>	<i>29</i>	<i>39</i>
<b>PM Peak Hour</b>	<b>30</b>	<b>18</b>	<b>48</b>
<i>Internal Capture</i>	<i>2</i>	<i>1</i>	<i>3</i>
<i>Primary Trips</i>	<i>28</i>	<i>17</i>	<i>45</i>
<b>Land Use Code #223, Mid-Rise Apartments – 270 dwelling units</b>			
<b>ADT</b>	<b>880</b>	<b>880</b>	<b>1,760</b>
<b>AM Peak Hour</b>	<b>30</b>	<b>68</b>	<b>98</b>
<i>Internal Capture</i>	<i>1</i>	<i>1</i>	<i>2</i>
<i>Primary Trips</i>	<i>29</i>	<i>67</i>	<i>96</i>
<b>PM Peak Hour</b>	<b>69</b>	<b>50</b>	<b>119</b>
<i>Internal Capture</i>	<i>5</i>	<i>2</i>	<i>7</i>
<i>Primary Trips</i>	<i>64</i>	<i>48</i>	<i>112</i>
<b>Land Use Code #230, Residential Townhouse / Condominium – 77 dwelling units</b>			
<b>ADT</b>	<b>256</b>	<b>256</b>	<b>512</b>
<b>AM Peak Hour</b>	<b>7</b>	<b>35</b>	<b>42</b>
<i>Internal Capture</i>	<i>0</i>	<i>0</i>	<i>0</i>
<i>Primary Trips</i>	<i>7</i>	<i>35</i>	<i>42</i>
<b>PM Peak Hour</b>	<b>33</b>	<b>16</b>	<b>49</b>
<i>Internal Capture</i>	<i>2</i>	<i>1</i>	<i>3</i>
<i>Primary Trips</i>	<i>31</i>	<i>15</i>	<i>46</i>
<b>Land Use Code #252, Senior Adult Housing - Attached – 130 dwelling units</b>			
<b>ADT</b>	<b>204</b>	<b>204</b>	<b>408</b>
<b>AM Peak Hour</b>	<b>9</b>	<b>17</b>	<b>26</b>
<i>Internal Capture</i>	<i>0</i>	<i>0</i>	<i>0</i>
<i>Primary Trips</i>	<i>9</i>	<i>17</i>	<i>26</i>
<b>PM Peak Hour</b>	<b>18</b>	<b>15</b>	<b>33</b>
<i>Internal Capture</i>	<i>1</i>	<i>0</i>	<i>1</i>
<i>Primary Trips</i>	<i>17</i>	<i>15</i>	<i>32</i>
<b>Land Use Code #710, General Office – 10,000 s.f.</b>			
<b>ADT</b>	<b>114</b>	<b>114</b>	<b>228</b>
<b>AM Peak Hour</b>	<b>14</b>	<b>2</b>	<b>16</b>
<i>Internal Capture</i>	<i>1</i>	<i>1</i>	<i>2</i>
<i>Primary Trips</i>	<i>13</i>	<i>1</i>	<i>14</i>
<b>PM Peak Hour</b>	<b>3</b>	<b>12</b>	<b>15</b>
<i>Internal Capture</i>	<i>2</i>	<i>2</i>	<i>4</i>
<i>Primary Trips</i>	<i>1</i>	<i>10</i>	<i>11</i>

**Table 2 (continued)**

**Hastings Mixed-Use Development – Trip Generation Summary (Phase 1)**

TIME PERIOD	ANTICIPATED TRIP GENERATION		
	IN	OUT	TOTAL
<b>Land Use Code #826 / #820, Specialty Retail Center / Shopping Center – 20,920 s.f.*</b>			
<b>ADT</b>	<b>467</b>	<b>467</b>	<b>934</b>
<b>AM Peak Hour*</b>	<b>37</b>	<b>23</b>	<b>60</b>
<i>Internal Capture</i>	2	2	4
<i>Pass-By Trips (24%)</i>	8	5	13
<i>Primary Trips</i>	27	16	43
<b>PM Peak Hour</b>	<b>32</b>	<b>40</b>	<b>72</b>
<i>Internal Capture</i>	5	11	16
<i>Pass-By Trips (34%)</i>	9	10	19
<i>Primary Trips</i>	18	19	37
<b>Total Development Trips – Phase I</b>			
<b>ADT</b>	<b>2,158</b>	<b>2,158</b>	<b>4,316</b>
<b>AM Peak Hour</b>	<b>107</b>	<b>174</b>	<b>281</b>
<i>Internal Capture</i>	4	4	8
<i>Pass-By Trips</i>	8	5	13
<i>Primary Trips</i>	95	165	260
<b>PM Peak Hour</b>	<b>185</b>	<b>151</b>	<b>336</b>
<i>Internal Capture</i>	17	17	34
<i>Pass-By Trips</i>	9	10	19
<i>Primary Trips</i>	159	124	283
<b>Change from Submitted (Current – Submitted)</b>			
<b>ADT</b>	<b>-167</b>	<b>-167</b>	<b>-334</b>
<b>AM Peak Hour</b>	<b>+1</b>	<b>+9</b>	<b>+10</b>
<i>Internal Capture</i>	+1	+1	+2
<i>Pass-By Trips</i>	-3	-1	-4
<i>Primary Trips</i>	+3	+9	+12
<b>PM Peak Hour</b>	<b>-9</b>	<b>-17</b>	<b>-26</b>
<i>Internal Capture</i>	-13	-13	-26
<i>Pass-By Trips</i>	-6	-2	-8
<i>Primary Trips</i>	+10	-2	+8

\*LU Code #820 used for AM peak hour for the retail shops.

## **APPENDIX C**

Site Access Intersection Turning Movement Count Data

TIME INTERVAL	Volumes									TOTAL	TOTAL
	Site Drive A (Over the Bar)		Site Road B (Hastings Crescent)		Site Road C (Hastings Park)		TOTAL		TOTAL		
	IN	OUT	IN	OUT	IN	OUT	IN	OUT			
7:00-7:15	0	0	6	20	4	5	10	25	35		
7:15-7:30	0	0	8	17	6	6	14	23	37		
7:30-7:45	0	0	13	27	5	8	18	35	53		
7:45-8:00	0	0	11	21	8	5	19	26	45		
8:00-8:15	0	0	10	25	5	9	15	34	49		
8:15-8:30	0	0	9	28	5	13	14	41	55		
8:30-8:45	0	0	16	25	3	7	19	32	51		
8:45-9:00	0	0	15	21	13	9	28	30	58		
<b>8:00-9:00</b>	<b>0</b>	<b>0</b>	<b>50</b>	<b>99</b>	<b>26</b>	<b>38</b>	<b>76</b>	<b>137</b>	<b>213</b>		
4:00-4:15	11	3	14	12	7	14	32	29	61		
4:15-4:30	4	1	21	18	8	7	33	26	59		
4:30-4:45	5	4	19	12	12	12	36	28	64		
4:45-5:00	7	4	20	10	9	4	36	18	54		
5:00-5:15	9	0	20	18	8	8	37	26	63		
5:15-5:30	8	3	26	15	16	9	50	27	77		
5:30-5:45	8	4	28	11	6	9	42	24	66		
5:45-6:00	9	2	12	13	11	7	32	22	54		
<b>5:00-6:00</b>	<b>32</b>	<b>11</b>	<b>94</b>	<b>54</b>	<b>39</b>	<b>30</b>	<b>165</b>	<b>95</b>	<b>260</b>		

1-hr Intervals

7:00	170
7:15	184
7:30	202
7:45	200

8:00	213
------	-----

4:00	238
4:15	240
4:30	258

4:45	260
------	-----

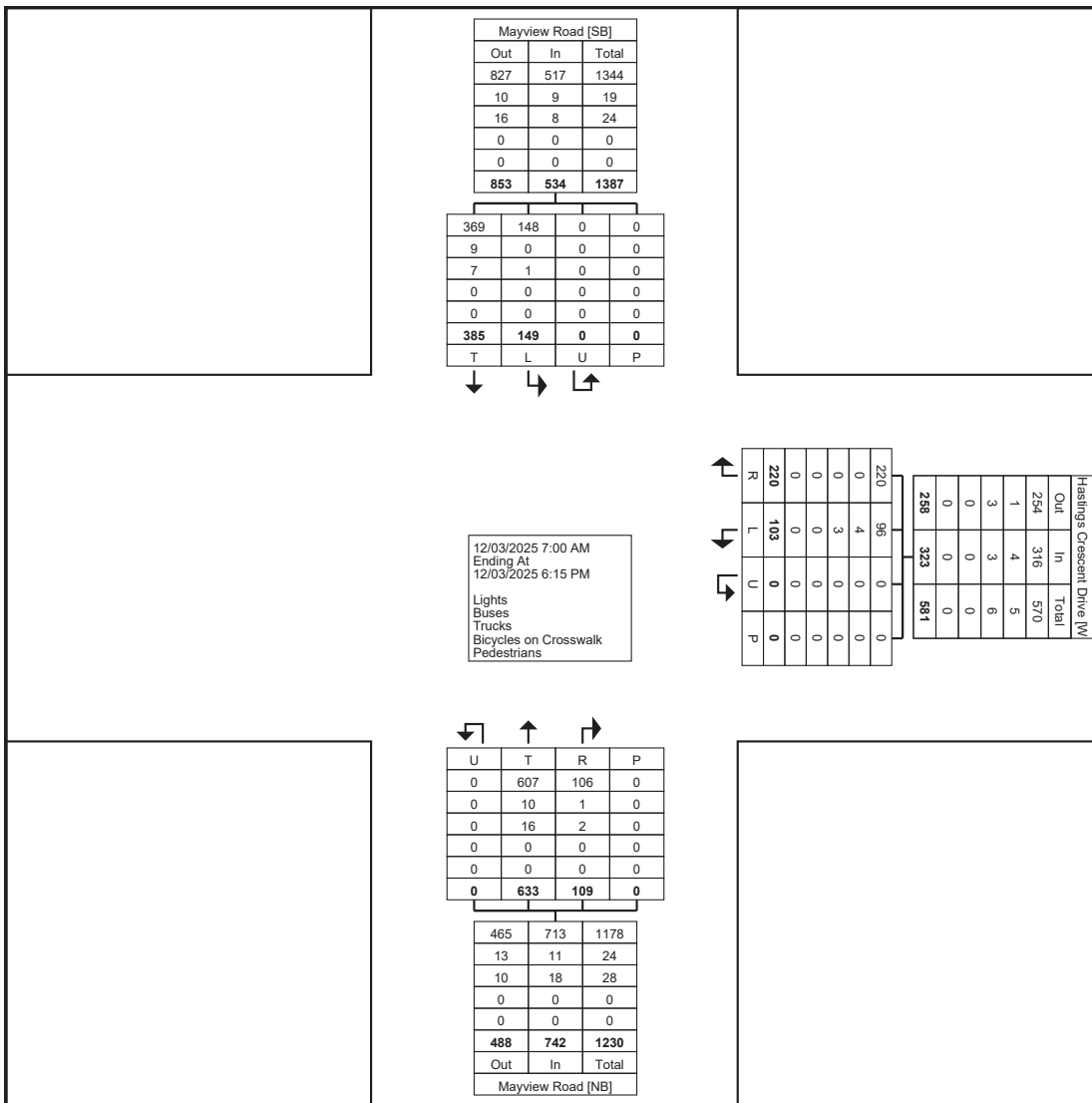
5:00	260
------	-----



South Fayette, PA  
Mayview Rd & Hastings  
Crescent Dr  
Wednesday, December 3, 2025  
Location: 40.328302, -  
80.111539

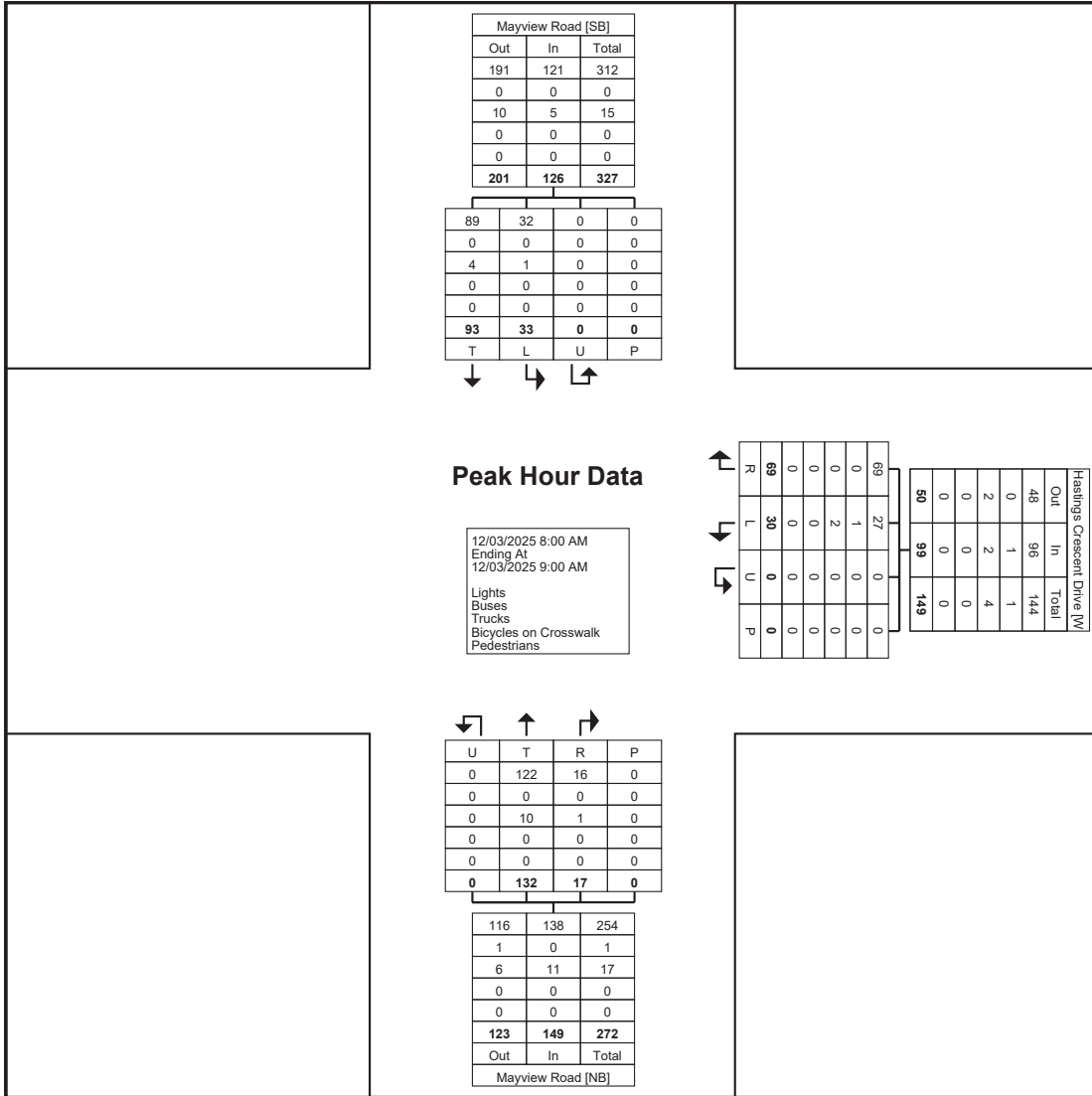
Delmont, PA, Pennsylvania, United States 15626  
610-517-0990 TSTData@aol.com  
Serving Transportation Professionals Since 1995

Count Name: Mayview Road  
and Hastings Crescent Drive  
Site Code:  
Start Date: 12/03/2025  
Page No: 2



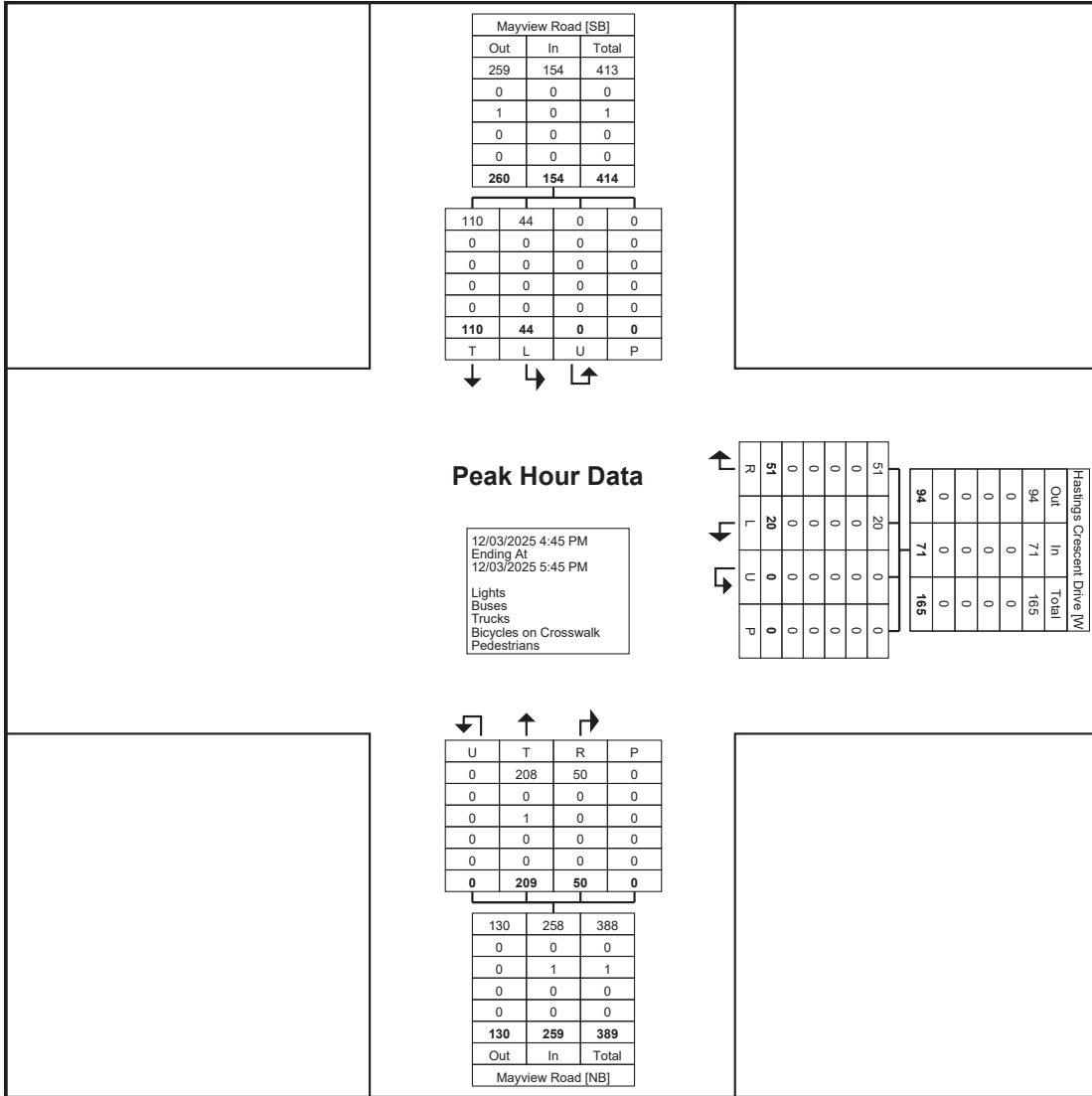
Turning Movement Data Plot





Turning Movement Peak Hour Data Plot (8:00 AM)





Turning Movement Peak Hour Data Plot (4:45 PM)



www.TSTData.com  
Tri-State Traffic Data, Inc

South Fayette, PA  
Mayview Rd & Hastings Park Dr  
Wednesday, December 3, 2025  
Location: 40.326553, -  
80.111021

Delmont, PA, Pennsylvania, United States 15626  
610-517-0990 TSTData@aol.com  
Serving Transportation Professionals Since 1995

Count Name: Mayview Road  
and Hastings Park Drive  
Site Code:  
Start Date: 12/03/2025  
Page No: 1

### Turning Movement Data

Start Time	Mayview Road Southbound						Hastings Park Drive Westbound						Mayview Road Northbound						Sunset Dr Eastbound						Int. Total	
	Right	Thru	Left	U-Turn	Peds	App. Total	Right	Thru	Left	U-Turn	Peds	App. Total	Right	Thru	Left	U-Turn	Peds	App. Total	Right	Thru	Left	U-Turn	Peds	App. Total		
7:00 AM	0	13	3	0	0	16	2	0	3	0	0	5	1	22	3	0	0	26	0	0	0	0	0	0	0	47
7:15 AM	0	14	3	0	0	17	3	0	3	0	0	6	3	19	1	0	0	23	0	0	0	0	0	0	0	46
7:30 AM	1	30	3	0	0	34	5	0	3	0	0	8	2	34	3	0	0	39	2	0	1	0	0	3	84	
7:45 AM	0	28	3	0	0	31	4	0	1	0	0	5	5	35	0	0	0	40	0	0	0	0	0	0	76	
Hourly Total	1	85	12	0	0	98	14	0	10	0	0	24	11	110	7	0	0	128	2	0	1	0	0	3	253	
8:00 AM	1	22	2	0	0	25	0	0	9	0	0	9	3	31	1	0	0	35	0	0	0	0	0	0	69	
8:15 AM	1	25	1	0	0	27	2	0	11	0	0	13	4	28	1	0	0	33	2	0	0	0	0	2	75	
8:30 AM	0	33	2	0	0	35	2	0	5	0	0	7	1	32	2	0	0	35	1	0	0	0	0	1	78	
8:45 AM	1	29	5	0	0	35	3	0	6	0	0	9	8	51	3	0	0	62	2	0	0	0	0	2	108	
Hourly Total	3	109	10	0	0	122	7	0	31	0	0	38	16	142	7	0	0	165	5	0	0	0	0	5	330	
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
4:00 PM	0	35	5	0	0	40	6	0	8	0	0	14	2	54	0	0	0	56	2	0	1	0	0	3	113	
4:15 PM	2	36	1	0	0	39	3	0	4	0	0	7	7	52	0	0	0	59	1	1	1	0	0	3	108	
4:30 PM	1	27	2	0	0	30	6	0	6	0	0	12	10	48	1	0	0	59	0	0	0	0	0	0	101	
4:45 PM	0	38	1	0	0	39	1	0	3	0	0	4	8	68	1	0	0	77	0	0	1	0	0	1	121	
Hourly Total	3	136	9	0	0	148	16	0	21	0	0	37	27	222	2	0	0	251	3	1	3	0	0	7	443	
5:00 PM	1	30	1	0	0	32	5	0	3	0	0	8	7	68	0	0	0	75	2	0	3	0	0	5	120	
5:15 PM	0	33	2	0	0	35	4	0	5	0	0	9	14	58	2	0	0	74	0	1	0	0	0	1	119	
5:30 PM	0	27	2	0	0	29	5	1	3	0	0	9	4	60	0	0	0	64	0	0	1	0	0	1	103	
5:45 PM	0	28	1	0	0	29	5	0	2	0	0	7	10	43	0	0	0	53	0	0	0	0	0	0	89	
Hourly Total	1	118	6	0	0	125	19	1	13	0	0	33	35	229	2	0	0	266	2	1	4	0	0	7	431	
6:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Grand Total	8	448	37	0	0	493	56	1	75	0	0	132	89	703	18	0	0	810	12	2	8	0	0	22	1457	
Approach %	1.6	90.9	7.5	0.0	-	-	42.4	0.8	56.8	0.0	-	-	11.0	86.8	2.2	0.0	-	-	54.5	9.1	36.4	0.0	-	-	-	
Total %	0.5	30.7	2.5	0.0	-	33.8	3.8	0.1	5.1	0.0	-	9.1	6.1	48.2	1.2	0.0	-	55.6	0.8	0.1	0.5	0.0	-	1.5	-	
Lights	8	425	36	0	-	469	55	1	74	0	-	130	82	677	16	0	-	775	12	2	8	0	-	22	1396	
% Lights	100.0	94.9	97.3	-	-	95.1	98.2	100.0	98.7	-	-	98.5	92.1	96.3	88.9	-	-	95.7	100.0	100.0	100.0	-	-	100.0	95.8	
Buses	0	14	0	0	-	14	0	0	0	0	-	0	3	10	0	0	-	13	0	0	0	0	-	0	27	
% Buses	0.0	3.1	0.0	-	-	2.8	0.0	0.0	0.0	-	-	0.0	3.4	1.4	0.0	-	-	1.6	0.0	0.0	0.0	-	-	0.0	1.9	
Trucks	0	9	1	0	-	10	1	0	1	0	-	2	4	16	2	0	-	22	0	0	0	0	-	0	34	
% Trucks	0.0	2.0	2.7	-	-	2.0	1.8	0.0	1.3	-	-	1.5	4.5	2.3	11.1	-	-	2.7	0.0	0.0	0.0	-	-	0.0	2.3	
Bicycles on Crosswalk	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	
% Bicycles on Crosswalk	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
Pedestrians	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	



South Fayette, PA  
Mayview Rd & Hastings Park Dr  
Wednesday, December 3, 2025  
Location: 40.326553, -  
80.111021

Delmont, PA, Pennsylvania, United States 15626  
610-517-0990 TSTData@aol.com  
Serving Transportation Professionals Since 1995

Count Name: Mayview Road  
and Hastings Park Drive  
Site Code:  
Start Date: 12/03/2025  
Page No: 3

### Turning Movement Peak Hour Data (8:00 AM)

Start Time	Mayview Road Southbound						Hastings Park Drive Westbound						Mayview Road Northbound						Sunset Dr Eastbound						Int. Total	
	Right	Thru	Left	U-Turn	Peds	App. Total	Right	Thru	Left	U-Turn	Peds	App. Total	Right	Thru	Left	U-Turn	Peds	App. Total	Right	Thru	Left	U-Turn	Peds	App. Total		
8:00 AM	1	22	2	0	0	25	0	0	9	0	0	9	3	31	1	0	0	35	0	0	0	0	0	0	0	69
8:15 AM	1	25	1	0	0	27	2	0	11	0	0	13	4	28	1	0	0	33	2	0	0	0	0	2	75	
8:30 AM	0	33	2	0	0	35	2	0	5	0	0	7	1	32	2	0	0	35	1	0	0	0	0	1	78	
8:45 AM	1	29	5	0	0	35	3	0	6	0	0	9	8	51	3	0	0	62	2	0	0	0	0	2	108	
Total	3	109	10	0	0	122	7	0	31	0	0	38	16	142	7	0	0	165	5	0	0	0	0	5	330	
Approach %	2.5	89.3	8.2	0.0	-	-	18.4	0.0	81.6	0.0	-	-	9.7	86.1	4.2	0.0	-	-	100.0	0.0	0.0	0.0	-	-	-	
Total %	0.9	33.0	3.0	0.0	-	37.0	2.1	0.0	9.4	0.0	-	11.5	4.8	43.0	2.1	0.0	-	50.0	1.5	0.0	0.0	0.0	-	1.5	-	
PHF	0.750	0.826	0.500	0.000	-	0.871	0.583	0.000	0.705	0.000	-	0.731	0.500	0.696	0.583	0.000	-	0.665	0.625	0.000	0.000	0.000	-	0.625	0.764	
Lights	3	104	9	0	-	116	6	0	31	0	-	37	15	131	5	0	-	151	5	0	0	0	-	5	309	
% Lights	100.0	95.4	90.0	-	-	95.1	85.7	-	100.0	-	-	97.4	93.8	92.3	71.4	-	-	91.5	100.0	-	-	-	-	100.0	93.6	
Buses	0	1	0	0	-	1	0	0	0	0	-	0	1	0	0	0	-	1	0	0	0	0	-	0	2	
% Buses	0.0	0.9	0.0	-	-	0.8	0.0	-	0.0	-	-	0.0	6.3	0.0	0.0	-	-	0.6	0.0	-	-	-	-	0.0	0.6	
Trucks	0	4	1	0	-	5	1	0	0	0	-	1	0	11	2	0	-	13	0	0	0	0	-	0	19	
% Trucks	0.0	3.7	10.0	-	-	4.1	14.3	-	0.0	-	-	2.6	0.0	7.7	28.6	-	-	7.9	0.0	-	-	-	-	0.0	5.8	
Bicycles on Crosswalk	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	
% Bicycles on Crosswalk	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
Pedestrians	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	



South Fayette, PA  
Mayview Rd & Hastings Park Dr  
Wednesday, December 3, 2025  
Location: 40.326553, -  
80.111021

Delmont, PA, Pennsylvania, United States 15626  
610-517-0990 TSTData@aol.com  
Serving Transportation Professionals Since 1995

Count Name: Mayview Road  
and Hastings Park Drive  
Site Code:  
Start Date: 12/03/2025  
Page No: 5

### Turning Movement Peak Hour Data (4:45 PM)

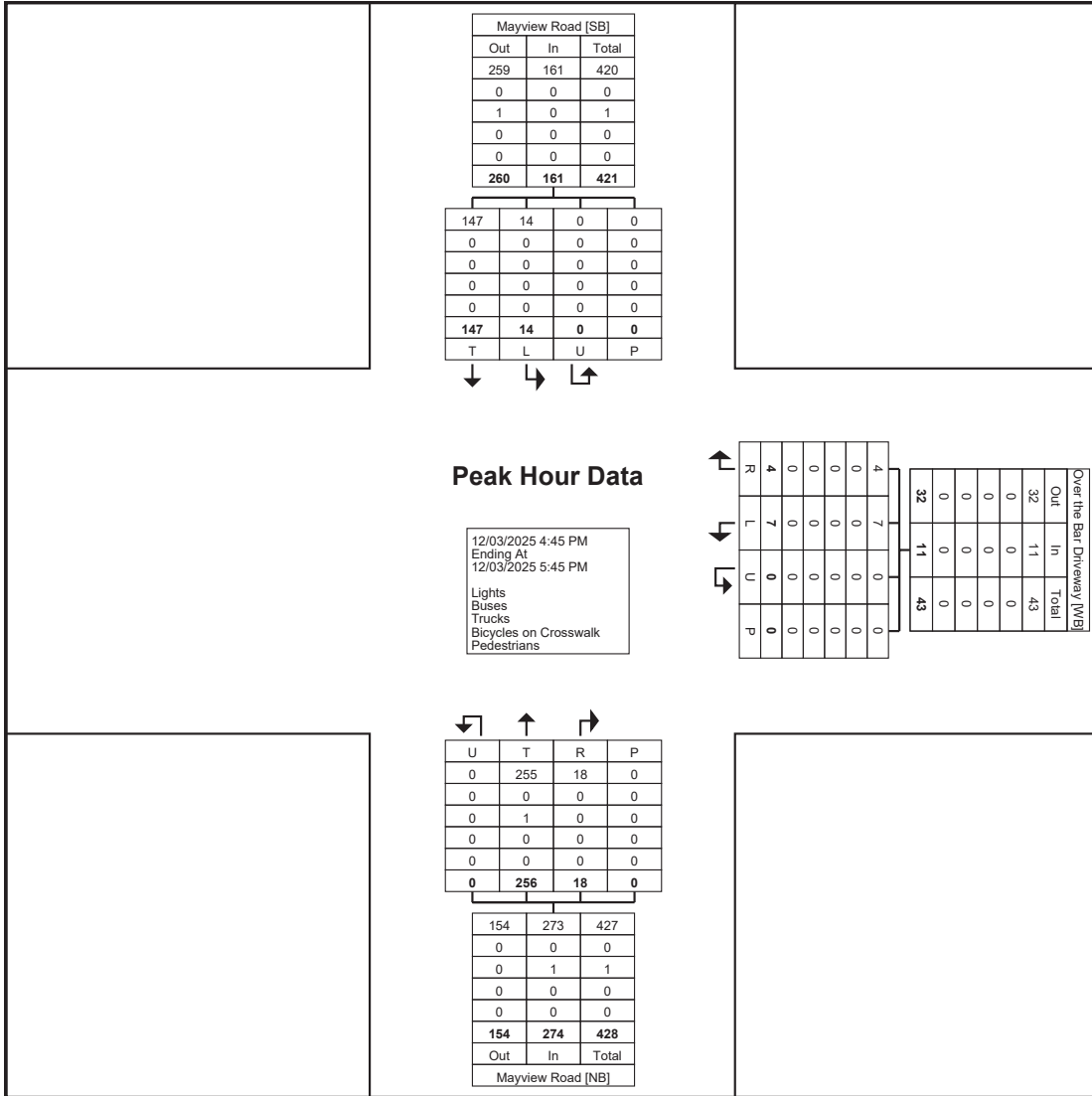
Start Time	Mayview Road Southbound						Hastings Park Drive Westbound						Mayview Road Northbound						Sunset Dr Eastbound						Int. Total
	Right	Thru	Left	U-Turn	Peds	App. Total	Right	Thru	Left	U-Turn	Peds	App. Total	Right	Thru	Left	U-Turn	Peds	App. Total	Right	Thru	Left	U-Turn	Peds	App. Total	
4:45 PM	0	38	1	0	0	39	1	0	3	0	0	4	8	68	1	0	0	77	0	0	1	0	0	1	121
5:00 PM	1	30	1	0	0	32	5	0	3	0	0	8	7	68	0	0	0	75	2	0	3	0	0	5	120
5:15 PM	0	33	2	0	0	35	4	0	5	0	0	9	14	58	2	0	0	74	0	1	0	0	0	1	119
5:30 PM	0	27	2	0	0	29	5	1	3	0	0	9	4	60	0	0	0	64	0	0	1	0	0	1	103
Total	1	128	6	0	0	135	15	1	14	0	0	30	33	254	3	0	0	290	2	1	5	0	0	8	463
Approach %	0.7	94.8	4.4	0.0	-	-	50.0	3.3	46.7	0.0	-	-	11.4	87.6	1.0	0.0	-	-	25.0	12.5	62.5	0.0	-	-	-
Total %	0.2	27.6	1.3	0.0	-	29.2	3.2	0.2	3.0	0.0	-	6.5	7.1	54.9	0.6	0.0	-	62.6	0.4	0.2	1.1	0.0	-	1.7	-
PHF	0.250	0.842	0.750	0.000	-	0.865	0.750	0.250	0.700	0.000	-	0.833	0.589	0.934	0.375	0.000	-	0.942	0.250	0.250	0.417	0.000	-	0.400	0.957
Lights	1	128	6	0	-	135	15	1	13	0	-	29	32	253	3	0	-	288	2	1	5	0	-	8	460
% Lights	100.0	100.0	100.0	-	-	100.0	100.0	100.0	92.9	-	-	96.7	97.0	99.6	100.0	-	-	99.3	100.0	100.0	100.0	-	-	100.0	99.4
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Buses	0.0	0.0	0.0	-	-	0.0	0.0	0.0	0.0	-	-	0.0	0.0	0.0	0.0	-	-	0.0	0.0	0.0	0.0	-	-	0.0	0.0
Trucks	0	0	0	0	-	0	0	0	1	0	-	1	1	1	0	0	-	2	0	0	0	0	-	0	3
% Trucks	0.0	0.0	0.0	-	-	0.0	0.0	0.0	7.1	-	-	3.3	3.0	0.4	0.0	-	-	0.7	0.0	0.0	0.0	-	-	0.0	0.6
Bicycles on Crosswalk	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-
% Bicycles on Crosswalk	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Pedestrians	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-







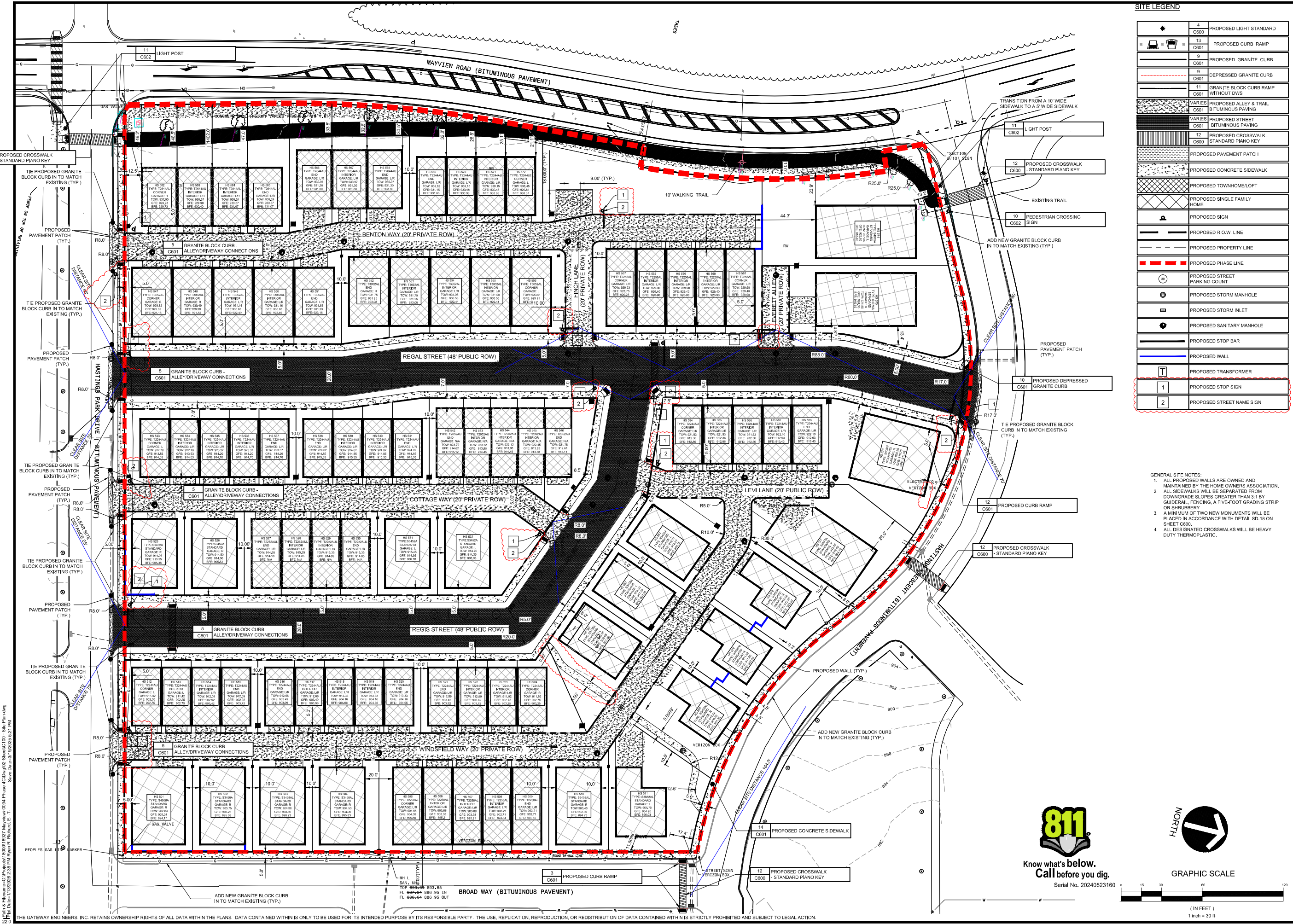




Turning Movement Peak Hour Data Plot (4:45 PM)

## **APPENDIX D**

Copies of Phase 4 and Phase 5 Site Plans

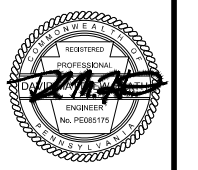
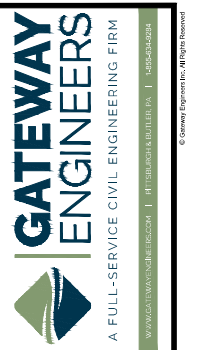


**SITE LEGEND**

	4	PROPOSED LIGHT STANDARD
	13	PROPOSED CURB RAMP
	C601	PROPOSED GRANITE CURB
	9	PROPOSED DEPRESSED GRANITE CURB
	C601	GRANITE BLOCK CURB RAMP WITHOUT DWS
	VARIES	PROPOSED ALLEY & TRAIL BITUMINOUS PAVING
	VARIES	PROPOSED STREET BITUMINOUS PAVING
	C600	PROPOSED CROSSWALK - STANDARD PIANO KEY
		PROPOSED PAVEMENT PATCH
		PROPOSED CONCRETE SIDEWALK
		PROPOSED TOWNHOME/LOFT
		PROPOSED SINGLE FAMILY HOME
		PROPOSED SIGN
		PROPOSED R.O.W. LINE
		PROPOSED PROPERTY LINE
		PROPOSED PHASE LINE
		PROPOSED STREET PARKING COUNT
		PROPOSED STORM MANHOLE
		PROPOSED STORM INLET
		PROPOSED SANITARY MANHOLE
		PROPOSED STOP BAR
		PROPOSED WALL
	T	PROPOSED TRANSFORMER
	1	PROPOSED STOP SIGN
	2	PROPOSED STREET NAME SIGN

**GENERAL SITE NOTES:**

- ALL PROPOSED WALLS ARE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- ALL SIDEWALKS WILL BE SEPARATED FROM DOWNGRADE SLOPES GREATER THAN 3:1 BY GUIDERAIL, FENCING, A FIVE-FOOT GRADING STRIP OR SHRUBBERY.
- A MINIMUM OF TWO NEW MONUMENTS WILL BE PLACED IN ACCORDANCE WITH DETAIL SD-18 ON SHEET C600.
- ALL DESIGNATED CROSSWALKS WILL BE HEAVY DUTY THERMOPLASTIC.



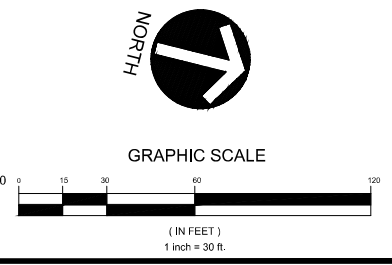
**REVISION RECORD**

Date	No.	REVISION
03/14/2024	01	RESPONSE TO TWP COMMENTS
03/29/2024	02	REVISED PLAN SET
04/09/2024	03	REVISED PLAN SET
05/14/2024	04	REVISED PLAN SET
05/21/2024	05	REVISED PLAN SET
06/24/2024	06	PAVIC REVISIONS
07/02/2024	07	DRY UTILITY REVISIONS
08/13/2024	08	ADA RAMP RELOCATION

**HASTINGS**  
South Fayette Township/Pittsburgh, PA  
CHARTERED TOWN & TOWNSHIP

**HASTINGS PHASE 4**  
MAYVIEW ROAD  
PITTSBURGH, 15102  
PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC.**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

**SITE PLAN**  
Project Number: 18927-0094  
Drawing Scale: 1" = 30'  
Date Issued: MARCH, 2024  
Job Number:  
Drawn By: VLP  
Checked By: DMH  
Project Manager: DMH  
**C100**



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REVISION RECORD

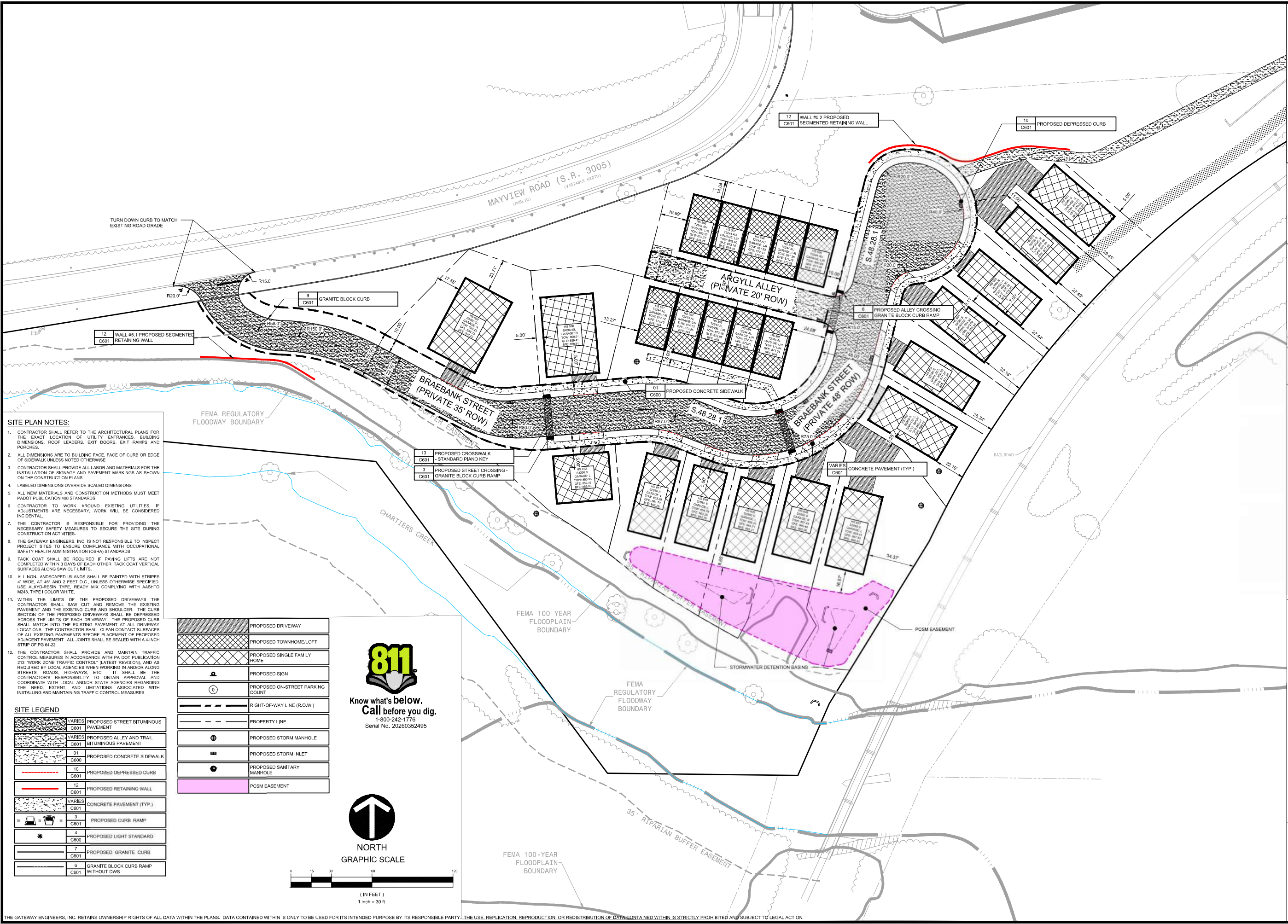
No.	Date
01	
02	
03	
04	
05	
06	
07	
08	

**HASTINGS**  
South Fayette Township/Pittsburgh, PA  
CHARTER HOMES & BUILDINGS

**HASTINGS PHASE 5**  
MAYVIEW ROAD  
PITTSBURGH, PA 15102  
PREPARED FOR:  
**CHARTER HOMES AT HASTINGS, INC**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

SITE PLAN  
Project Number: 18927-0096  
Drawing Scale: 1" = 30'  
Date Issued: FEB 2026  
Index Number:  
Drawn By: CRS  
Checked By: DMH  
Project Manager: DMH

**C100**



**SITE PLAN NOTES:**

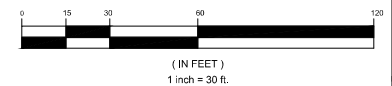
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
- ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- LABELED DIMENSIONS OVERRIDE SCALED DIMENSIONS.
- ALL NEW MATERIALS AND CONSTRUCTION METHODS MUST MEET PADOT PUBLICATION 408 STANDARDS.
- CONTRACTOR TO WORK AROUND EXISTING UTILITIES, IF ADJUSTMENTS ARE NECESSARY, WORK WILL BE CONSIDERED INCIDENTAL.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE NECESSARY SAFETY MEASURES TO SECURE THE SITE DURING CONSTRUCTION ACTIVITIES.
- THE GATEWAY ENGINEERS, INC. IS NOT RESPONSIBLE TO INSPECT PROJECT SITES TO ENSURE COMPLIANCE WITH OCCUPATIONAL SAFETY HEALTH ADMINISTRATION (OSHA) STANDARDS.
- TACK COAT SHALL BE REQUIRED IF PAVING LIFTS ARE NOT COMPLETED WITHIN 3 DAYS OF EACH OTHER. TACK COAT VERTICAL SURFACES ALONG SAW CUT LIMITS.
- ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 45° AND 2 FEET O.C., UNLESS OTHERWISE SPECIFIED. USE ALKYLID-RESIN TYPE, READY MIX COMPLYING WITH AASHTO M84.5 TYPE I COLOR WHITE.
- WITHIN THE LIMITS OF THE PROPOSED DRIVEWAYS THE CONTRACTOR SHALL SAW CUT AND REMOVE THE EXISTING PAVEMENT AND THE EXISTING CURB AND SHOULDER. THE CURB SECTION OF THE PROPOSED DRIVEWAYS SHALL BE DEPRESSED ACROSS THE LIMITS OF EACH DRIVEWAY. THE PROPOSED CURB SHALL MATCH INTO THE EXISTING PAVEMENT AT ALL DRIVEWAY LOCATIONS. THE CONTRACTOR SHALL CLEAN CONTACT SURFACES OF ALL EXISTING PAVEMENTS BEFORE PLACEMENT OF PROPOSED ADJACENT PAVEMENT. ALL JOINTS SHALL BE SEALED WITH A 4-INCH STRIP OF PG 64-22.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PA DOT PUBLICATION 213 "WORK ZONE TRAFFIC CONTROL" (LATEST REVISION), AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.

**SITE LEGEND**

[Symbol]	VARIES C601	PROPOSED STREET BITUMINOUS PAVEMENT
[Symbol]	VARIES C601	PROPOSED ALLEY AND TRAIL BITUMINOUS PAVEMENT
[Symbol]	01 C600	PROPOSED CONCRETE SIDEWALK
[Symbol]	10 C601	PROPOSED DEPRESSED CURB
[Symbol]	12 C601	PROPOSED RETAINING WALL
[Symbol]	VARIES C601	CONCRETE PAVEMENT (TYP.)
[Symbol]	3 C601	PROPOSED CURB RAMP
[Symbol]	4 C600	PROPOSED LIGHT STANDARD
[Symbol]	C601	PROPOSED GRANITE CURB
[Symbol]	6 C601	GRANITE BLOCK CURB RAMP WITHOUT DWS

[Symbol]	PROPOSED DRIVEWAY
[Symbol]	PROPOSED TOWNHOME/LOFT
[Symbol]	PROPOSED SINGLE FAMILY HOME
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED ON-STREET PARKING COUNT
[Symbol]	RIGHT-OF-WAY LINE (R.O.W.)
[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED STORM MANHOLE
[Symbol]	PROPOSED STORM INLET
[Symbol]	PROPOSED SANITARY MANHOLE
[Symbol]	PCSM EASEMENT

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Serial No. 20260352495



## **APPENDIX E**

Trip Generation Calculations – Remainder Phase 4 and Phase 5:  
*21 Single Family Homes and 57 Townhouses*

# Land Use: 210

## Single-Family Detached Housing

---

### Description

A single-family detached housing site includes any single-family detached home on an individual lot. A typical site surveyed is a suburban subdivision.

### Specialized Land Use

Data have been submitted for several single-family detached housing developments with homes that are commonly referred to as patio homes. A patio home is a detached housing unit that is located on a small lot with little (or no) front or back yard. In some subdivisions, communal maintenance of outside grounds is provided for the patio homes. The three patio home sites total 299 dwelling units with overall weighted average trip generation rates of 5.35 vehicle trips per dwelling unit for weekday, 0.26 for the AM adjacent street peak hour, and 0.47 for the PM adjacent street peak hour. These patio home rates, based on a small sample of sites, are lower than those for single-family detached housing (Land Use 210), lower than those for single-family attached housing (Land Use 215), and higher than those for senior adult housing—single-family (Land Use 251). (Source 1008)

### Additional Data

The sites were surveyed in the 1990s, the 2000s, the 2010s, and the 2020s in Alabama, Arizona, British Columbia (CAN), California, Delaware, Illinois, Kentucky, Massachusetts, Minnesota, Montana, New Jersey, New York, North Carolina, Ontario (CAN), Oregon, Pennsylvania, South Carolina, South Dakota, Vermont, and West Virginia.

### Source Numbers

356, 357, 367, 384, 387, 407, 435, 522, 550, 552, 579, 598, 601, 603, 614, 637, 711, 716, 720, 728, 735, 868, 869, 903, 925, 936, 1005, 1007, 1008, 1010, 1033, 1066, 1077, 1078, 1079, 1204, 1221, 1225, 1236, 1251, 1265, 1267

# Single-Family Detached Housing (210)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,  
Peak Hour of Adjacent Street Traffic,  
One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 153

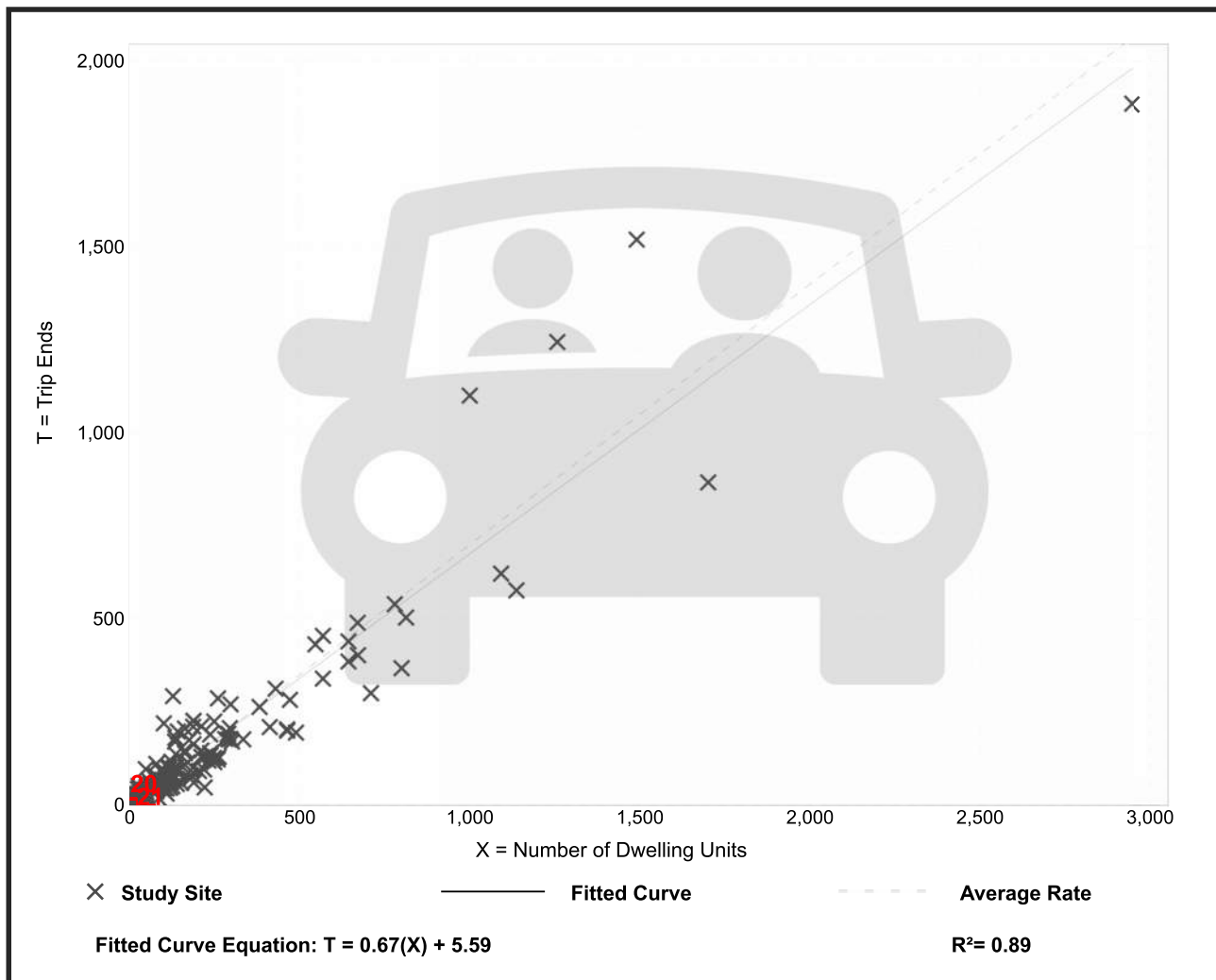
Avg. Num. of Dwelling Units: 239

Directional Distribution: 27% entering, 73% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.70	0.22 - 2.27	0.26

## Data Plot and Equation



# Single-Family Detached Housing (210)

Vehicle Trip Ends vs: Dwelling Units  
 On a: Weekday,  
 Peak Hour of Adjacent Street Traffic,  
 One Hour Between 4 and 6 p.m.

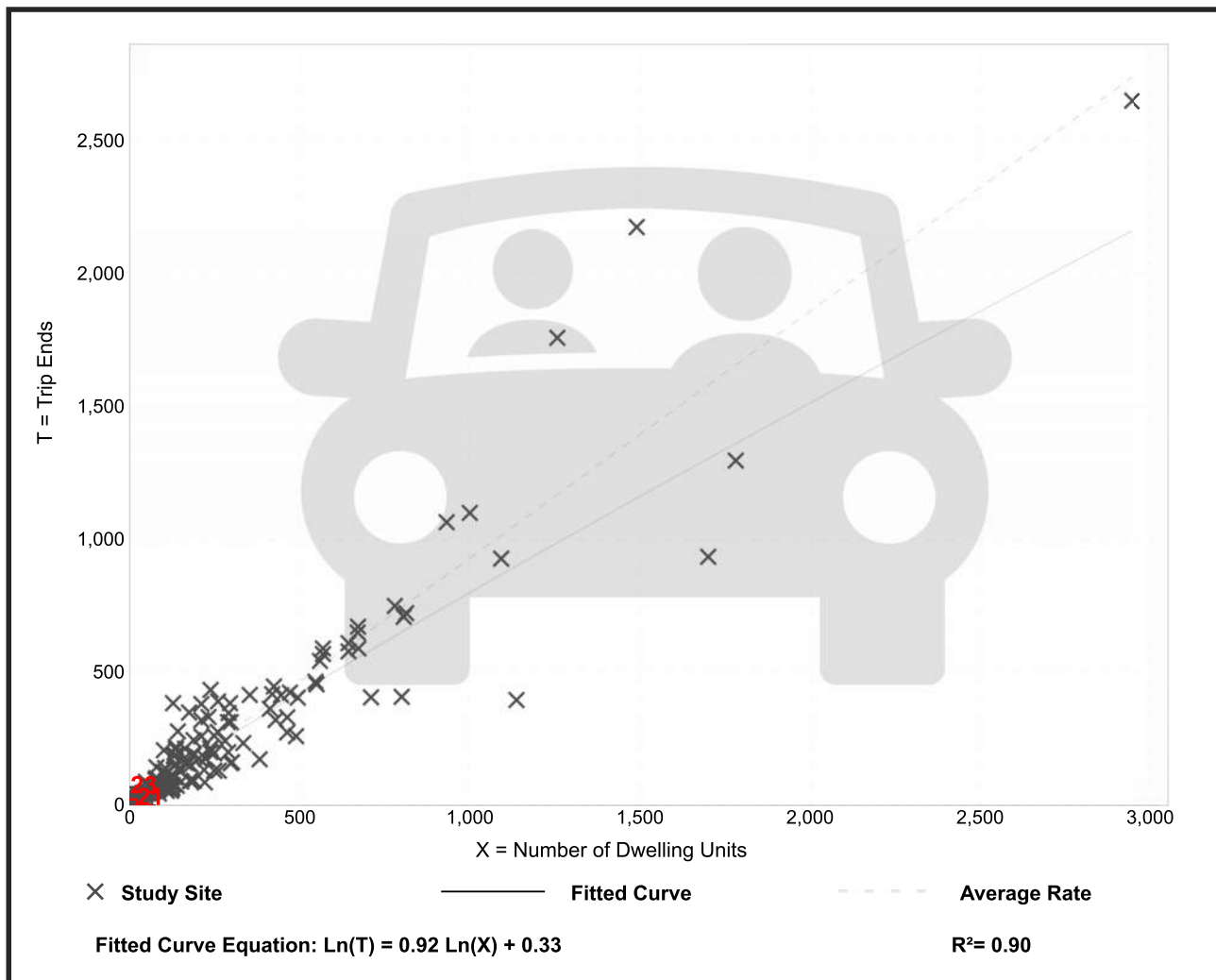
Setting/Location: General Urban/Suburban

Number of Studies: 166  
 Avg. Num. of Dwelling Units: 266  
 Directional Distribution: 62% entering, 38% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.93	0.35 - 2.98	0.33

## Data Plot and Equation



# Land Use: 215

## Single-Family Attached Housing

---

### Description

Single-family attached housing includes any single-family housing unit that shares a wall with an adjoining dwelling unit, whether the walls are for living space, a vehicle garage, or storage space. This land use includes duplexes (defined as a single structure with two distinct dwelling units, typically joined side-by-side and each with at least one outside entrance) and townhouses/rowhouses (defined as a single structure with three or more distinct dwelling units, joined side-by-side in a row and each with an outside entrance).

### Additional Data

The sites were surveyed in the 1990s, the 2000s, and the 2010s in British Columbia (CAN), California, Georgia, Massachusetts, Minnesota, New Jersey, Ontario (CAN), Oregon, Pennsylvania, South Dakota, Utah, and Wisconsin.

### Source Numbers

357, 390, 418, 525, 571, 583, 638, 868, 869, 870, 896, 912, 959, 1009, 1046, 1056, 1058, 1077

# Single-Family Attached Housing (215)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,  
Peak Hour of Adjacent Street Traffic,  
One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 26

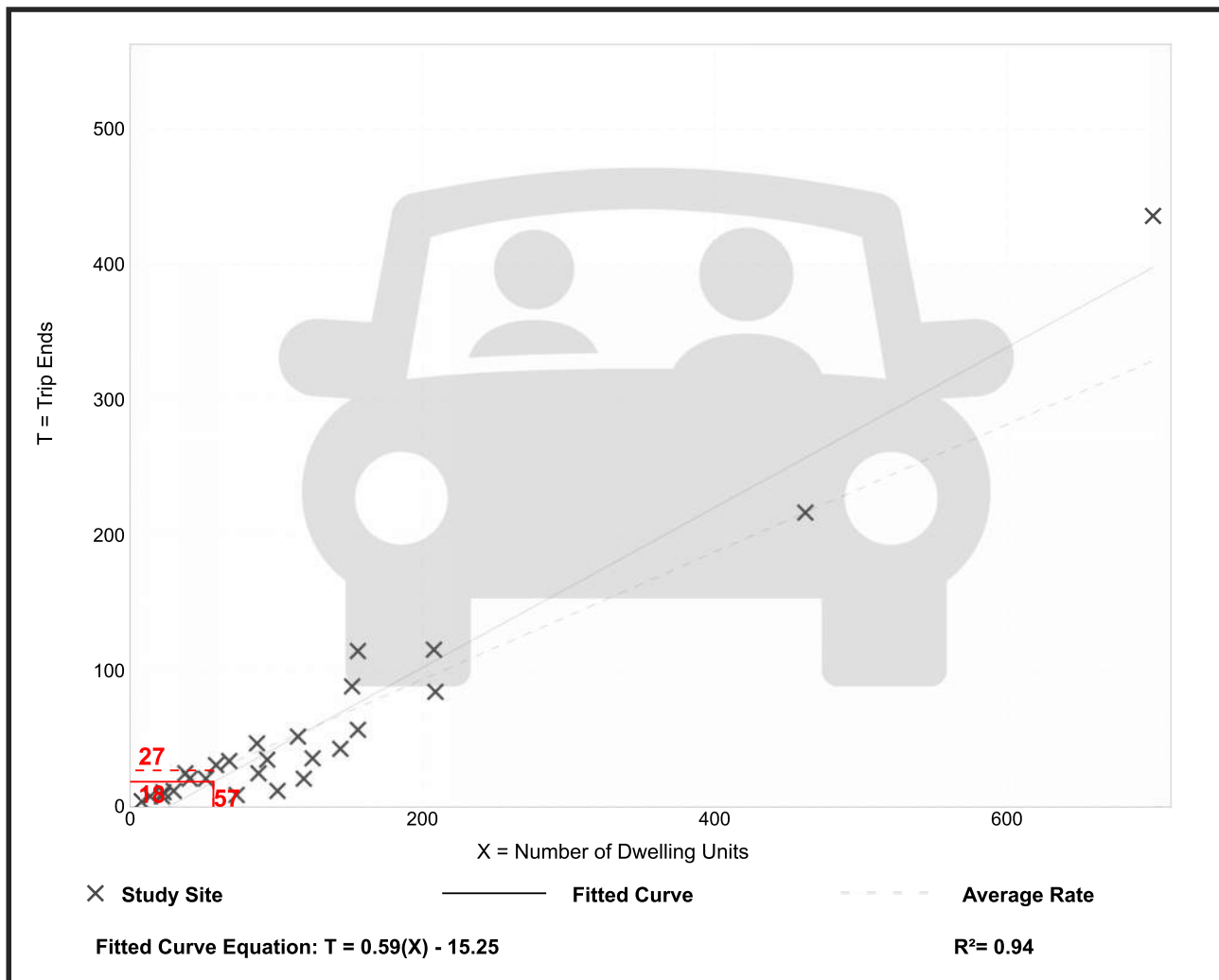
Avg. Num. of Dwelling Units: 129

Directional Distribution: 25% entering, 75% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.47	0.12 - 0.74	0.16

## Data Plot and Equation



# Single-Family Attached Housing (215)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,  
Peak Hour of Adjacent Street Traffic,  
One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 31

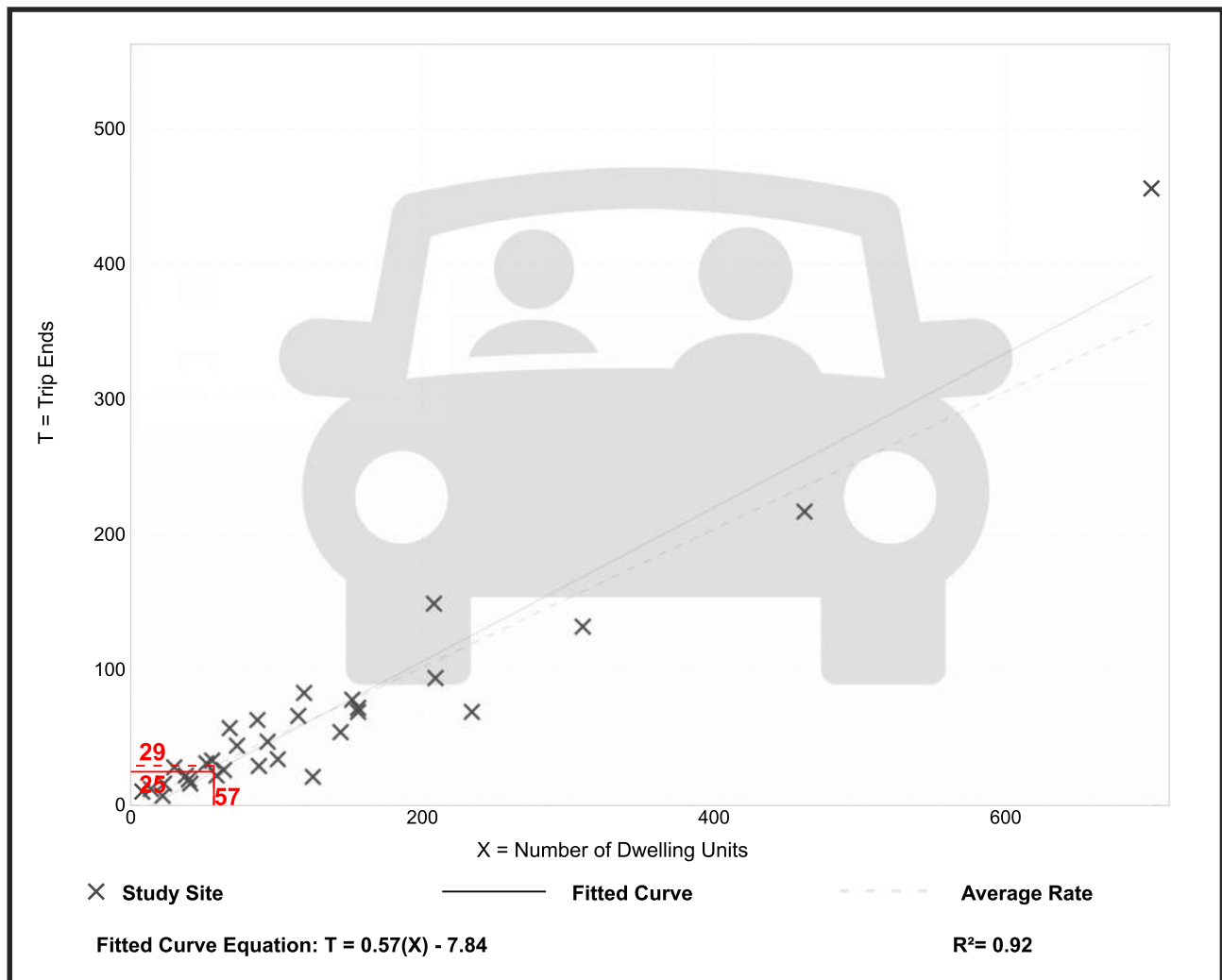
Avg. Num. of Dwelling Units: 131

Directional Distribution: 57% entering, 43% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.51	0.17 - 1.25	0.16

## Data Plot and Equation





Matthew Macek  
Superintendent-Pittsburgh Field Operations  
Pennsylvania American Water  
560 Horning Road  
Bethel Park, PA 15102  
412-854-7603 Email: matthew.macek@amwater.com

June 23, 2016

Joe Chirumbolo  
Gateway Engineering  
400 Holiday Dr  
Pittsburgh, PA 15220

Subject: Water Availability  
Hasting Development  
Mayview Rd – South Fayette Township – Allegheny County

This letter is to advise that Pennsylvania American Water, Pittsburgh District, has an 12” water line along Mayview Rd. that is available to provide water service to the above referenced project. Water service would be provided under our Rules and Regulations as approved by the Pennsylvania Public Utility Commission.

A meeting at the site is required to verify and discuss the water service line location and meter placement. In addition, tap and meter information can be discussed. The Field Supervisor handling this particular area is Gary Eiter. He can be reached at 412-854-7619.

A water service application will need to be filled out and returned. You may contact the New Service Department for the necessary paperwork at 800-565-7692.

Sincerely Yours,

Matthew Macek  
Superintendent – Field Operations

Cc: D. Smith, G. Eiter,



May 11<sup>th</sup>, 2016

Joe Chirumbolo  
Gateway Engineers  
400 Holiday Dr. #300  
Pittsburgh, PA 15220

**Ref: Letter of Availability for the proposed project located on Mayview Rd., Pittsburgh, PA 15241**

Dear Mr. Chirumbolo:

Natural gas service is available from Peoples Natural Gas Company LLC to serve the "proposed" project located on **Mayview Rd., Pittsburgh, PA 15241**.

However, any time we extend our mainline or increase our capacity a possibility exists that there may be a cost to the developer. The determination of cost will be made once the developer submits a formal site plan with the total BTU requirements and pressure requirements. Then all construction costs will be evaluated and Peoples Natural Gas Company LLC will then be able to submit a proposal to serve this new development.

I have enclosed a gas application to be completed – only the areas highlighted. Once completed, please send back to the attention of Beth Reicherter via mail, 1201 Pitt St. Pittsburgh, PA 15221 or email, [beth.reicherter@peoples-gas.com](mailto:beth.reicherter@peoples-gas.com).

If you require further information, please do not hesitate to call 412-639-1058.

Sincerely,

*Beth M. Reicherter*

Beth M. Reicherter  
Sales Specialist



May 9, 2016

Mr. Joseph E. Chirumbolo  
The Gateway Engineers, Inc.  
400 Holiday Drive, Suite 300  
Pittsburgh, PA 15143

RE: Mayview Road Development

Dear Mr. Chirumbolo,

This letter is to inform you of the availability of natural gas service from Columbia Gas of Pennsylvania, Inc. (CPA) for the above-referenced development. CPA has existing natural gas facilities located along Mayview Road. Please be advised that while gas service is located near the site, this letter should not be interpreted as commitment to serve until a more thorough application process is completed. Once CAD development drawings and load information are received, our engineering group will begin the design of a gas system to serve the development.

Please keep us updated on the timing and progress of this development so we may coordinate the installation of the natural gas facilities to meet the development timeline. I look forward to working with you to assist in making this development a success.

Best regards,

Mike Belsky, Jr

Mike Belsky, Jr.  
New Business Development Manager



60 2014 00034872

Allegheny County  
Jerry Tyskiewicz  
Department of Real Estate  
Pittsburgh, PA 15219

Instrument Number: 2014-34872

BK-DE VL-15821 PG-542

Recorded On: December 09, 2014 As-Deed Agreement

Parties: ALOE BROTHERS L L C

To CHARTER HOMES DEVELOP PROPERTIES XI INC

# of Pages: 4

Comment: MEMO PURCHASE AGRMT

\*\*\*\*\* THIS IS NOT A BILL \*\*\*\*\*

Deed Agreement 162.00  
0  
0  
Total: 162.00

**Realty Transfer Stamp**

**Department of Real Estate Stamp**

Affidavit Attached-No	
NOT A DEED OF TRANSFER	EXEMPT
Value	

Certified On/By-> 12-09-2014 / Amy Racko
NOT A DEED OF TRANSFER

I hereby certify that the within and foregoing was recorded in the Department of Real Estate in Allegheny County, PA

**\*\*DO NOT REMOVE-THIS PAGE IS PART OF THE RECORDED DOCUMENT\*\***

**File Information:**

**Record and Return To:**

Document Number: 2014-34872  
Receipt Number: 2777383  
Recorded Date/Time: December 09, 2014 12:26:30P  
Book-Vol/Pg: BK-DE VL-15821 PG-542  
User / Station: M Ward - Cash Station 22

BASSI VREELAND & ASSOCIATES PC  
111 FALLOWFIELD AV  
PO BOX 144  
CHARLEROI PA 15022



*Jerry Tyskiewicz*  
Jerry Tyskiewicz, Acting Manager  
Rich Fitzgerald, County Executive

**MEMORANDUM OF PURCHASE AGREEMENT**

This Memorandum of Purchase Agreement is made this 19<sup>th</sup> day of November 2014, by and between **ALOE BROTHERS, LLC**, a Pennsylvania Limited Liability Company, with a registered office address of 5540 Dunmoyle Avenue, Pittsburgh, Pennsylvania 15217 (“Seller”), and **CHARTER HOMES DEVELOPMENT PROPERTIES XI, INC.**, a Pennsylvania Corporation with a registered office address of 1190 Dillerville Road, Lancaster, Pennsylvania 17601 (“Buyer”).

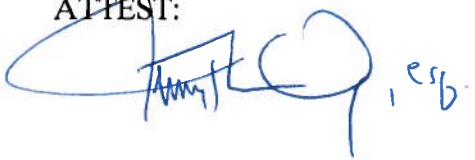
**Witnesseth:**

1. Aloe Brothers, LLC, and Charter Homes Development Properties XI, Inc., have entered into a written Purchase Agreement dated April 30, 2014, for the sale and purchase of:
  - i. a. 68.98 (+/-) acres, being Parcel ID No. 0571-B-00002-0000-00;
  - b. 81.33 (+/-) acres, being Parcel ID No. 0480-P-00001-0000-00;
  - c. 8.46 (+/-) acres, being Parcel ID No. 571-A-00001-000-00; and
  - d. 1.69 (+/-) acres, being Parcel ID No. 480-E-00003-000-00 and
- ii. which parcels are situate in the Township of South Fayette, Allegheny County, Pennsylvania, and
- iii. Aloe Brothers, LLC, has excepted and reserved Seller’s subterranean mineral rights (including without limitation, coal rights) and any subterranean oil and gas rights appurtenant thereto, provided that the exercise by Aloe Brothers, LLC, of the subsurface rights shall not unreasonably or materially interfere with Charter Homes Development Properties XI, Inc.’s use of the subject properties for its intended purposes, and further provided that Aloe Brothers, LLC, shall not be permitted to use the surface of the subject property in conjunction with the exercise of the subsurface rights reserved to Aloe Brothers, LLC.

2. The purpose of this Memorandum of Purchase Agreement is to provide notice of the existence of the parties' Purchase Agreement, aforementioned.

IN WITNESS WHEREOF, the parties have set forth their hands and seals on the 19th day of November 2014.

ATTEST:




ALOE BROTHERS, LLC

By   
Mark Aloe, Managing Member

ATTEST:

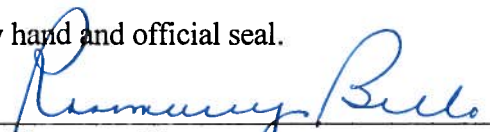
CHARTER HOMES DEVELOPMENT  
PROPERTIES XI, INC.

By   
Robert P. Bowman, President

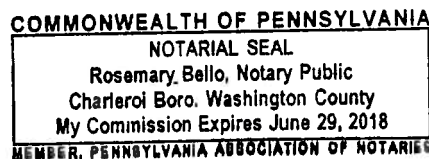
Commonwealth of Pennsylvania  
:SS  
County of WASHINGTON

On this 21st day of November, A.D. 2014, before me a Notary Public, the undersigned officer, personally appeared Mark Aloe, Managing Member, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained.

**In Witness Whereof**, I hereunto set my hand and official seal.

  
NOTARY PUBLIC

My commission expires:



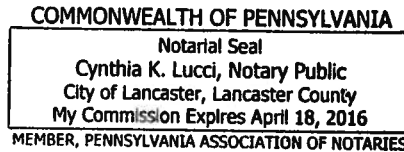
Commonwealth of Pennsylvania  
:SS  
County of Lancaster

On this 19<sup>th</sup> day of November, A.D. 2014, before me a Notary Public, the undersigned officer, personally appeared Robert P. Bowman, President, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.

Cynthia K. Lucci  
NOTARY PUBLIC

My commission expires: April 18, 2016



After Recording Return To:  
Bassi, Vreeland & Associates, P.C.  
111 Fallowfield Avenue  
P.O. Box 144  
Charleroi, Pennsylvania 15022

BASSI, VREELAND & ASSOCIATES, P.C. ATTORNEYS AT LAW • COST ACCOUNT

30005

VENDOR: ALLEGHENY COUNTY DEPT OF REAL ESTATE  
OUR REF. NO. YOUR INVOICE NUMBER INVOICE DATE INVOICE AMOUNT AMOUNT PAID DISCOUNT TAKEN CHECK NO: 30005

Official Receipt for Recording in:

Department of Real Estate  
101 County Office Bldg - 542 Forbes Avenue  
542 Forbes Avenue  
Pittsburgh, PA 15219

Issued To:  
CUSTOMER

PITTSBURGH PA 15219

Recording Fees

Filing Type	Number	Volm	Page	Time	Recording Amount
Deed Agreement	34872	15821	00542	12:26:30p	162.00
MEMO PURCHASE AGRHT DR-ALOE BROTHERS L L C IN-CHARTER HOMES DEVELOP PROPERTIES XI INC					
Not a Deed of Transfer	34872	15821	00542	12:26:30p	.00
DR-ALOE BROTHERS L L C IN-CHARTER HOMES DEVELOP PROPERTIES XI INC					
Collected Amounts					162.00
Payment Type					Amount
2-Check	CFS 005				162.00
					162.00
Total Received :					162.00
Less Total Recordings:					162.00
Change Due :					.00

Thank You  
JERRY TVSKIEWICZ - Department of Real Estate

By - Maureen Ward

Receipt# Date Time  
2777383 12/09/2014 12:26p

DEED

THIS DEED MADE AND ENTERED into this 5<sup>th</sup> day of January, 2011,  
between the **COMMONWEALTH OF PENNSYLVANIA**, acting by and through the  
Department of General Services, an administrative department of the Commonwealth  
of Pennsylvania, with the approval of the Governor of the Commonwealth of  
Pennsylvania, herein referred to as **GRANTOR**,

A

N

D

**ALOE BROTHERS L.L.C.**, 5540 Dunmoyle Avenue, Pittsburgh, Pennsylvania,  
15217, hereinafter referred to as **GRANTEE**,

**WHEREAS**, under authority of **Act 117 of 2010**, the General Assembly of the  
Commonwealth of Pennsylvania authorized the Department of General Services, with the  
approval of the Governor, to grant and convey to **GRANTEE**, three (3) tracts of land  
containing 152 acres +/- together with improvements thereon, situate in the Township of  
South Fayette, County of Allegheny, Commonwealth of Pennsylvania, hereinafter  
described.

**WITNESSETH**, that the said **GRANTOR** for and in consideration of **FIVE  
HUNDRED FIVE THOUSAND FIVE HUNDRED FIVE DOLLARS AND 00/100  
(\$505,505.00)** has granted and conveyed and by these presents does grant and convey  
to **GRANTEE**, its successors and assigns three (3) tracts of land, together with all  
buildings and improvements thereon, situate in the Township of South Fayette,  
Allegheny County, Pennsylvania, bounded and described as follows:

LOT NO. 1

**BEING** all of that certain piece or parcel of land being situate in the Township of South  
Fayette, Allegheny County, more particularly bound and described as follows:

**BEGINNING** at an iron pin set at the southern right of way line of Mayview Road, a fifty  
foot right of way and lands now or formerly of BEE Properties LLC, thence continuing

along the southern right of way line of Mayview Road, a fifty foot right of way, the following seven (7) courses and distances:

1. North 82°34'35" East 392.34 feet to a point, thence;
2. North 80°48'25" East 335.96 feet to a point, thence;
3. By a curve to the left with a radius of 1025.00 feet for an arc length of 174.64 feet with a chord bearing North 75°55'33" East 174.43 feet to a point, thence;
4. North 71°02'41" East 97.44 feet to a point, thence;
5. By a curve to the left with a radius of 130.00 feet and an arc length of 194.34 feet with a chord bearing North 28°13'07" East 176.74 feet to a point, thence;
6. North 14°36'27" West 317.99 feet to a point, thence;
7. South 75°23'33" West 8.50 feet to a point where the right of way of Mayview Road changes from 50 to 33 feet, thence, continuing along Mayview Road;
8. North 14°36'27" West 215.17 feet to a point, thence;
9. By a curve to the right with a radius of 898.50 feet and an arc length of 168.21 feet with a chord bearing North 09°14'39" West 167.96 feet to a point, thence;
10. North 03°52'52" West 106.37 feet to a point, thence;
11. By a curve to the left with a radius of 542.50 feet with an arc length of 231.86 feet and a chord bearing North 16°07'29" West 230.10 feet to a point, thence;
12. North 28°22'07" West 153.00 feet to a point, thence;
13. By a curve to the left with a radius of 551.50 feet and an arc length of 215.61 feet with a chord bearing North 39°34'07" West 214.24 feet to a point, thence;
14. North 50°46'08" West 457.91 feet to a point, thence;
15. By a curve to the right with a radius of 166.58 feet with an arc length of 163.24 with a chord bearing North 22°31'44" West 156.71 feet to a point of compound curvature, thence;
16. By a curve to the right with a radius of 277.76 feet and an arc length of 48.96 feet with a chord bearing North 10°45'52" East 48.90 feet to a point, thence;
17. North 15°48'52" East 104.43 feet to a point, thence;
18. North 16°47'48" East 76.15 feet to a point on the southern and western right of way lines of lands now or formerly of the Ohio Central Railroad System, thence



by lands now or formerly of the Ohio Central Railroad System, the following eighteen (18) courses and distances;

19. South  $42^{\circ}54'10''$  East 289.56 feet to a point, thence;
20. South  $40^{\circ}33'49''$  East 419.59 feet to a point, thence;
21. South  $89^{\circ}36'43''$  East 432.07 feet to a point, thence;
22. North  $68^{\circ}47'14''$  East 101.98 feet to a point, thence;
23. North  $80^{\circ}05'50''$  East 400.00 feet to a point, thence;
24. North  $09^{\circ}54'10''$  West 10.00 feet to a point, thence;
25. North  $80^{\circ}05'50''$  East 270.00 feet to a point, thence;
26. By a curve to the right with a radius of 2303.66 with an arc length of 723.72 feet with a chord bearing North  $89^{\circ}05'50''$  East 720.74 feet to a point of compound curvature, thence;
27. By a curve to the right with a radius of 654.14 with an arc length of 727.75 with a chord bearing South  $50^{\circ}01'52''$  East 690.80 feet to a point, thence;
28. South  $71^{\circ}50'27''$  West 20.00 feet to a point, thence;
29. By a non-tangent curve to the right with a radius 634.14 feet with an arc length of 978.29 feet and a chord bearing South  $26^{\circ}02'09''$  West 884.12 feet to a point, thence;
30. South  $72^{\circ}39'30''$  West 475.41 feet to a point, thence;
31. South  $71^{\circ}55'20''$  West 331.44 feet to a point, thence;
32. South  $69^{\circ}40'12''$  West 438.03 feet to a point, thence;
33. South  $53^{\circ}58'31''$  West 70.04 feet to a point, thence;
34. By a curve to the left with a radius of 697.63 feet with an arc length of 501.35 feet and a chord bearing South  $45^{\circ}50'12''$  West 490.63 feet to a point, thence;
35. South  $31^{\circ}34'51''$  West 141.13 feet to a point, thence;
36. South  $23^{\circ}37'50''$  West 58.04 feet to a point in Chartiers Creek along lands now or formerly of the Township of Upper St. Clair, thence continuing along lands now or formerly of the Township of Upper St. Clair, the following four (4) courses and distances;
37. North  $89^{\circ}18'43''$  West 140.90 feet to a point in Chartiers Creek, thence;

- 38. North 36°36'46" West 287.54 feet to a point in Chartiers Creek, thence;
- 39. North 84°36'46" West 310.00 feet to a point in Chartiers Creek, thence;
- 40. South 57°53'14" West 250.00 feet to a point in Chartiers Creek at lands now or formerly of BEE Properties, LLC, thence continuing along lands of BEE Properties, LLC the following two (2) courses and distances:
- 41. North 42°37'35" West 78.00 feet to a point, thence;
- 42. North 68°07'35" West 202.52 feet to the **POINT and PLACE of BEGINNING.**

**SUBJECT** to a fifty foot (50') wide access easement, as depicted on the "Minor Subdivision of Mayview State Hospital" prepared by L. Robert Kimball & Associates, Inc., Project 09-1300-0243, for use by the PA Department of Transportation for ingress and egress to their wetland mitigation sites which are situated on Lot No. 4 Residual Tract of the aforementioned "Minor Subdivision of Mayview State Hospital".

**BEING Tax Parcel No. 480-P-1.**

The above described tract of land consists of a portion of Parcel Nos. formerly known as 9946-X-50590, 9946-X-50595, 9946-X-50605, and 9946-X-50616, and being shown as Lot No. 1 on a plan entitled "Minor Subdivision of Mayview State Hospital" as prepared by L. Robert Kimball & Associates, Inc., Project 09-1300-0243 and recorded August 30, 2010, in the office of the Department of Real Estate of the County of Allegheny, Commonwealth of Pennsylvania, in Plan Book Volume 269, Page 96.

**SAID PARCEL CONTAINS** 3,542,770.36 square feet or 81.331 acres of land.

**LOT NO. 2**

**BEING** all of that certain piece or parcel of land being situate in the Township of South Fayette, Allegheny County, more particularly bound and described as follows:

**BEGINNING** at an existing concrete monument found at lands now or formerly of South Fayette Township and lands now or formerly of Ernest Webb, thence continuing along lands now or formerly of South Fayette Township, the following eight (8) courses and distances:

- 1. North 31°50'30" East 816.23 to a point, thence;
- 2. North 19°57'43" West 400.20 to a point, thence;
- 3. North 55°14'15" East 335.74 to a point, thence;
- 4. North 47°24'45" West 201.18 to a point, thence;
- 5. North 29°38'37" West 719.15 to a point, thence;

6. South  $70^{\circ}56'43''$  West 116.25 to a point, thence;
7. North  $17^{\circ}09'04''$  West 279.72 to a point, thence;
8. North  $64^{\circ}53'30''$  East 763.66 to a point on the western right of way line of lands now or formerly of the Ohio Central Railroad System, thence by lands now or formerly of the Ohio Central Railroad System, the following two (2) courses and distances;
9. By a non-tangent curve to the left with a radius 984.93 feet with an arc length of 326.32 feet and a chord bearing South  $33^{\circ}24'41''$  East 324.83 feet to a point, thence;
10. South  $42^{\circ}54'10''$  East 393.37 to a point on the western right of way line of Mayview Road, of varying width. Thence, continuing along Mayview Road, the following two (2) courses and distances:
11. South  $15^{\circ}48'52''$  West 126.50 feet to a point, thence;
12. South  $74^{\circ}11'08''$  East 5.50 feet to a point where the right of way of Mayview Road is 33 feet in width, thence continuing along the right of way of Mayview Road, the following seventeen (17) courses and distances:
13. South  $15^{\circ}48'52''$  West 78.25 feet to a point, thence;
14. By a curve to the left with a radius of 310.76 feet with an arc length of 54.78 feet and a chord bearing South  $10^{\circ}45'52''$  West 54.71 feet to a point of compound curvature, thence,
15. By a curve to the left with a radius of 198.58 feet and an arc length of 195.77 feet with a chord bearing South  $22^{\circ}31'43''$  East 187.94 feet to a point, thence;
16. South  $50^{\circ}46'08''$  East 457.91 feet to a point, thence;
17. By a curve to the right with a radius of 518.50 feet with an arc length of 202.71 feet and a chord bearing South  $39^{\circ}34'07''$  East 201.42 feet to a point, thence;
18. South  $28^{\circ}22'07''$  East 153.00 feet to a point, thence;
19. By a curve to the right with a radius of 509.50 feet and an arc length of 217.75 feet with a chord bearing South  $16^{\circ}07'29''$  East 216.10 feet to a point, thence;
20. South  $03^{\circ}52'52''$  East 106.37 feet to a point, thence;
21. By a curve to the left with a radius of 931.50 feet and an arc length of 174.39 feet with a chord bearing South  $09^{\circ}14'39''$  East 174.13 feet to a point, thence;
22. South  $14^{\circ}36'27''$  East 215.17 feet to a point, thence;

23. South 75°23'33" West 8.50 feet to a point where the right of way is fifty feet in width, thence;

24. South 14°36'27" East 317.99 feet to a point, thence;

25. By a curve to the right with a radius of 80.00 feet and an arc length of 119.59 feet with a chord bearing South 28°13'07" West 108.76 feet to a point, thence;

26. South 71°02'41" West 97.44 feet to a point, thence;

27. By a curve to the right with a radius of 975.00 feet and an arc length of 166.12 feet with a chord bearing South 75°55'33" West 165.92 feet to a point, thence;

28. South 80°48'25" West 335.19 feet to a point, thence;

29. South 82°34'35" West 480.68 feet to a point at lands now or formerly of BEE Properties, LLC, thence along lands now or formerly of BEE Properties, LLC at first, then Ernest Webb;

30. North 68°07'35" West 741.53 feet to the **POINT and PLACE of BEGINNING.**

**BEING Tax Parcel No. 571-B-2.**

The above described tract of land consists of a portion of Parcel Nos. formerly known as 9946-X-50590, and 9946-X-678, and being shown as Lot No. 2 on a plan entitled "Minor Subdivision of Mayview State Hospital" as prepared by L. Robert Kimball & Associates, Inc., Project 09-1300-0243 and recorded August 30, 2010, in the office of the Department of Real Estate of the County of Allegheny, Commonwealth of Pennsylvania, in Plan Book Volume 269, Page 95.

**SAID PARCEL CONTAINS 3,004,864.98 square feet or 68.982 acres of land.**

**LOT NO. 3**

**BEING** all of that certain piece or parcel of land being situate in the Township of South Fayette, Allegheny County, more particularly bound and described as follows:

**BEGINNING** at a point on the western right of way line of Mayview Road, a variable width right of way and lands now or formerly of the Township of Upper St. Clair, said point being located within Chartlers Creek, thence continuing along the western right of way line of Mayview Road the following three (3) courses and distances:

1. South 15°48'52" West 76.32 feet to a point, thence;
2. South 22°50'43" East 32.02 feet to a point, thence;

- 7
3. South 09°17'41" West 54.55 feet to a point on the northern right of way line of lands now or formerly of the Ohio Central Railroad, thence continuing along lands now or formerly of the Ohio Central Railroad, the following two (2) courses and distances;
  4. North 42°54'10" West 354.80 feet to a point, thence;
  5. By a curve to the right with a radius of 924.93 feet and an arc length of 613.17 feet with a chord bearing North 23°54'40" West 602.00 feet to a point, thence;
  6. North 72°39'04" East 70.32 feet to a point in Chartiers Creek, thence along Chartiers Creek;
  7. South 19°18'18" East 494.16 feet to a point, thence;
  8. South 41°30'18" East 200.00 feet to a point; thence;
  9. South 67°21'18" East 151.36 feet to the **POINT and PLACE of BEGINNING.**

**BEING Tax Parcel No. 480-E-3.**

The above described tract of land consists of a portion of Parcel No. formerly known as 9946-X-50590, and being shown as Lot No. 3, on a plan entitled "Minor Subdivision of Mayview State Hospital" as prepared by L. Robert Kimball & Associates, Inc., Project 09-1300-0243 and recorded August 30, 2010, in the office of the Department of Real Estate of the County of Allegheny, Commonwealth of Pennsylvania, in Plan Book Volume 269, Page 95.

**SAID PARCEL CONTAINS 73,671.25 square feet or 1.691 acres of land.**

**LOT NO. 1, LOT NO. 2 and LOT NO. 3, AS ABOVE DESCRIBED, BEING** a part of the premises conveyed from the Allegheny County Institution District, to the Commonwealth of Pennsylvania, by deed dated October 31, 1949 and recorded November 3, 1949 in Deed Book Volume 3074, Page 129 and also the land taken by the Commonwealth of Pennsylvania pursuant to the Act of September 29, 1938, Special Session, P.L. 53, as amended by the Act of May 19, 1943, P.L. 262, and the Act of May 25, 1945, P.L. 1074, 50 P.S. Section 1051, no deed having been given.

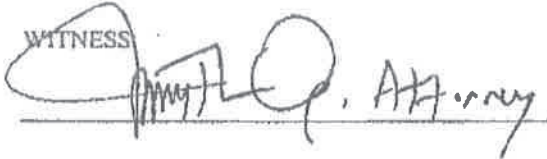
**ALSO BEING A PORTION** of the same premises conveyed from the General State Authority, to the Commonwealth of Pennsylvania, acting by and through the Department of General Services, by deed dated June 16, 1989 and recorded April 6, 1990 in Allegheny County Deed Book Volume 8221, Page 531.

**TO HAVE AND TO HOLD** the said tract or piece of ground unto the said **GRANTEE**, its successors and assigns, to and for the only proper use and behoof of the said **GRANTEE**, its successors and assigns forever.

**UNDER AND SUBJECT** to all lawful and enforceable easements, servitudes and rights of others, including but not confined to streets, roadways, and rights of any telephone, telegraph, water, electric, gas or pipeline companies, as well as under and subject to any lawful and enforceable estates or tenancies vested in third persons appearing of record, for any portion of the land or improvements erected thereon.

**UNDER AND SUBJECT** to the condition, that no portion of the property conveyed shall be used as a licensed facility, as defined in 4 Pa.C.S. § 1103 (relating to definitions), or any other similar type of facility authorized under state law. The condition shall be a covenant running with the land and shall be binding upon the **GRANTEE**, its successors and assigns. Should the **GRANTEE**, its successors or assigns, permit any portion of the property to be used in violation of this restriction, the title shall immediately revert to and revest in the **GRANTOR**.

**NOTICE** THE UNDERSIGNED, AS EVIDENCED BY THE SIGNATURE(S) TO THIS NOTICE AND THE ACCEPTANCE AND RECORDING OF THIS DEED, IS FULLY COGNIZANT OF THE FACT THAT THE UNDERSIGNED MAY NOT BE OBTAINING THE RIGHT OF PROTECTION AGAINST SUBSIDENCE, AS TO THE PROPERTY HEREIN CONVEYED, RESULTING FROM COAL MINING OPERATIONS AND THAT THE PURCHASED PROPERTY, HEREIN CONVEYED, MAY BE PROTECTED FROM DAMAGE DUE TO MINE SUBSIDENCE BY A PRIVATE CONTRACT WITH THE OWNERS OF THE ECONOMIC INTEREST IN THE COAL. THIS NOTICE IS INSERTED HEREIN TO COMPLY WITH THE BITUMINOUS MINE SUBSIDENCE AND LAND CONSERVATION ACT OF 1966, AS AMENDED: 1980, OCT. 10, P.L. 874, NO. 156 § 1.

WITNESS  Attorney

Aloe Brothers, L.L.C.

Name:   
Title: Manager

**NOTICE**-- THIS DOCUMENT MAY NOT SELL, CONVEY, TRANSFER, INCLUDE OR INSURE THE TITLE TO THE COAL AND RIGHT OF SUPPORT UNDERNEATH THE SURFACE LAND DESCRIBED OR REFERRED TO HEREIN, AND THE OWNER OR OWNERS OF SUCH COAL MAY HAVE THE COMPLETE LEGAL RIGHT TO REMOVE ALL OF SUCH COAL AND, IN THAT CONNECTION, DAMAGE MAY RESULT TO THE SURFACE OF THE LAND AND ANY HOUSE, BUILDING OR OTHER STRUCTURE ON OR IN SUCH LAND. THE INCLUSION OF THIS NOTICE DOES NOT ENLARGE, RESTRICT OR MODIFY ANY LEGAL RIGHTS OR ESTATES OTHERWISE CREATED, TRANSFERRED, EXCEPTED OR RESERVED BY THIS INSTRUMENT. [This notice is set forth pursuant to Act No. 255, approved September 10, 1965.]

**AND THE GRANTOR** shall warrant specially the premises herein conveyed.

IN WITNESS WHEREOF, GRANTOR, by Elizabeth A. O'Reilly, Secretary of General Services, has caused this Instrument to be signed the day and year first above written.

APPROVED AS TO LEGALITY  
AND FORM  
Office of Chief Counsel, DGS

Edmund M. Flinch

COMMONWEALTH OF PENNSYLVANIA  
Department of General Services

Elizabeth A. O'Reilly / 1/3/11  
Secretary Date

APPROVED AS TO LEGALITY  
AND FORM  
Office of General Counsel

Edmund M. Flinch

APPROVED AS TO LEGALITY  
AND FORM  
Office of Attorney General

[Signature]  
By Deputy Attorney General

APPROVED:

[Signature]  
GOVERNOR

RECEIVED  
DEPARTMENT OF GENERAL SERVICES  
JAN 11 2011

**ACKNOWLEDGMENT**

**COMMONWEALTH OF PENNSYLVANIA:**

:

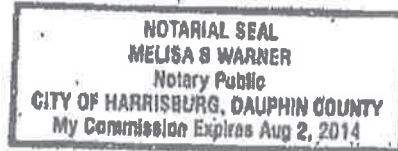
**COUNTY OF DAUPHIN**

:

On this, the 5<sup>th</sup> day of January, 2011, before me, the undersigned officer, personally appeared Elizabeth O'Reilly <sup>Acting</sup> Secretary of the Department of General Services of the Commonwealth of Pennsylvania, known to me (or satisfactorily proven) to be the person described in the foregoing instrument, and acknowledged that she/he executed the same in the capacity therein stated and for the purposes therein contained.

**IN WITNESS WHEREOF, I hereunto set my hand and official seal.**

*Melisa D. Warner*  
**NOTARY PUBLIC**



CERTIFICATE OF RESIDENCE


I certify that the true and precise address of the within named **GRANTEE** is  
Aloe Brothers L.L.C., 5540 Dunmoyle Avenue, Pittsburgh, Pennsylvania, 15217.

Mail Tax Statement to:

5540 Dunmoyle Avenue

Pittsburgh, PA 15217

MARCH 1, , 20 11



**ATTORNEY FOR GRANTEE**

Mail to:

Jeffrey T. Olyp, esq.

P.O. Box 144

111 Followfield Avenue

Charlton, PA  
15022



COMMONWEALTH OF PENNSYLVANIA  
OFFICE OF THE GOVERNOR  
HARRISBURG

THE GOVERNOR

August 17, 2010

I, Edward G. Rendell, hereby authorize Elizabeth A. O'Reilly, Acting Secretary of General Services, to execute on my behalf, documents of the Department of General Services listed below:

- Deeds
- Demolition of Buildings
- Easements
- Indentures
- Leases
- Legislatively Mandated Conveyances
- Licenses
- Rights-of-Way
- Sales Agreements

*Edward G. Rendell*

Edward G. Rendell  
Governor



Allegheny County  
 Valerie McDonald Roberts  
 Department of Real Estate  
 Pittsburgh, PA 15219

Instrument Number: 2011-4690

BK-DE VL-14515 PG-343

Recorded On: March 01, 2011

As-Deed

Parties: PENNSYLVANIA COMWTH DEP GENL SERVICES

To ALOE BROTHERS L L C

# of Pages: 13

Comment:

\*\*\*\*\* THIS IS NOT A BILL \*\*\*\*\*

Deed 94.50  
 Pages > 4 8  
 Names > 4 0  
 Total: 94.50

**Realty Transfer Stamp**

**Department of Real Estate Stamp**

Affidavit Attached-No		Stamp Num-T415840	Certified By-> S B	
SOUTH FAYETTE TP			ON 03-01-2011 AT 02:19p	
Ward-98-NO WARD			0480P00001000000	0571B00002000000
	Value	505,505.00	0480E00003000000	
Commonwealth of Pennsylvania		5,055.05		
Munic-South Fayette Twp		2,527.53		
School District-South Fayette		2,527.52		
Munic-Penalty		0.00		
Munic-Interest		0.00		
School-Penalty		0.00		
School-Interest		0.00		
		10,110.10		

I hereby certify that the within and foregoing was recorded in the Department of Real Estate in Allegheny County, PA

**\*\*DO NOT REMOVE-THIS PAGE IS PART OF THE RECORDED DOCUMENT\*\***

**File Information:**

**Record and Return To:**

Document Number: 2011-4690  
 Receipt Number: 1775784  
 Recorded Date/Time: March 01, 2011 02:26:53P  
 Book-Vol/Pg: BK-DE VL-14515 PG-343  
 User / Station: K Greenwade - Cash Super 06

JEFFREY T OLUP ESQUIRE  
 PO BOX 144  
 111 FALLOWFIELD AVE  
 CHARLEROI PA 15022



Valerie McDonald Roberts, Manager  
 Dan Oberste, County Executive

6

**TOWNSHIP OF SOUTH FAYETTE**  
**APPLICATION FOR SUBDIVISION / LAND DEVELOPMENT**

Plan Name:	Janocha Plan No. 2	File No.	S-03-2026
Plan Location:	740 Hickory Ridge Road	Tax I.D. #	400-F-10
Project Description	Subdivision of 2 Residential Lots and division of R-1 property From Industrial portion across SR 50.		

**Check Appropriate Box(s)**

Land Development Plan:	<input type="checkbox"/>	Subdivision Plan:	<input checked="" type="checkbox"/>	Conditional Use Plan:	<input type="checkbox"/>
Minor Subdivision	<input checked="" type="checkbox"/>	Major Subdivision	<input type="checkbox"/>	Open Space Plan	<input type="checkbox"/>
Preliminary Plan Submission	<input checked="" type="checkbox"/>	Final Plan Submission	<input checked="" type="checkbox"/>		

Zoning District(s)	R-1, I-P	Property Acreage	50.472	No. Lots/Units	4
--------------------	----------	------------------	--------	----------------	---

Applicant's Name:	John & Lynn Janocha	Phone No.	
Applicant's Address:	740 Hickory Grade Road Bridgeville 15017	Fax No.	
Applicant's E-Mail:			
Engr's Firm/Name;	Wind Ridge Engineering Co.	Phone No.	
Engineer's Address:	285 Finch Road Wind Ridge PA 15380	Fax No.	
Contact Person:	Michael P. Salai	E-Mail Address	

The Following Items are reviewed as part of the South Fayette Township Application Process. Applications Submitted WITHOUT these Elements will NOT be reviewed by the Township.

REQUIRED SUBMISSION ITEMS	Copies	✓ Yes	✓ No	✓ N/A
1) Completed Application Form	1	X		
2) Copies of Maps and Plans (Plus pdf of drawings)		X		
• Sets Full Size Plans (24" x 36")	5	X		
• Sets Half Size Plans (11" x 17")	5	X		
3) Agent Authorization Form				X
4) Application Fee	1	X		
5) Escrow – Engineer, Solicitor, Inspection	1	X		
6) Stormwater Management Plan & Calculations	1	X		
7) Erosion & Sedimentation Control Plan				X
8) Deed, Sales Agreement or Other Ownership	1	X		

*I have familiarized myself with and hereby agree to comply with the subdivision and zoning ordinance of the township as well as to all Township rules, regulations and resolutions. I agree to pay the applicable fee*

Signature of Applicant:

Date:

March 9-2026

If applicant is not the property owner, Agents Authorization Form must be attached



ALL SIGNATURES/DATES MUST BE MADE WITH NAVY BLUE INK OR FELT TIP MARKER

WE, JOHN JANOCCHA and LYNN A. JANOCCHA, OWNERS OF THE LAND SHOWN ON THE JANOCCHA PLAN No. 3 HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE TOWNSHIP OF SOUTH FAYETTE. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON OUR HEIRS, EXECUTORS, AND ASSIGNS.

IN WITNESS OF WHICH, TO THIS WE SET OUR HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

NOTARY PUBLIC \_\_\_\_\_ JOHN JANOCCHA \_\_\_\_\_ LYNN A. JANOCCHA \_\_\_\_\_

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF ALLEGHENY, PERSONALLY APPEARED JOHN JANOCCHA and LYNN A. JANOCCHA WHO ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THEIR ACT.

WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026. MY COMMISSION EXPIRES ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SEAL \_\_\_\_\_ NOTARY PUBLIC \_\_\_\_\_

WE, JOHN JANOCCHA and LYNN A. JANOCCHA, HEREBY CERTIFY THAT THE TITLE TO PROPERTY CONTAINED IN THE JANOCCHA PLAN No. 3, IS IN THE NAME OF JOHN JANOCCHA and LYNN A. JANOCCHA AND IS RECORDED IN DEED BOOK VOLUME 19014, PAGE 425. WE FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

WITNESS \_\_\_\_\_ JOHN JANOCCHA \_\_\_\_\_ LYNN A. JANOCCHA \_\_\_\_\_

I CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF THE SURVEY AND PLAN SHOWN HERE ON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

3-6-2026 DATE \_\_\_\_\_ MICHAEL P. SALAI, P.E., P.L.S. No. 31857-E

I, CERTIFY THAT THIS PLAN MEETS ALL ENGINEERING AND DESIGN REQUIREMENTS OF THE APPLICABLE ORDINANCES OF THE TOWNSHIP OF SOUTH FAYETTE, EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROPRIATE OFFICIALS OF THE MUNICIPALITY.

DATE \_\_\_\_\_ TOWNSHIP ENGINEER Reg. No. \_\_\_\_\_ (SEAL)

THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SOUTH FAYETTE GIVES NOTICE THAT, IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF SOUTH FAYETTE ASSUMES NO OBLIGATION TO ACCEPT THE DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

SECRETARY \_\_\_\_\_ CHAIRMAN \_\_\_\_\_

REVIEWED BY THE SOUTH FAYETTE TOWNSHIP PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

SECRETARY \_\_\_\_\_ CHAIRMAN \_\_\_\_\_

APPROVED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SOUTH FAYETTE BY RESOLUTION AND ALL CONDITIONS OF APPROVAL HAVE BEEN REVIEWED, AND THE PLAN SIGNED AND NOTED AS APPROVED, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

SECRETARY \_\_\_\_\_ CHAIRMAN \_\_\_\_\_

REVIEWED BY THE ALLEGHENY COUNTY DEPARTMENT OF ECONOMIC DEVELOPMENT ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

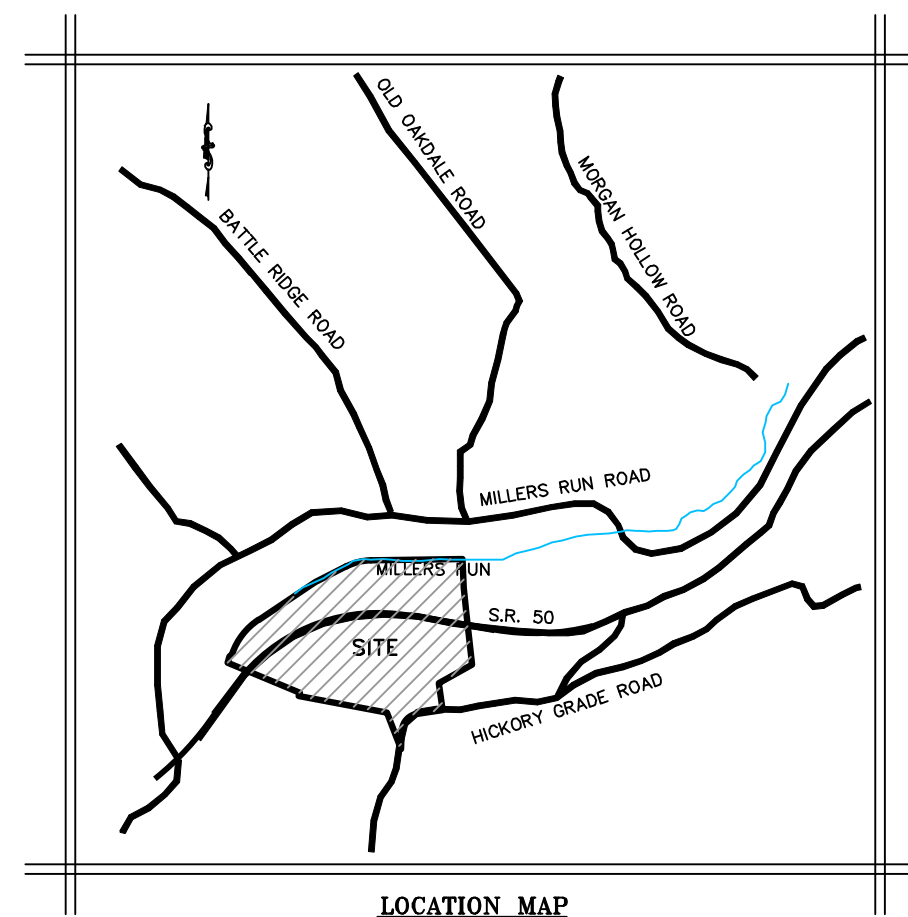
\_\_\_\_\_  
DIRECTOR

THIS PLAT WAS DELIVERED TO JOHN JANOCCHA, BY THE TOWNSHIP OF SOUTH FAYETTE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

\_\_\_\_\_  
TOWNSHIP MANAGER

RECORDED IN THE OFFICE OF THE DEPARTMENT OF REAL ESTATE OF THE COUNTY OF ALLEGHENY, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME \_\_\_\_\_, PAGE(S) \_\_\_\_\_ GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Manager, Department of Real Estate



NOTES:

THE EXISTING DWELLING AT 740 HICKORY GRADE ROAD IS SERVED BY PUBLIC WATER AND AN ON LOT SANITARY SEWER SYSTEM.

A PORTION OF THIS PROPERTY IS AFFECTED BY FLOOD ZONE AE AS SHOWN ON FIRM 42003C0431H (Eff 9/26/2014)

NO BUILDING SHALL TAKE PLACE ON LOT 1 OR 2 AND SOUTH FAYETTE TOWNSHIP WILL NOT ISSUE BUILDING PERMITS, UNTIL SUCH TIME AS THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN REVIEWED AND APPROVED IN ACCORDANCE WITH THE PROVISIONS OF THE RULES AND REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

EXISTING UTILITIES

WATER: PA-AMERICAN WATER CO. ELECTRIC: WEST PENN POWER CO. SANITARY: MUNICIPAL AUTHORITY TOWNSHIP OF SOUTH FAYETTE TELEPHONE: VERIZON

MODIFICATIONS

ON \_\_\_\_\_ MODIFICATIONS ARE GRANTED BY THE SOUTH FAYETTE TOWNSHIP BOARD OF COMMISSIONERS TO THE FOLLOWING SECTIONS OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE #215, AS FOLLOWS:

ARTICLE VII, SECTION 63 SUBSECTION A

SURVEY MONUMENTS, CONCRETE MONUMENTS SHALL BE SET AT THE INTERSECTION OF ALL LINES FORMING ANGLES IN THE BOUNDARY OF THE SUBDIVISION, INCLUDING ALL POINTS OF CURVE AND POINTS OF TANGENT.

APPLICANT REQUESTS TO ALLOW IRON PINS MARKING PROPERTY CORNERS TO BE SET IN LIEU OF CONCRETE MONUMENTS.

ARTICLE VIII, SECTION 77 SUBSECTION B

FRONTAGE, ALL LOTS CREATED BY A SUBDIVISION SHALL HAVE FRONTAGE ALONG THE RIGHT-OF-WAY OF A PUBLIC STREET.

APPLICANT REQUESTS TO PERMIT 2 LOTS BE DEVELOPED ON A PRIVATE DRIVE.

ARTICLE VII, SECTION 65 SUBSECTION A

PUBLIC STREET FRONTAGE REQUIRED, EACH LOT SHALL HAVE FRONTAGE ON A PUBLIC STREET AS DEFINED BY THIS CHAPTER UNLESS AN EXCEPTION OR MODIFICATION TO THIS REQUIREMENT IS GRANTED IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE IX OF THIS CHAPTER.

APPLICANT REQUESTS TO PERMIT 2 LOTS BE DEVELOPED ON A PRIVATE DRIVE.

ARTICLE VII, SECTION 65 SUBSECTION B(7)

THE CARTWAY FOR A PRIVATE STREET SHALL BE IMPROVED TO MEET THE TOWNSHIP CONSTRUCTION STANDARDS FOR A PUBLIC STREET, UNLESS A MODIFICATION TO ONE OR MORE OF THOSE REQUIREMENTS IS GRANTED IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE IX OF THIS CHAPTER.

APPLICANT REQUESTS A REDUCTION IN PAVEMENT TO A DEPTH AS SPECIFIED ON THE CONSTRUCTION DETAIL AND DELETION OF CURBING AND UNDERDRAIN.

ZONING TABLE (I-P INDUSTRIAL PARK)-NORTH OF SR 50

Table with 3 columns: REQUIRED, PROPOSED, and values for MIN. LOT SIZE, MIN. LOT WIDTH, FRONT YARD SETBACK, REAR YARD SETBACK, SIDE YARD SETBACK, MAX. BUILDING HEIGHT, MAX. IMPERVIOUS SURFACE COVERAGE.

ZONING TABLE (R-1) - SOUTH OF SR 50 (RURAL RESIDENTIAL W/ SEWERS)

Table with 3 columns: REQUIRED, PROVIDED, and values for LOT SIZE, LOT WIDTH, LOT COVERAGE, FRONT YARD, SIDE YARD, REAR YARD, MAX. BLDG HT.

Accessory structure setbacks shall comply with South Fayette Township Zoning Section 240-99C.

SOUTH FAYETTE TOWNSHIP ENGINEER

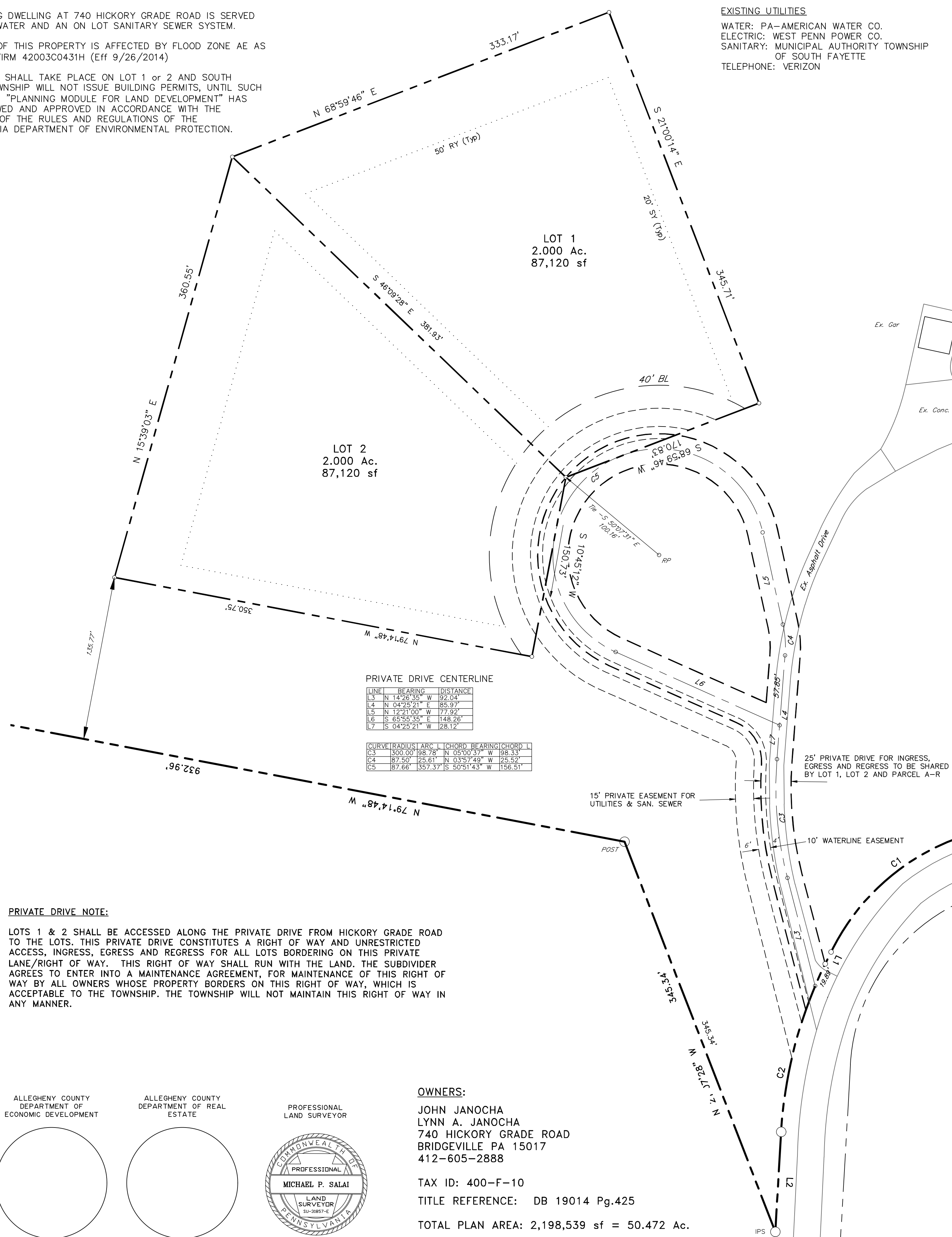
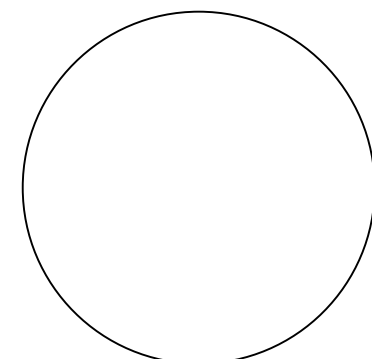
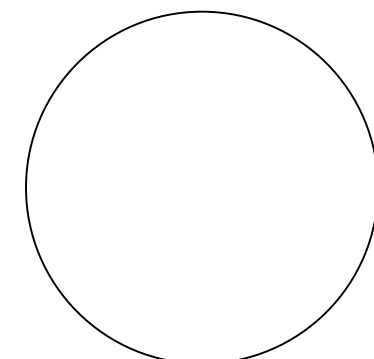
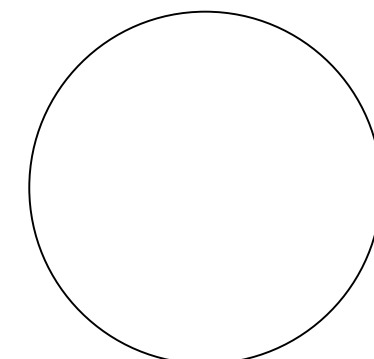
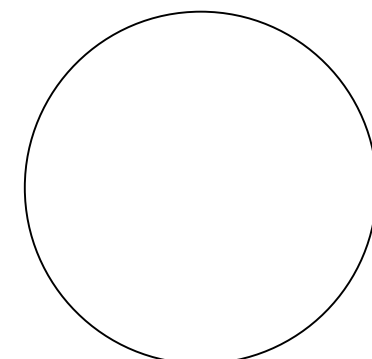
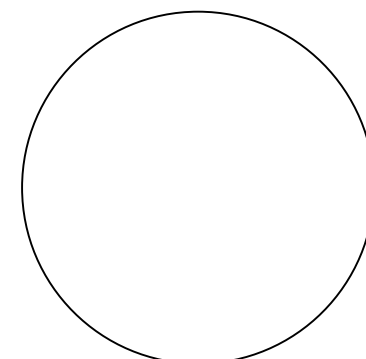
SOUTH FAYETTE TOWNSHIP PLANNING COMMISSION

SOUTH FAYETTE TOWNSHIP COMMISSIONERS

ALLEGHENY COUNTY DEPARTMENT OF ECONOMIC DEVELOPMENT

ALLEGHENY COUNTY DEPARTMENT OF REAL ESTATE

PROFESSIONAL LAND SURVEYOR



PRIVATE DRIVE CENTERLINE

Table with 3 columns: LINE, BEARING, DISTANCE. Lines 1-7.

Table with 5 columns: CURVE, RADIUS, ARC, CHORD, BEARING, CHORD, L. Curves C1-C5.

OWNERS:

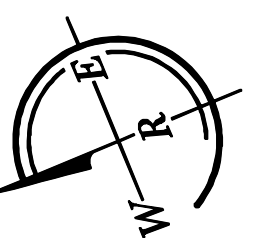
JOHN JANOCCHA LYNN A. JANOCCHA 740 HICKORY GRADE ROAD BRIDGEVILLE PA 15017 412-605-2888

TAX ID: 400-F-10

TITLE REFERENCE: DB 19014 Pg.425

TOTAL PLAN AREA: 2,198,539 sf = 50.472 Ac.

WIND RIDGE ENGINEERING CO. 285 FINCH ROAD WIND RIDGE, PA 15380 724-428-5268



JANOCCHA PLAN No. 2 SITUATE SOUTH FAYETTE TOWNSHIP ALLEGHENY COUNTY - PENNSYLVANIA PREPARED FOR JOHN and LYNN A. JANOCCHA

SCALE: 1"=50'

DATE: Feb. 2026

F.B.:

DWG. BY: MPS

CAD FILE: \JANOCCHA\ 25-32Rec.DWG

JOB No.: 25-32

REVISIONS:

SHEET

2 / 2

EMBOSSER SEAL

civil engineers • surveyors • landscape architects

© WIND RIDGE ENGINEERING CO. - 2026



# SOUTH FAYETTE TOWNSHIP

A Community Growing Together

**Review Referral**  
www.southfayettepa.com

Plan Name: <b>Janocha Plan No. 2</b>	Plan File Number: <b>S-03-2026</b>
Location: <b>740 Hickory Grade</b>	Application Type: <b>Minor Subdivision</b>
Zoning: <b>R-1, I-P</b>	Applicant: <b>John &amp; Lynn Janocha</b>

The Township of South Fayette requests your review and comment on the above referenced minor subdivision.

	Code Enf.	Public Works	Police w/Works	Fire Dept.	EAC	SFSD	MATSF	ACED		Engr Cons.	Trfc Engr.
Reports: Environmental											
Geotechnical											
Traffic											
Plans:											
Other:											

Please forward your comments to South Fayette Township, 515 Millers Run Road, Morgan PA, 15064 or by calling (412) 221-8700.

\_\_\_\_\_  
Gary Hartz, Planning Director

03/10/2026  
Date

**Agency Comments: MATSF- No comments.**

Nick Goettman  
Agency Signature

3-12-26  
Date

**STORMWATER MANAGEMENT REPORT**  
**JANOCHA PRIVATE DRIVE CONSTRUCTION**

**Situate**

**South Fayette Township  
Allegheny County, Pennsylvania**

March 2026

Prepared For:

John & Lynn A. Janocha  
740 Hickory Grade Rd.  
Bridgeville PA 15017  
Phone: 412-605-2888

WRE Job # 25-32

Prepared By:

**WIND RIDGE ENGINEERING CO.**  
285 Finch Road  
Wind Ridge PA 15380  
(724) 428-5268  
Michael P. Salai PE,PLS.

## **INTRODUCTION**

This report is prepared and submitted in compliance with the South Fayette Township stormwater management requirements.

The Janocha home project is situated on a 50.47 acre lying between Hickory Grade Road and S.R. 50. The project proposes constructing an extension of an existing driveway to serve 2 building lots for the owners' daughters. The site is presently grass and woodland.

Drainage from the site flows southeasterly across the site to a low point in the existing drive and rock outflow and then northwesterly through a wooded area above Parkes Farm Plan of Lots. Runoff ultimately flows to Millers Run (WWF Ch. 93).

Soils on the developed portion of the site are Guernsey Silt Loam (GuB) with slopes of 2-8% with a soil group C. The remainder of the site on the northerly sloped portion are largely comprised of Culleoka Silt Loam (CuD) and Gilpin, Weikert, Culleoka Shaly Silt Loams (GSF). No development will take place in these steeper soils. Minimal disturbance will take place in construction for the driveway.

## **METHODOLOGY**

Stormwater runoff calculations for the site are prepared using the South Fayette Township requirements for small projects by providing stormwater management for the first 2 inches of runoff from impervious areas. Total area of impervious development for the private drive extension will be 9370 square feet.

At the time of house construction, calculations will be provided for each lot to determine additional storage required for roof runoff.

## **RUNOFF**

Based on 2" of runoff, total storage required will be 1561 cubic feet  
(9370 sf x 2" x 12 in/ft = 1561 cf)

## **STORMWATER MANAGEMENT**

It is proposed to provide stormwater storage for the private drive in a rock sump at the existing low point. All runoff flows naturally to this point and will require no collection apparatus. The sump is proposed to be 20' wide X 50' long X 4' deep filled with #57 aggregate creating a total volume of 1600 cf. The sump will have fabric on the bottom and sides and open on the top to gather runoff.

## **OPERATION AND MAINTENANCE GUIDELINES**

Upon completion of the sump, it will be necessary to provide for the safe operation of the structure during its life. The sumps proposed are to be the responsibility of the Owner to maintain the structure.

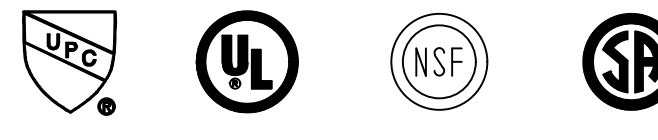
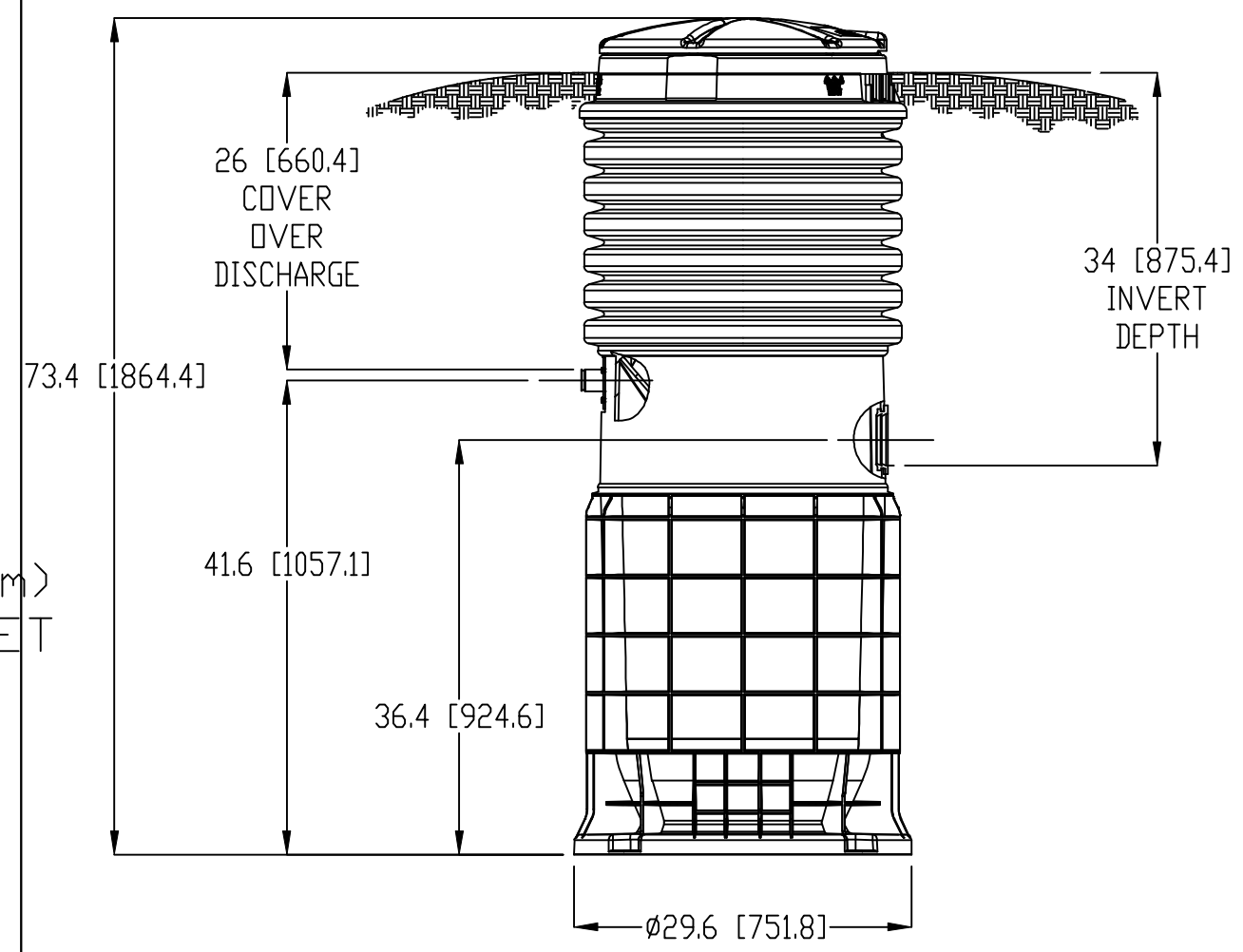
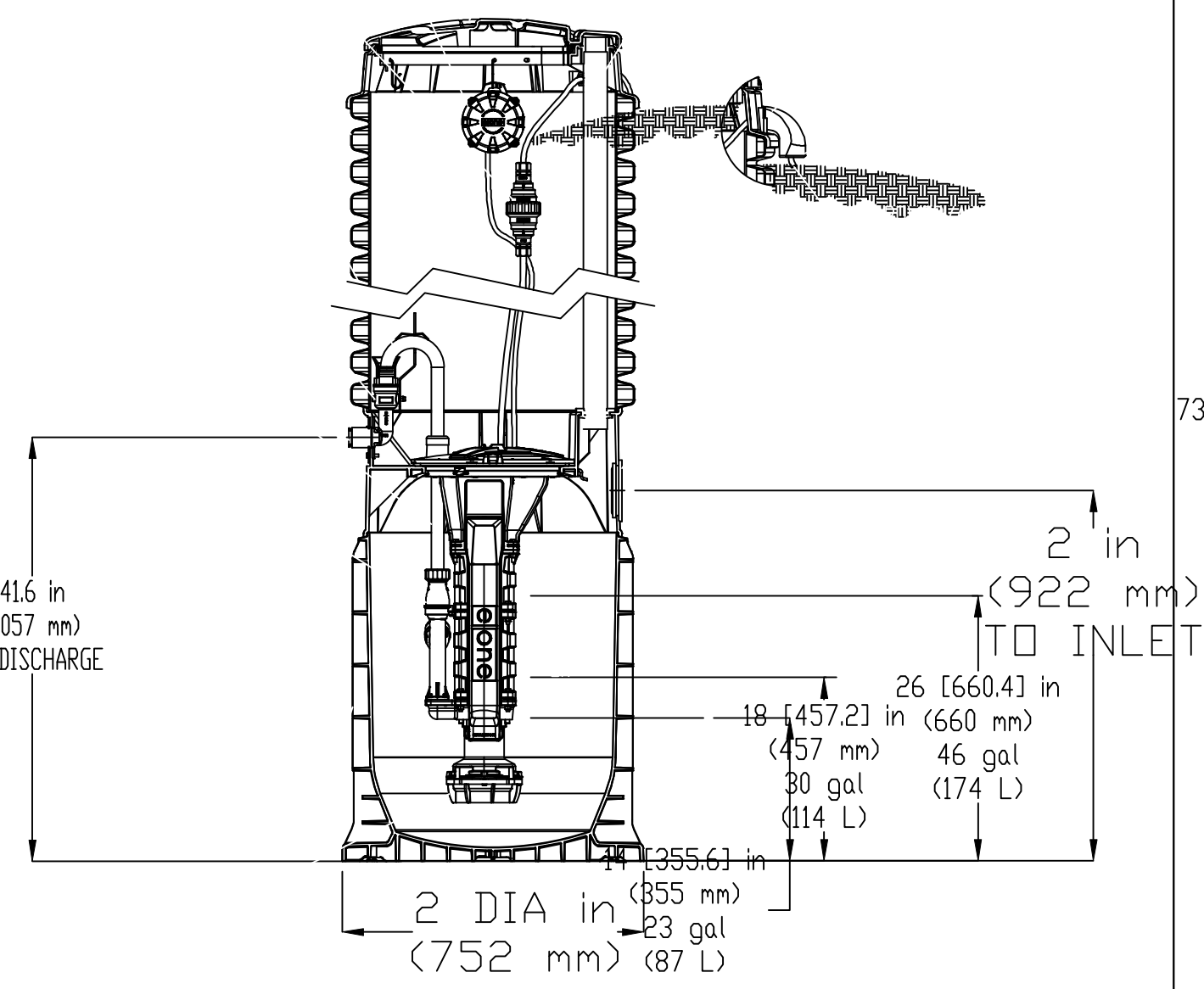
Operation and maintenance of the structures shall be according to the following guidelines:

1. Inspections must be made every year by observing the sump and checking for erosion
- 2.

## **EROSION CONROL**

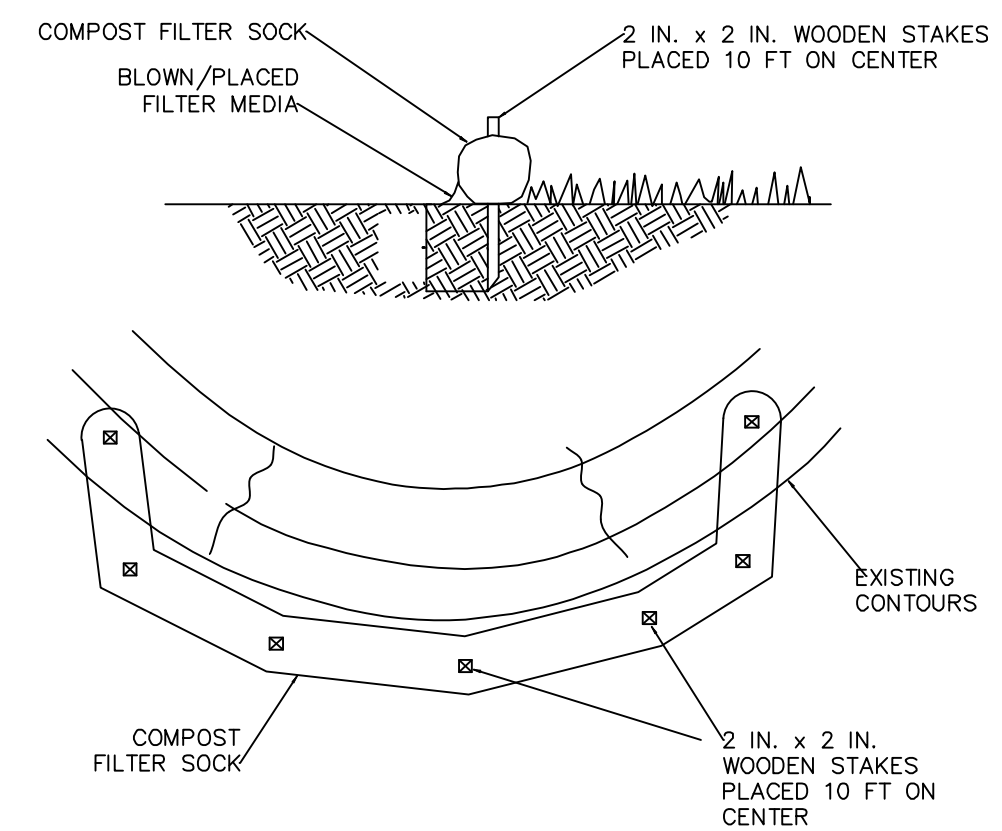
Silt sock (12") will be provided downslope of work.





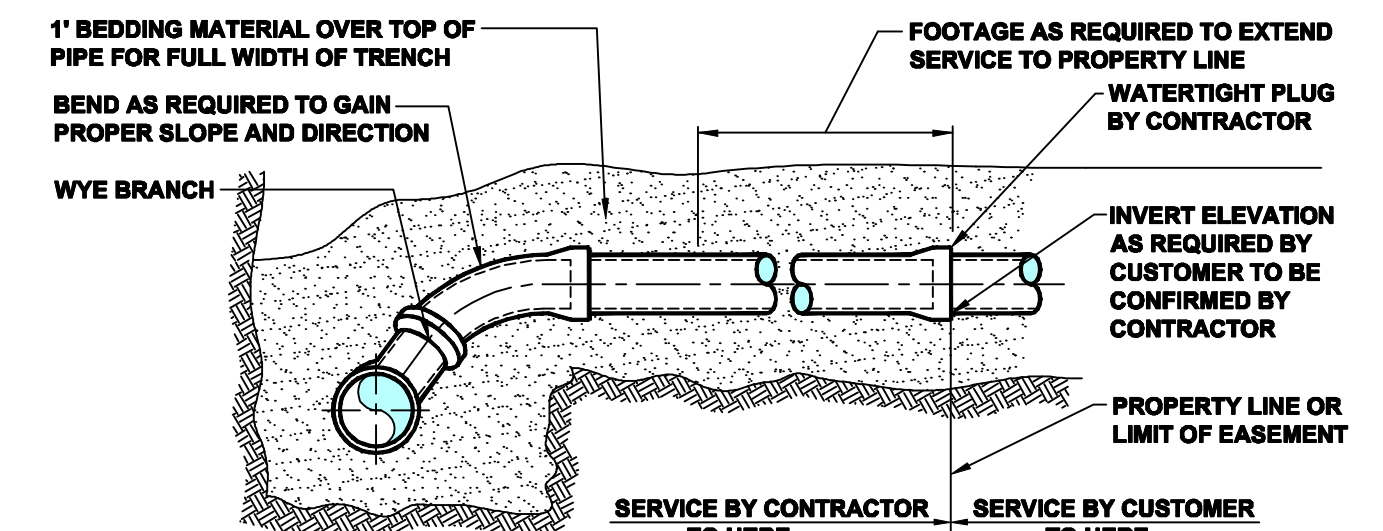
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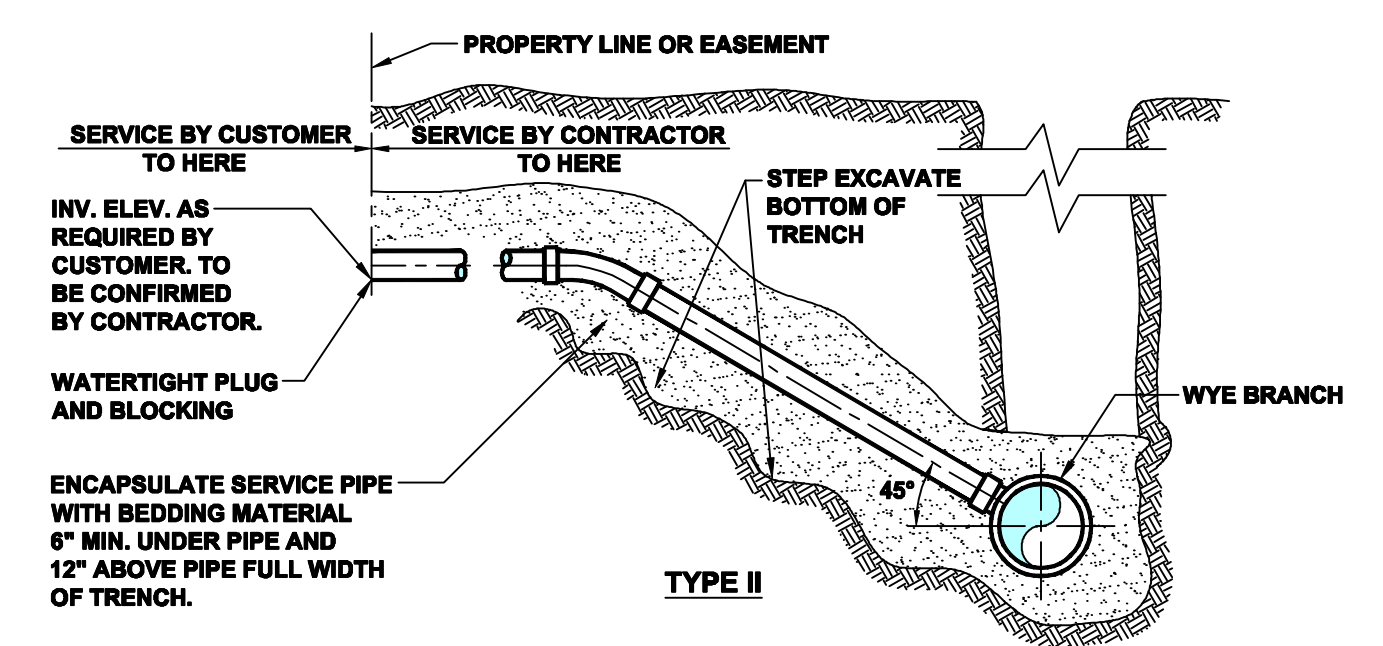


**NOTES:**  
 SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.  
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.  
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.  
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.  
 DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.  
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.  
 UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1  
COMPOST FILTER SOCK

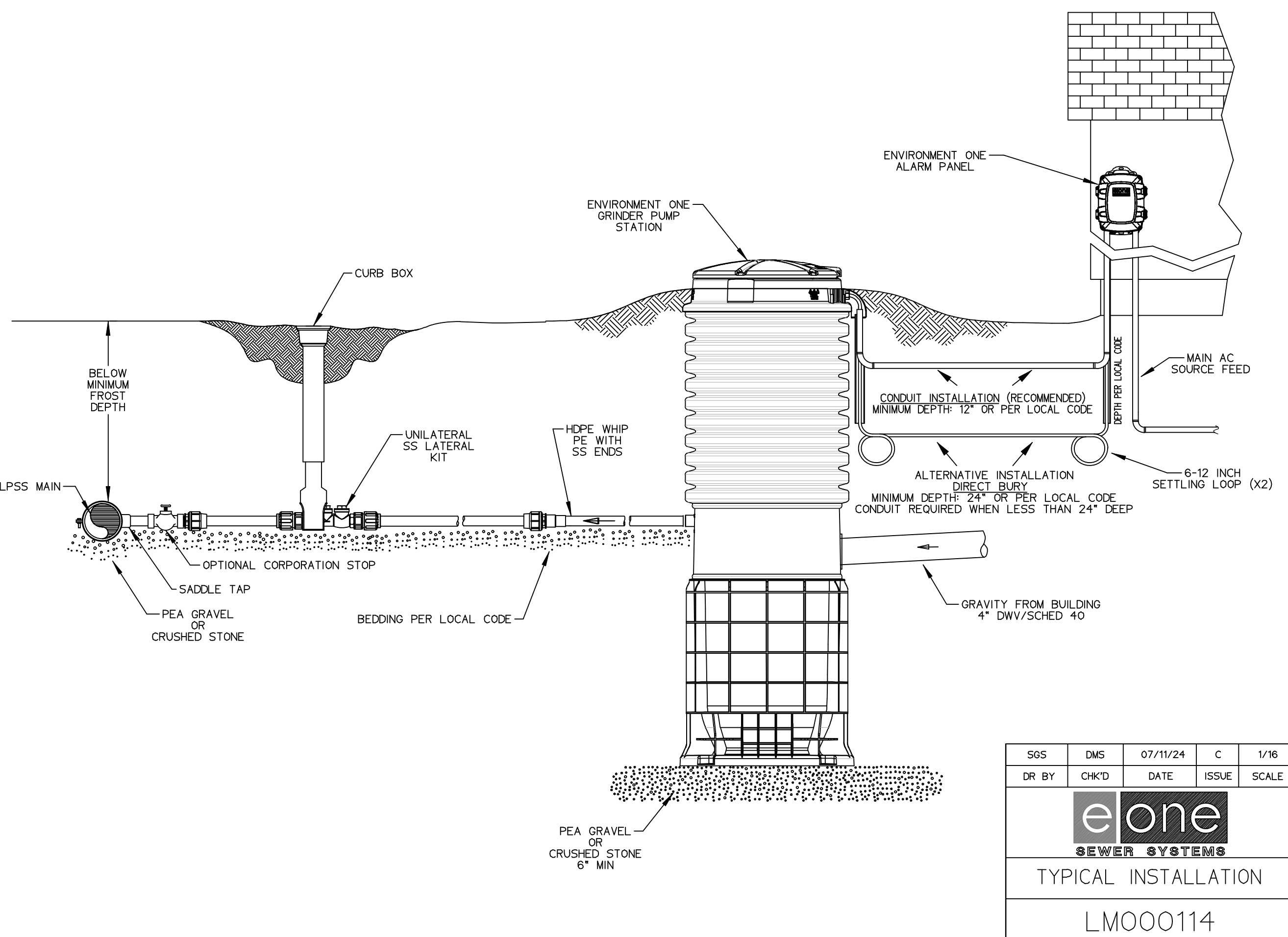


**NOTE:** WHERE MAIN SEWER IS IN PRIVATE PROPERTY, FOOTAGE OF LATERAL PIPE WILL EXTEND TO THE EDGE OF SEWER RIGHT-OF-WAY.

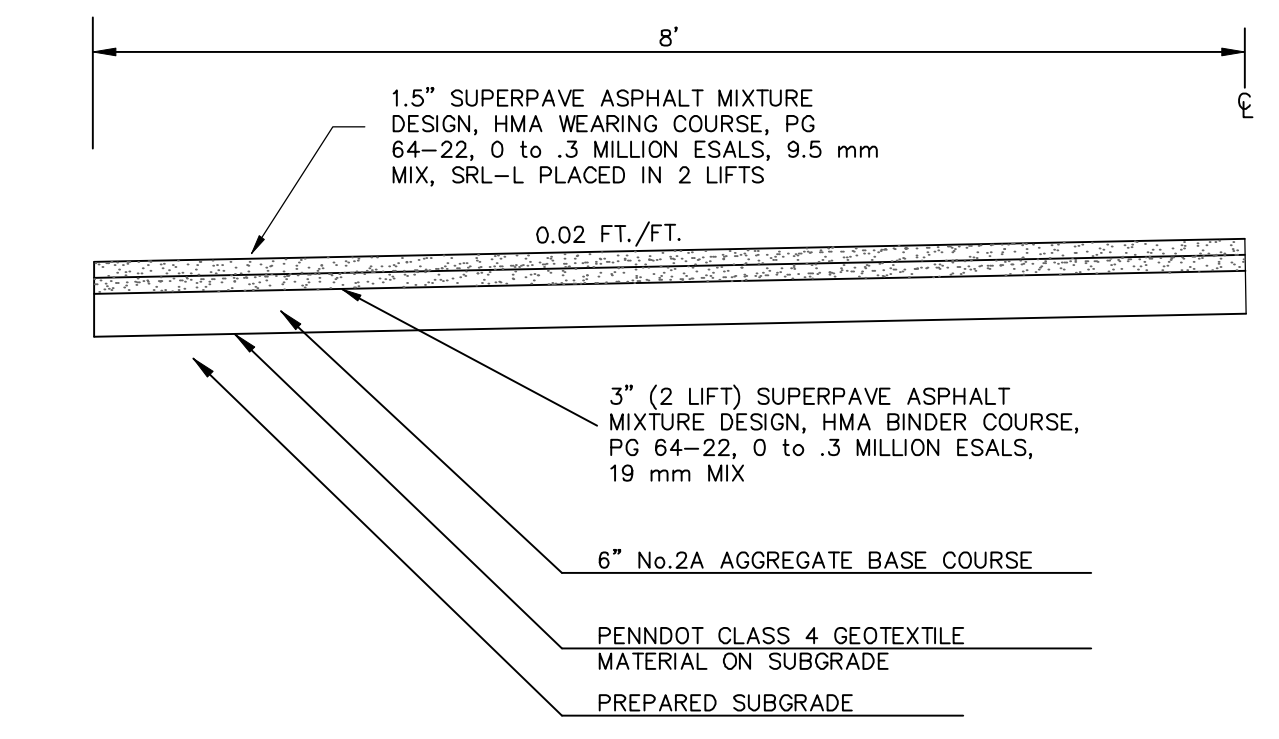


**NOTE:** ALL SERVICE SEWERS SHALL BE 6" DIAMETER AND SHALL BE PVC PIPE. CHANGES IN ALIGNMENT AND CONNECTIONS TO MAIN SEWER SHALL BE ACCOMPLISHED WITH PREFABRICATED FITTINGS.

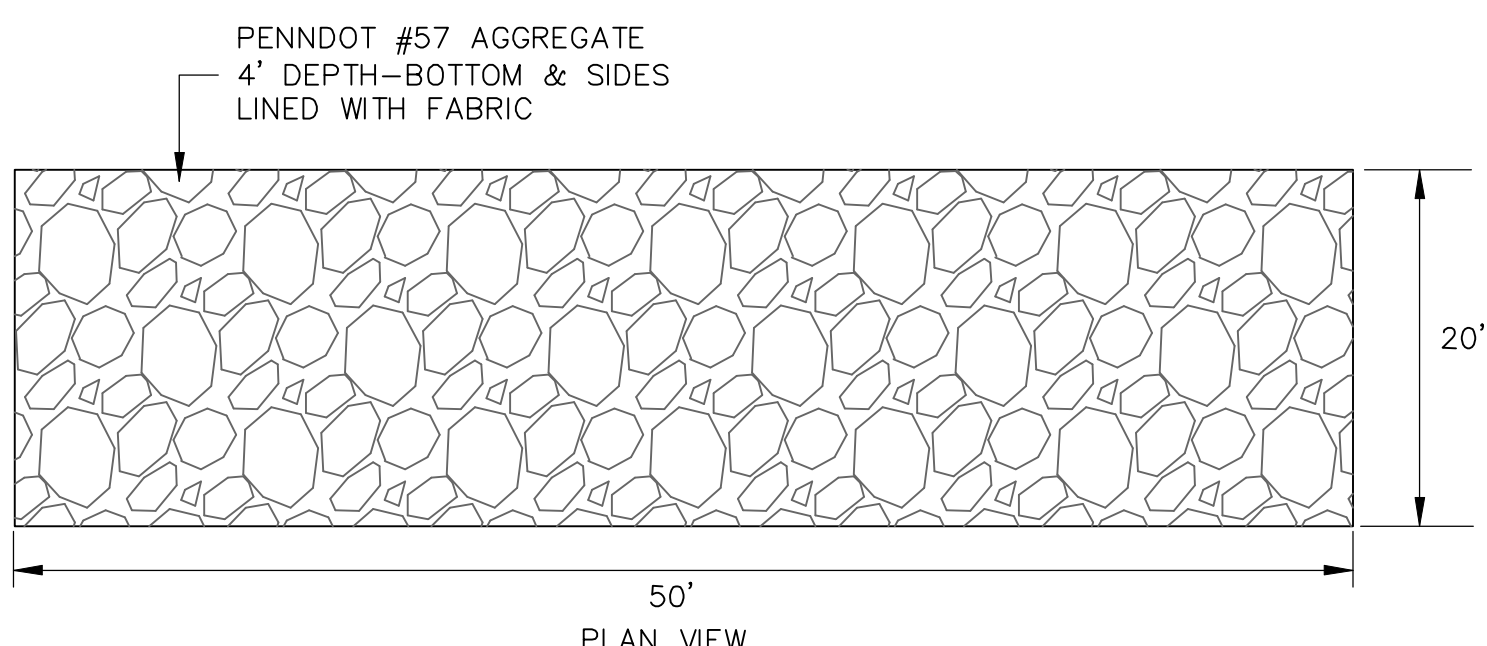
Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	TYPICAL SERVICE LATERAL CONNECTIONS
Not to scale	Standard Detail SD-023



NOTE: ALL SEWAGE CONNECTIONS, PUMPS AND FORCEMAIN SHALL COMPLY WITH ALLEGHENY COUNTY HEALTH DEPARTMENT REGULATIONS.

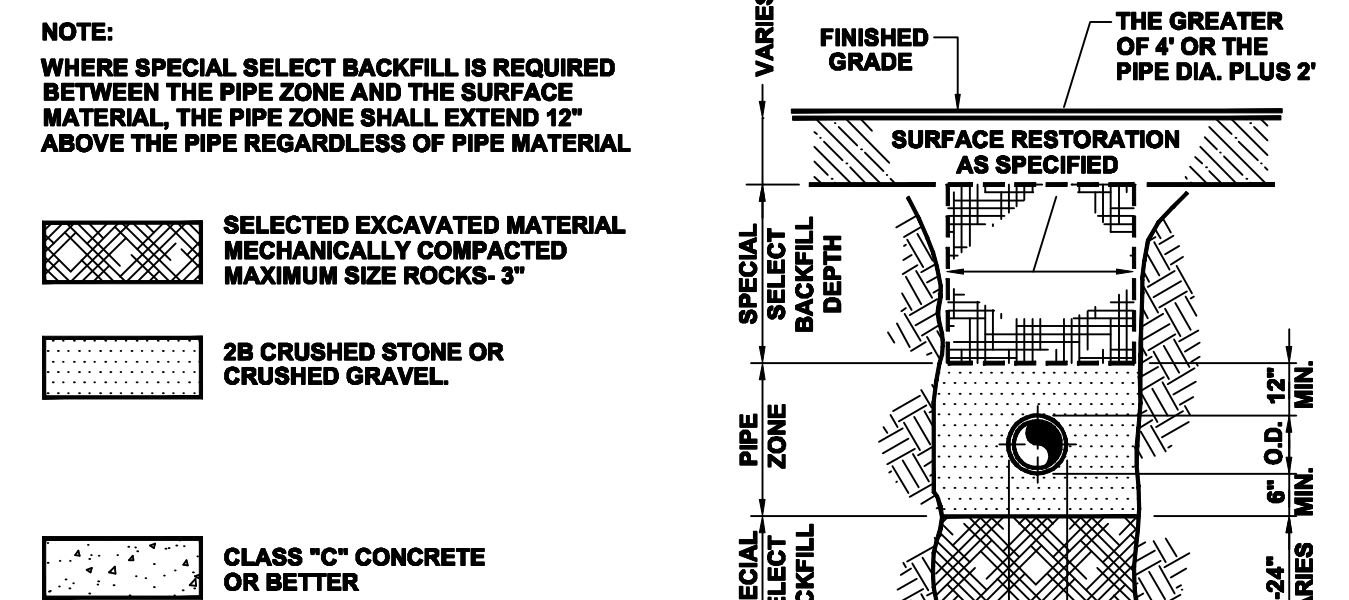


TYPICAL BITUMINOUS PRIVATE DRIVE SECTION

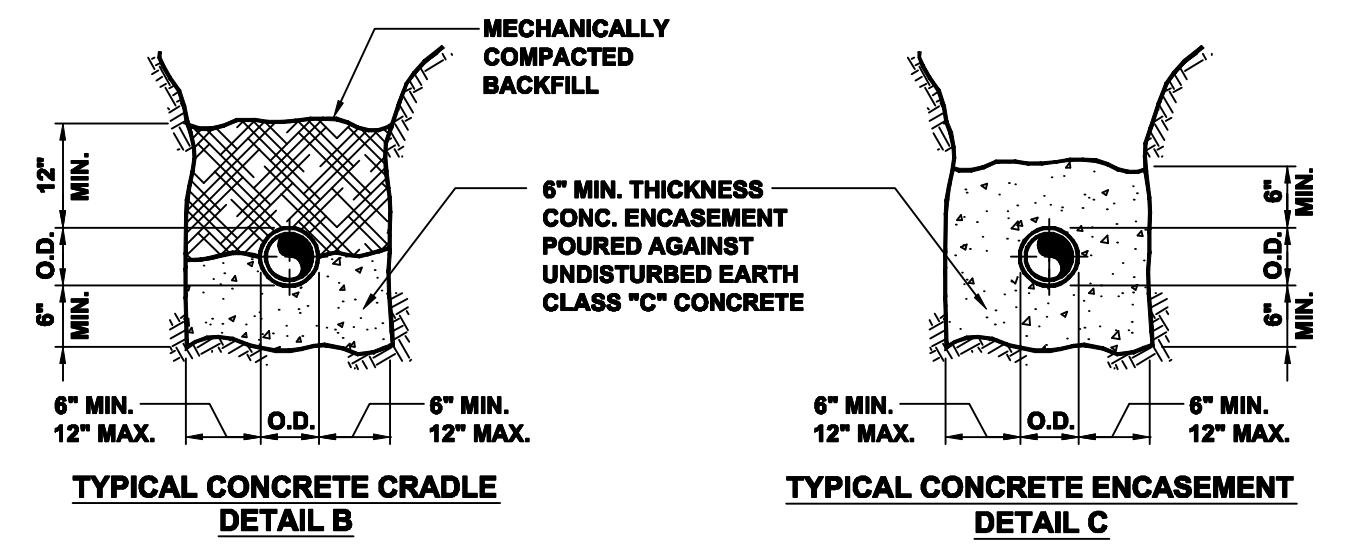


PRIVATE ROAD SUMP

VOLUME=50' X 20' X 4' X 0.4 VOIDS = 1600 CF



WHERE EXCAVATION EXPOSES THE BOTTOM OF PROPOSED TRENCHES WHERE VERY SOFT OR OTHER UNSTABLE PIPE FOUNDATION MATERIALS EXIST, THE CONTRACTOR WILL BE DIRECTED TO OVERCUT OR STABILIZE / OVERCUT AND REPLACE WITH RA RIP RAP CHECKED WITH A8570 #57 STONE. THE CONTRACTOR SHALL BE COMPENSATED FOR THE ADDITIONAL EXCAVATION IN ACCORDANCE WITH THE PROVISIONS SPECIFIED IN THE GENERAL CONDITIONS.



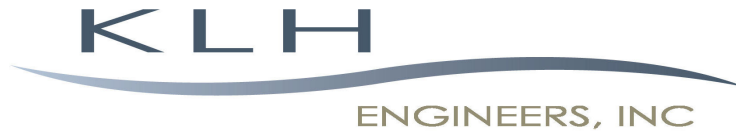
Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	PIPE BEDDING DETAILS
Not to scale	Standard Detail SD-002

WIND RIDGE ENGINEERING CO.  
285 FINCH ROAD  
WIND RIDGE, PA 15380  
724-428-5268  
civil engineers • surveyors • landscape architects

JANOCHA DEVELOPMENT PLAN  
SITUATE  
SOUTH FAYETTE TOWNSHIP  
ALLEGHENY COUNTY — PENNSYLVANIA  
PREPARED FOR  
JOHN and LYNN A. JANOCHA

SCALE: 1"=50'  
DATE: Jan. 2022  
F.B.:  
DWG. BY: DMT  
CAD FILE: \JANOCHA\21-53.DWG  
JOB No.: 21-53

REVISIONS:



March 19, 2026  
Ref. No. 217-03-072

Mr. Michael Salai  
Wind Ridge Engineering Co.  
285 Finch Rd  
Wind Ridge, PA 15017

Dear Mr. Salai:

**Municipal Authority of the Township of South Fayette  
Janocha Plan No. 2  
Planning Module Review**

On behalf of the Municipal Authority of the Township of South Fayette (MATSF), KLH Engineers, Inc. (KLH) has reviewed the Planning Module Component 3 for the Janocha Plan No. 2. The proposed project is located at 740 Hickory Grade Rd in South Fayette Township, Allegheny County, Pennsylvania. The project involves a 2 lot (2 ac. each) subdivision from a 50.47-acre tract.

You have provided detailed calculations as part of your narrative as to the projected net increase in wastewater generation, being 800 gallons per day (gpd) or 2 Equivalent Dwelling Units (EDU) based on 400 gpd/EDU. MATSF does not object to your projected future net wastewater flow for the purpose of the Planning Module approval. Wastewater will be conveyed to the Millers Run Interceptor and will be pumped via MATSF's Chartiers Creek Pump Station to ALCOSAN's Chartiers Creek Interceptor at POC C54-16. Ultimately, the flow will be treated at ALCOSAN's Woods Run regional treatment facility.

MATSF has sufficient capacity within its sanitary sewer collection/conveyance system. Refer to the completed Planning Module Component 3 attached along with supporting documentation to accompany the Chapter 94 Consistency Determination table in Section J.2 on Page 6 of the Planning Module Component 3. Section J.3 on Pages 6 and 7 of the Planning Module Component 3 has also been completed. ALCOSAN will need to complete sections of the Planning Module Component 3 relating to treatment.

It is important to note that the projected 5-year average day flow (1,807,652 gpd) is below the average day design capacity of the Chartiers Creek Pump Station (2,400,000 gpd) as shown on the Table on Page 6 of the Planning Module. This projected flow includes all planned development tributary to the pump station and there is adequate capacity to handle peak flows up to 7.6 MGD. MATSF has sufficient capacity within its sanitary sewer collection system and at the Chartiers Creek Pump Station for all conditions except extremely unusual precipitation events. The pump station occasionally receives peak hourly flow during storm events greater than 1" that does not result in a sewer system overflow (SSO) event but is in excess of the design capacity of the pump station (6.0 MGD). During these periods, the 3<sup>rd</sup> pump at the facility automatically comes online and allows for a peak discharge rate of up to 7.6 MGD. All instances of pump station design exceedance are detailed in MATSF's annual Wasteload Management (Chapter 94) Reports. SSO events are reported to Allegheny County Health Department (ACHD).

It should also be noted that MATSF, in 2012, completed a project that provided an emergency siphon connection to the ALCOSAN system just upstream of the Chartiers Creek Pump Station. This was accomplished via a cross connection between the MATSF Chartiers Creek trunk sewer and the siphon pipe under Chartiers Creek that conveyed wastewater to ALCOSAN from the former Reichold industrial facility. That emergency siphon is able to convey up to 2 MGD between the MATSF sewer and the ALCOSAN system in the event of a major malfunction to the Chartiers Creek Pump Station or during severe storm events. Since wet weather capacity related events are infrequent and since MATSF takes steps to minimize the frequency and impact of the system back-ups as detailed below, the proposed flow from Janocha Plan No. 2 can be reasonably managed by MATSF.

MATSF executed ACHD Administrative Consent Orders (ACO) in January 2004, and subsequently, in December 2015, executed a Phase I Consent Order and Agreement (COA). The most recent Phase II COA was executed with ACHD on February 18, 2022. In doing so, MATSF has been granted a certain level of internal control with respect to adding customers to the system. Even so, new subdivisions and development projects still must go through the PADEP Planning Module approval process. MATSF has historically aggressively complied with all terms called out in the 2004 ACO and the 2015 Phase I COA and has undertaken several initiatives necessary to preserve collection system capacity. Similarly, MATSF intends to continue affirmative action in this regard with respect to the 2022 COA. MATSF has been and will continue to be actively involved in regional efforts with ALCOSAN, ACHD and PADEP as coordinated by 3 Rivers Wet Weather Inc.

Historically, MATSF maintains a database of on-going efforts for collection system operation and maintenance (O&M) and quantification of infiltration/inflow. Some of the most significant events that have had a beneficial impact on preserving system capacity and reducing the frequency of SSOs include mandatory time of sale inspection of private lateral sewers, rehabilitation of the public portion of sanitary sewer service laterals, ongoing flow monitoring within the MATSF Chartiers Creek system, flow reduction projects, completion of a source reduction study, construction of parallel sewers, sewer replacement projects, sewer lining, lateral grouting, and other rehabilitation projects. Additional details can be provided upon request.

As previously mentioned, MATSF maintains a comprehensive flow monitoring program and provides significant detail with respect to infiltration/inflow tracking within the annual Chapter 94 Wasteload Management Report. All MATSF flow data is also provided to ALCOSAN on an annual basis.


**As part of the Planning Module approval process, a resolution revising the Township's official sewage plan must be executed by South Fayette Township. You must also submit a copy of the Planning Module Components along with this letter to ALCOSAN in order to obtain a letter for their conveyance and treatment capacity. Comments are also required from ACHD. The completed package must be submitted to PADEP for final approval. This procedure is not considered complete until PADEP has provided written approval. Also, PADEP and MATSF do not consider taps guaranteed until the appropriate connection charge is paid to MATSF**

Wind Ridge Engineering Co.  
March 19, 2026  
-page three-

Please do not hesitate to contact our office or MATSF should you have any questions regarding this information and review.

Very truly yours,

KLH ENGINEERS, INC.



Samuel R. Gibson, P.E.  
Vice President

Enclosures

CC: Nick Goettman, Operations Manager, MATSF  
South Fayette Township

**J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 800 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
<b>Collection</b>	319,200	798,000	2,300	5,750	3,100	7,750
<b>Conveyance</b>	2,400,000	6,000,000	1,667,892	7,600,000	1,807,652	7,600,000
<b>Treatment</b>	----	----	----	----	----	----

3. Collection and Conveyance Facilities \*See attached background information

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a.  YES  NO This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

- b. Collection System

Name of Agency, Authority, Municipality Municipal Authority-Township of South Fayette (MATSF)

Name of Responsible Agent Samuel R. Gibson, P.E., KLH Engineers, Inc.

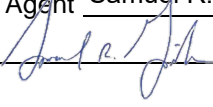
Agent Signature  Date 03/19/26

**J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality Municipal Authority of the Township of South Fayette (MATSF)

Name of Responsible Agent Samuel R. Gibson, P.E., KLH Engineers, Inc.

Agent Signature 

Date 03/19/26

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a.   This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

- b. Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

**K. TREATMENT AND DISPOSAL OPTIONS** (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

- 1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
- 2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
- 3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
- 4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

**L. PERMEABILITY TESTING** (See Section L of instructions)

- The information required in Section L of the instructions is attached.

**M. PRELIMINARY HYDROGEOLOGIC STUDY** (See Section M of instructions)

- The information required in Section M of the instructions is attached.

**Municipal Authority of the Township of South Fayette  
Chapter 94 Consistency Determination**

**Janocha Plan No. 2  
800 gpd (2 EDUs)**

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd)	
	Average	Peak	Average	Peak	Average	Peak
<b>Collection</b>	319,200 <sup>a</sup>	798,000 <sup>a</sup>	2,300 <sup>c</sup>	5,750 <sup>c</sup>	3,100 <sup>e</sup>	7,750 <sup>e</sup>
<b>Conveyance</b>	2,400,000 <sup>b</sup>	6,000,000 <sup>b</sup>	1,667,892 <sup>d</sup>	7,600,000 <sup>d</sup>	1,807,652 <sup>f</sup>	7,600,000 <sup>f</sup>
<b>Treatment<sup>g</sup></b>	---	---	---	---	---	---

Notes:

<sup>a</sup> Peak flow capacity based on limiting section of 8" collection sewer at a slope of 1.04%. Average flow capacity based on peak flow capacity divided by 2.5.

<sup>b</sup> The permitted peak capacity of the Chartiers Creek Pump Station is 6.0 MGD. Average capacity of the Chartiers Creek Pump Station is calculated by dividing the permitted peak capacity of 6.0 MGD by 2.5.

<sup>c</sup> The present average daily flow in the limiting section of 8" collection sewer with 1.04% slope is estimated. The present peak flow in the limiting section of 8" collection sewer is calculated by multiplying the present average daily flow by 2.5.

<sup>d</sup> Average present flow at the Chartiers Creek Pump Station is 1,667,892 gpd. MATSF has sufficient capacity within its sanitary sewer collection system and at the Chartiers Creek Pump Station for all conditions except extremely unusual precipitation events. The pump station occasionally receives peak hourly flow during storm events greater than 1" that does not result in a sanitary sewer overflow (SSO) event but is in excess of the design capacity of the pump station (6.0 MGD). During these periods, the 3<sup>rd</sup> pump at the facility automatically comes online and allows for a peak discharge rate of up to 7.6 MGD.

<sup>e</sup> Projected collection system average flows based on existing flow (2,300 gpd) plus 800 gpd from the proposed Janocha Plan No. 2. Projected collection system peak flows based on projected average flow multiplied by 2.5.

<sup>f</sup> Projected conveyance system average flows based on average present flow at the Chartiers Creek Pump Station (1,667,892 gpd) plus projected flow from all planned development tributary to the pump station plus 800 gpd from the proposed Janocha Plan No. 2. Peak discharge rate of the Chartiers Creek Pump Station is 7.6 MGD.

<sup>g</sup> To be completed by ALCOSAN.



COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF ENVIRONMENTAL PROTECTION  
BUREAU OF CLEAN WATER

## SEWAGE FACILITIES PLANNING MODULE

### Component 3. Sewage Collection and Treatment Facilities

*(Return completed module package to appropriate municipality)*

DEP USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

**REVIEW FEES:** Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

**NOTE:** All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

### A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name Janocha Plan No. 2

---

2. Brief Project Description 2 lots (2 ac. each) subdivision from 50.47 acre tract for owners' family members.

### B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
South Fayette	Allegheny	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Hartz	Gary			Planning Director
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1		Mailing Address Line 2		
100 Township Drive				
Address Last Line -- City		State	ZIP+4	
Bridgeville		PA	15017	
Area Code + Phone + Ext.	FAX (optional)	Email (optional)		
412-221-8700		ghartz@sftwp.com		

**C. SITE INFORMATION** (See Section C of instructions)

**Site (Land Development or Project) Name**

Janocha Plan No. 2

Site Location Line 1

740 Hickory Grade Rd

Site Location Line 2

Site Location Last Line -- City

Bridgeville

State

PA

ZIP+4

15017

Latitude

Longitude

Detailed Written Directions to Site I-79 South to Bridgeville exit - West on SR 50 2.3 miles to left on Alpine Rd. - 0.3 miles to right on Hickory Grade Rd. - 0.7 miles to site on right

Description of Site Mostly wooded site with residential structures fronting Hickory Grade Rd

**Site Contact (Developer/Owner)**

Last Name

Janocha

First Name

John

MI

Suffix

Phone

412-605-2888

Ext.

Site Contact Title

Owner

Site Contact Firm (if none, leave blank)

FAX

Email

jjanocha713@gmail.com

Mailing Address Line 1

740 Hickory Grade Rd

Mailing Address Line 2

Mailing Address Last Line -- City

Bridgeville

State

PA

ZIP+4

15017

**D. PROJECT CONSULTANT INFORMATION** (See Section D of instructions)

Last Name

Salai

First Name

Michale

MI

Suffix

P

Title

Vice Prs.

Consulting Firm Name

Wind Ridge Engineering Co.

Mailing Address Line 1

285 Finch Rd

Mailing Address Line 2

Address Last Line -- City

Wind Ridge

State

PA

ZIP+4

15017

Country

USA

Email

mike@windridgeengineering.com

Area Code + Phone

724-428-5268

Ext.

Area Code + FAX

**E. AVAILABILITY OF DRINKING WATER SUPPLY**

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: PA-American Water Co.

**F. PROJECT NARRATIVE** (See Section F of instructions)

- A narrative has been prepared as described in Section F of the instructions and is attached.  
The applicant may choose to include additional information beyond that required by Section F of the instructions.

**G. PROPOSED WASTEWATER DISPOSAL FACILITIES** (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

**1. COLLECTION SYSTEM**

a. Check appropriate box concerning collection system

- New collection system     Pump Station     Force Main  
 Grinder pump(s)     Extension to existing collection system     Expansion of existing facility

Clean Streams Law Permit Number \_\_\_\_\_

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 2

Connections \_\_\_\_\_

Name of:

existing collection or conveyance system Millers Run

owner Municipal Authority-Township of South Fayette (MATSF)

existing interceptor Chartiers Creek interceptor

owner Allegheny County Sanitary Authority (ALCOSAN)

**2. WASTEWATER TREATMENT FACILITY**

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility     Existing facility     Upgrade of existing facility     Expansion of existing facility

Name of existing facility ALCOSAN Woods Run WWTP

NPDES Permit Number for existing facility 25984

Clean Streams Law Permit Number \_\_\_\_\_

Location of discharge point for a new facility. Latitude \_\_\_\_\_ Longitude \_\_\_\_\_

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the ALCOSAN Woods Run (Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_ Date \_\_\_\_\_

(Also see Section I. 4.)

**G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)**

**3. PLOT PLAN**

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

**4. WETLAND PROTECTION**

YES NO

- a.   Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b.   Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, Identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

**5. PRIME AGRICULTURAL LAND PROTECTION**

YES NO

- Will the project involve the disturbance of prime agricultural lands?  
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.  
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

**6. HISTORIC PRESERVATION ACT**

- Applicants shall coordinate with the State Historic and Preservation Office (SHPO) and the Pennsylvania Historic and Museum Commission (PHMC) using the PA-SHARE online consultation tool at <https://www.pa.gov/agencies/phmc/pa-share.html>. The planning submittal must include the response received by the applicant from PA-SHARE.

**7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES**

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A Manual Project Submission Form was submitted to each jurisdictional agency and their responses are attached.
- A concurrent review has been requested. I realize that all supporting documentation from each jurisdictional agency must be submitted to the DEP before the end of the technical review due date or my planning module may be denied.

Applicant or Consultant Initials \_\_\_\_\_.

**H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS** (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.

The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

**I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS** (See Section I of instructions) (Check and complete all that apply.)

**1. Waters designated for Special Protection**

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

**2. Pennsylvania Waters Designated As Impaired**

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

**3. Interstate and International Waters**

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

**4. Tributaries To The Chesapeake Bay**

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: \_\_\_\_\_ pounds of TN per year, and \_\_\_\_\_ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is \_\_\_\_\_ pounds per year and the total phosphorus capacity is \_\_\_\_\_ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality \_\_\_\_\_

Initials of Responsible Agent (See Section G 2.b) \_\_\_\_\_

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.

**J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 800 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
<b>Collection</b>						
<b>Conveyance</b>						
<b>Treatment</b>						

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a.   This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality Municipal Authority-Township of South Fayette (MATSF)

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_ Date \_\_\_\_\_

**J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a.   This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

- b. Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

**K. TREATMENT AND DISPOSAL OPTIONS** (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

- 1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
- 2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
- 3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
- 4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

**L. PERMEABILITY TESTING** (See Section L of instructions)

- The information required in Section L of the instructions is attached.

**M. PRELIMINARY HYDROGEOLOGIC STUDY** (See Section M of instructions)

- The information required in Section M of the instructions is attached.

**N. DETAILED HYDROGEOLOGIC STUDY** (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

**O. SEWAGE MANAGEMENT** (See Section O of instructions)

**(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)**

Yes No

1.   Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows \_\_\_\_\_ gpd

Yes No

3.   Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

**(For completion by non-municipal facility agent)**

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a.   If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization \_\_\_\_\_

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

- c. Conveyance System

Name of Responsible Organization \_\_\_\_\_

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a.   If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility \_\_\_\_\_  
Name of Responsible Agent \_\_\_\_\_  
Agent Signature \_\_\_\_\_  
Date \_\_\_\_\_

**(For completion by the municipality)**

6.  The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

**P. PUBLIC NOTIFICATION REQUIREMENT** (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

**Yes No**

1.   Does the project propose the construction of a sewage treatment facility ?  
2.   Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?  
3.   Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?  
4.   Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?  
5.   Will the project require the establishment of *new* municipal administrative organizations within the municipal government?  
6.   Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)  
7.   Does the project involve a major change in established growth projections?  
8.   Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

**P. PUBLIC NOTIFICATION REQUIREMENT cont'd.** (See Section P of instructions)

- 9.   Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
- 10.   Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
- 11.   Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of:
  - the public notice,
  - all comments received as a result of the notice,
  - the municipal response to these comments.
- No comments were received. A copy of the public notice is attached.

**Q. FALSE SWEARING STATEMENT** (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

John Janocha	
Name (Print)	Signature
Owner	
Title	Date
740 Hickory Grade Rd Bridgeville PA 15017	4126052888
Address	Telephone Number

**R. REVIEW FEE** (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$\_\_\_\_\_ payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for \_\_\_\_\_ County, Pennsylvania

Deed Volume \_\_\_\_\_ Book Number \_\_\_\_\_

Page Number \_\_\_\_\_ Date Recorded \_\_\_\_\_

**R. REVIEW FEE** (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\#2 \text{ _____ Lots (or EDUs) X } \$50.00 = \$ \text{ 100 _____}$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
  - For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.
2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

\$ 1,500 per submittal (non-municipal)

\$ 500 per submittal (municipal)

- B. An increase in an existing surface discharge will use:

$$\# \text{ _____ Lots (or EDUs) X } \$35.00 = \$ \text{ _____}$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
- For non-single family residential projects, EDUs are calculated using projected population figures

- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:

\$ 1,500 per submittal (non-municipal)

\$ 500 per submittal (municipal)

**Janocha Plan No. 2**  
**South Fayette Township, Allegheny County**

**Section F: Project Narrative**

The Janocha Plan No. 2 is a proposed single family residential subdivision located in South Fayette Township, Allegheny County PA. It consists of two new residential lots on 2 acres each with the existing house to be retained on 28.70 acres which is presently served by a functioning on lot sewage system. The new lots will be sewerred by individual grinder pumps discharging to an manhole along Hickory Grade Road in front of house #748. No public sewer extension is proposed.

The attached module is for providing sanitary sewer service for 2 EDU with planned sewage flows at 800 gallons/day.

The proposed sewage disposal method is public sewerage through the Parkes Plan of Lots, crossing S.R. 50 to the Millers Run interceptor which flows to ALCOSAN's Chartiers Creek trunkline and then downstream to the Allegheny County Sanitary Authority (ALCOSAN) Woods Run WWTP at the Ohio River.

The population served is estimated at 6 persons, based on the 2000 census that indicated an average of 2.61 persons/household.

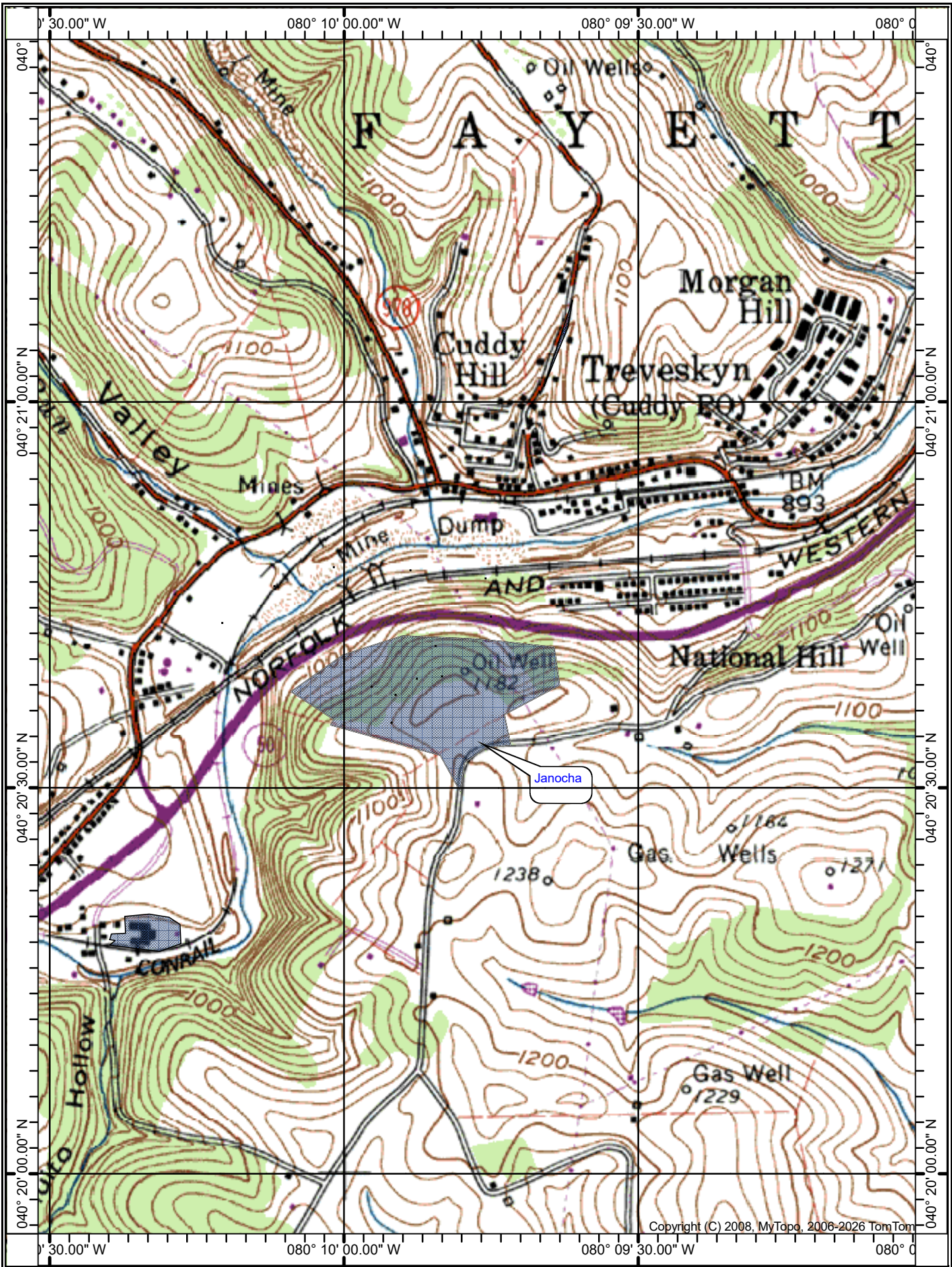
**Janocha Plan No. 2**  
**South Fayette Township, Allegheny County**

**Section H: Alternatives Analysis**

- 1. Chosen Disposal Method:** The chosen sewage disposal method is public sewerage via existing South Fayette sewer that flows to the ALCOSAN WWTP.
- 2. Land Use:** The property adjacent to the site is zoned residential. All adjacent properties to the south with dwellings currently utilize the public sewer system. Properties to the north that do not have access to gravity sewers at this time utilize on lot sewage systems
- 3. Sewage Facilities Status:** The sewage facilities of the adjacent land uses are not presently in need of improvement. Those properties presently utilizing on lot sewage systems are functioning normally.
- 4. Official Sewage Facilities Plan Disposal Method:** The Official Sewage Facilities Plan proposes public sewerage.
- 5. Sewage Management Program:** Not applicable.
- 6. Potential Alternative Sewage Disposal Methods:**

Potential alternatives include:

  - a) On-lot disposal systems:** A portion of the property being considered for development lies adjacent to a residential neighborhood already served by public sewers. Since existing sewer lines are accessible via pumping, on lot sewage facilities would be less desirable than utilizing a pressure sewer system.
- 7. Facility Owner:** The owner of the connecting sewer is the South Fayette Township Municipal Authority and they are responsible for the operation and maintenance of the receiving gravity system. The individual property owners will be responsible for their own grinder pumps and common pressure main .
- 8. Other information:** None.



Copyright (C) 2008, MyTopo, 2006-2026 TomTom

Canonsburg Quad



PENNSYLVANIA  
AMERICAN WATER

February 6, 2026

RE: Water Availability for the subdivision of 740 Hickory Grade Road  
South Fayette Township, Allegheny County

To Whom It May Concern:

This letter is to advise that Pennsylvania American Water, McMurray Operations, has a 16" ductile iron water line on Hickory Grade Road. Water will be provided under our Rules and Regulations as approved by the Pennsylvania Public Utility Commission. A utilities easement will need to be obtained by each ratepayer and recorded to the deeds. This easement grants utility access through the address of 740 Hickory Grade Road.

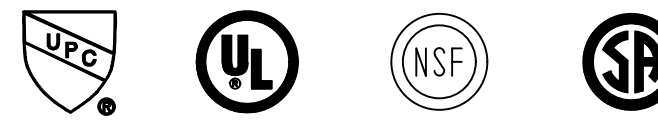
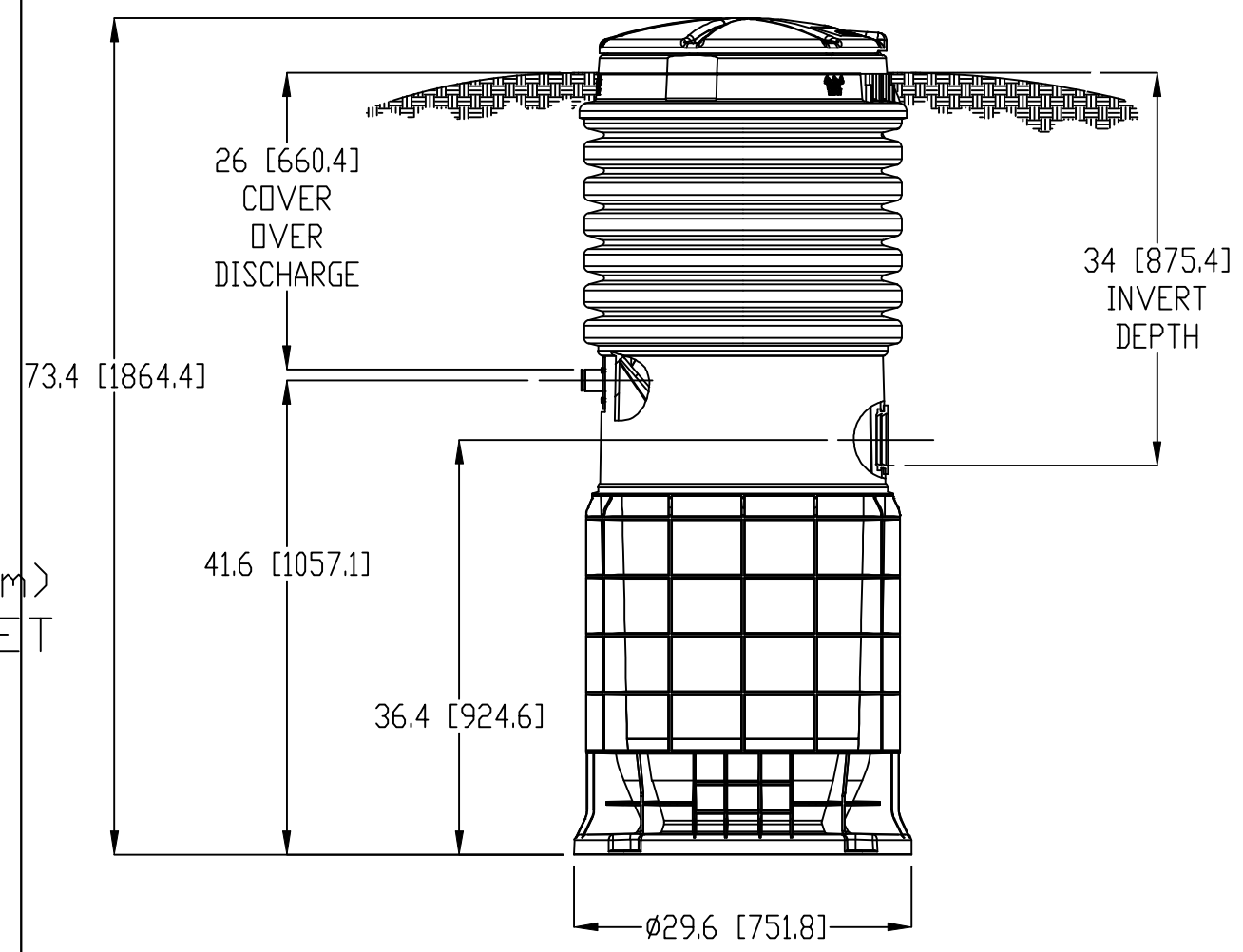
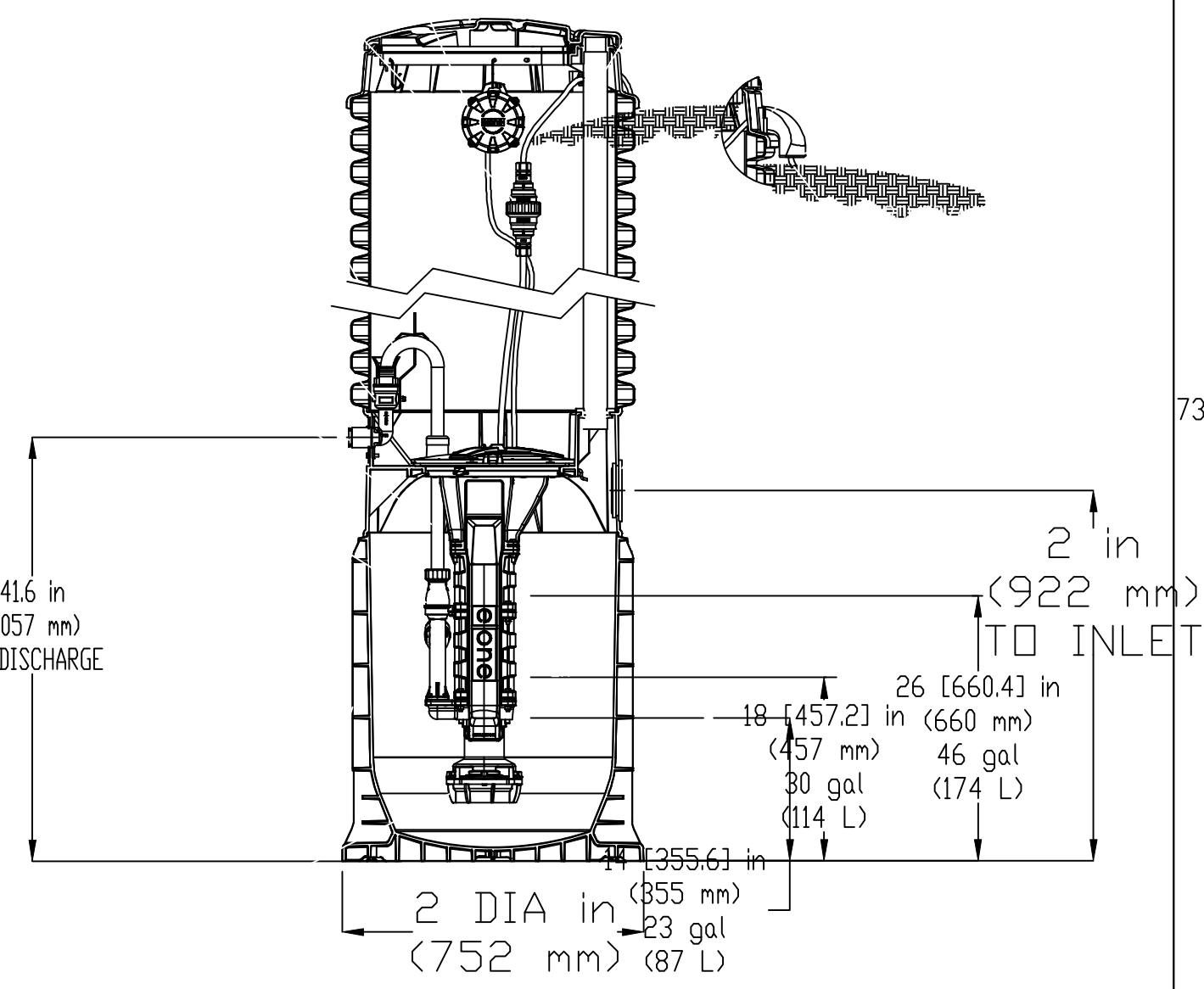
A meeting at the site is required to verify the water line locations and meter pit placements. A water service application and demand sheet will need to be completed by each ratepayer. The customers will need to run their water service lines out and install the meter pits inside the property line. Once the connections at the main line are made by Pennsylvania American Water, the meter sets will be scheduled, and the water service turned on to each location.

Please contact me for any questions or additional information at 724-743-3130.

Sincerely,

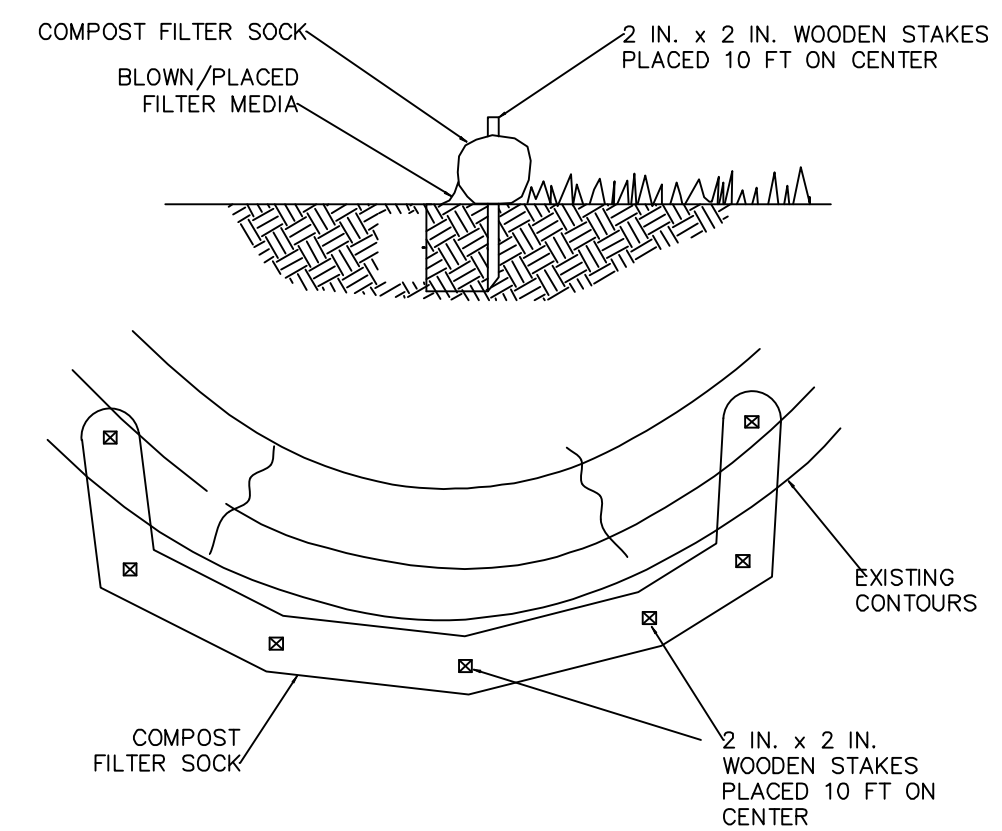
Michael S. Ricciuti  
Field Operations Supervisor  
300 Galley Road  
McMurray, PA 15317  
michael.ricciuti@amwater.com





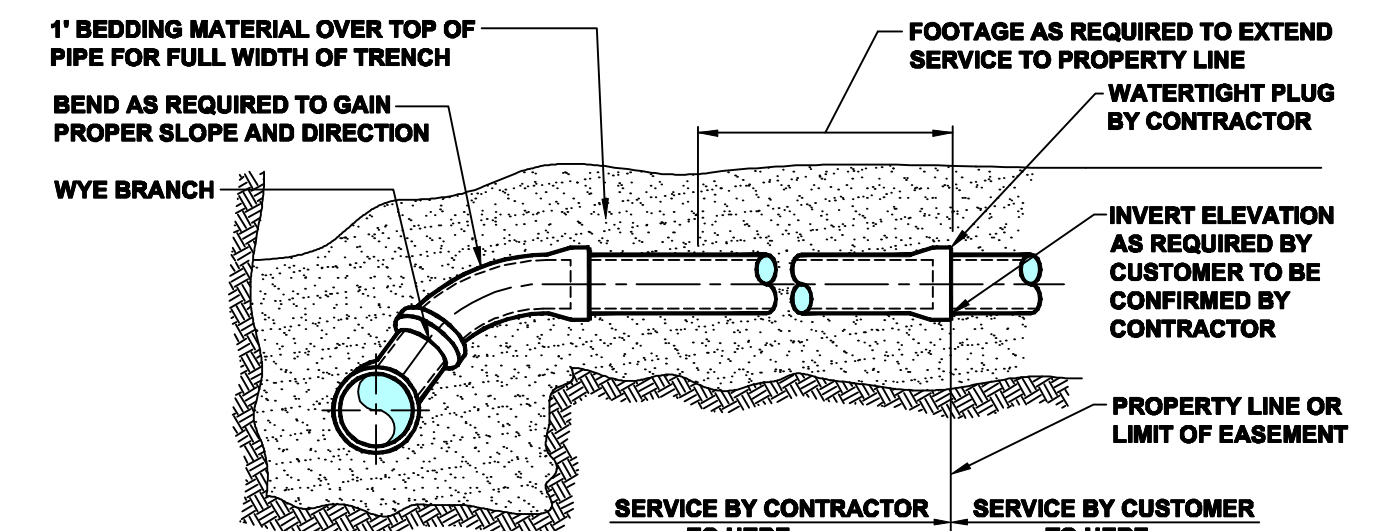
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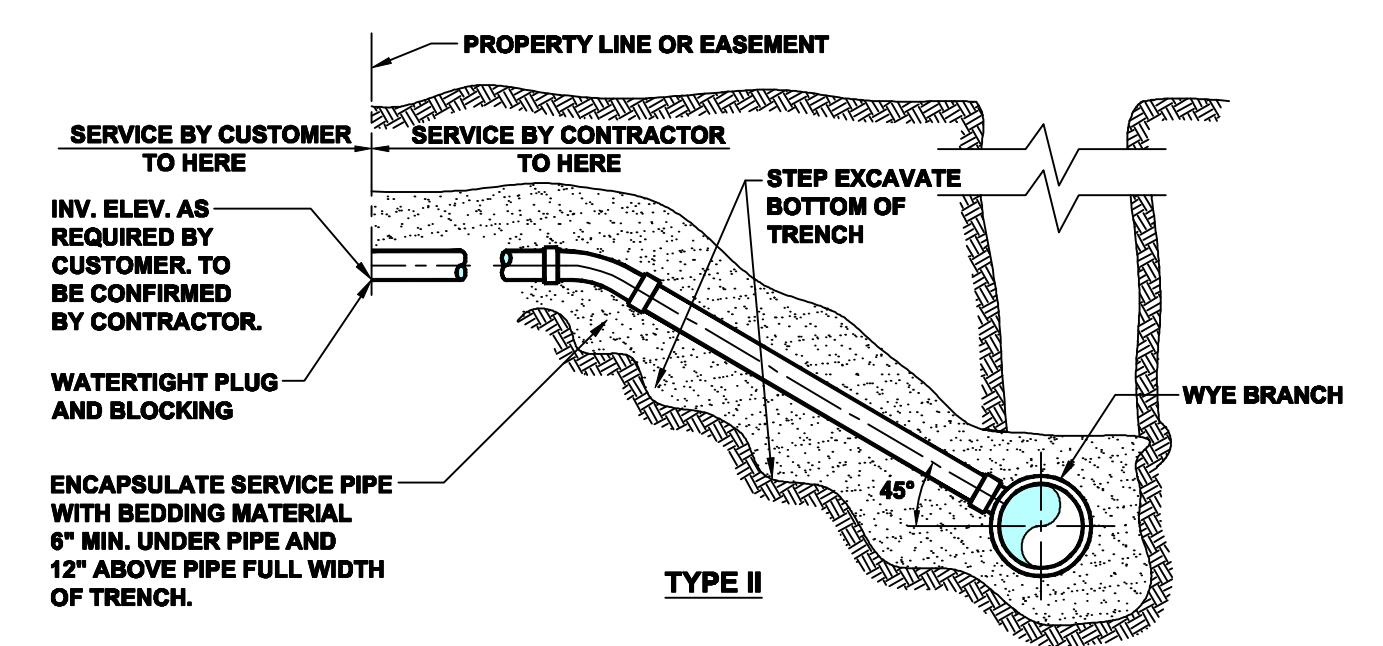


**NOTES:**  
 SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.  
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.  
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.  
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.  
 DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.  
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.  
 UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1  
COMPOST FILTER SOCK

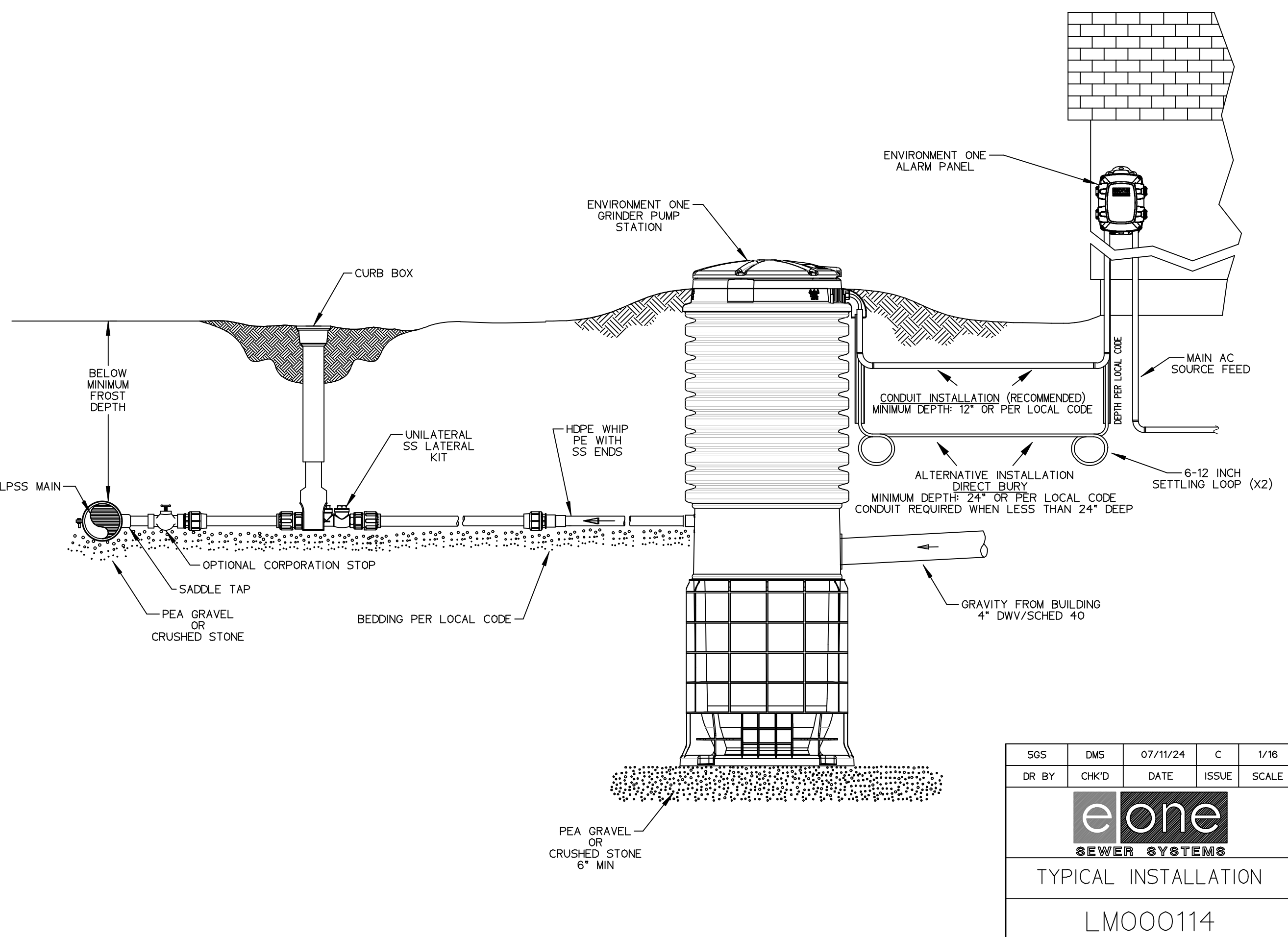


**NOTE:** WHERE MAIN SEWER IS IN PRIVATE PROPERTY, FOOTAGE OF LATERAL PIPE WILL EXTEND TO THE EDGE OF SEWER RIGHT-OF-WAY.

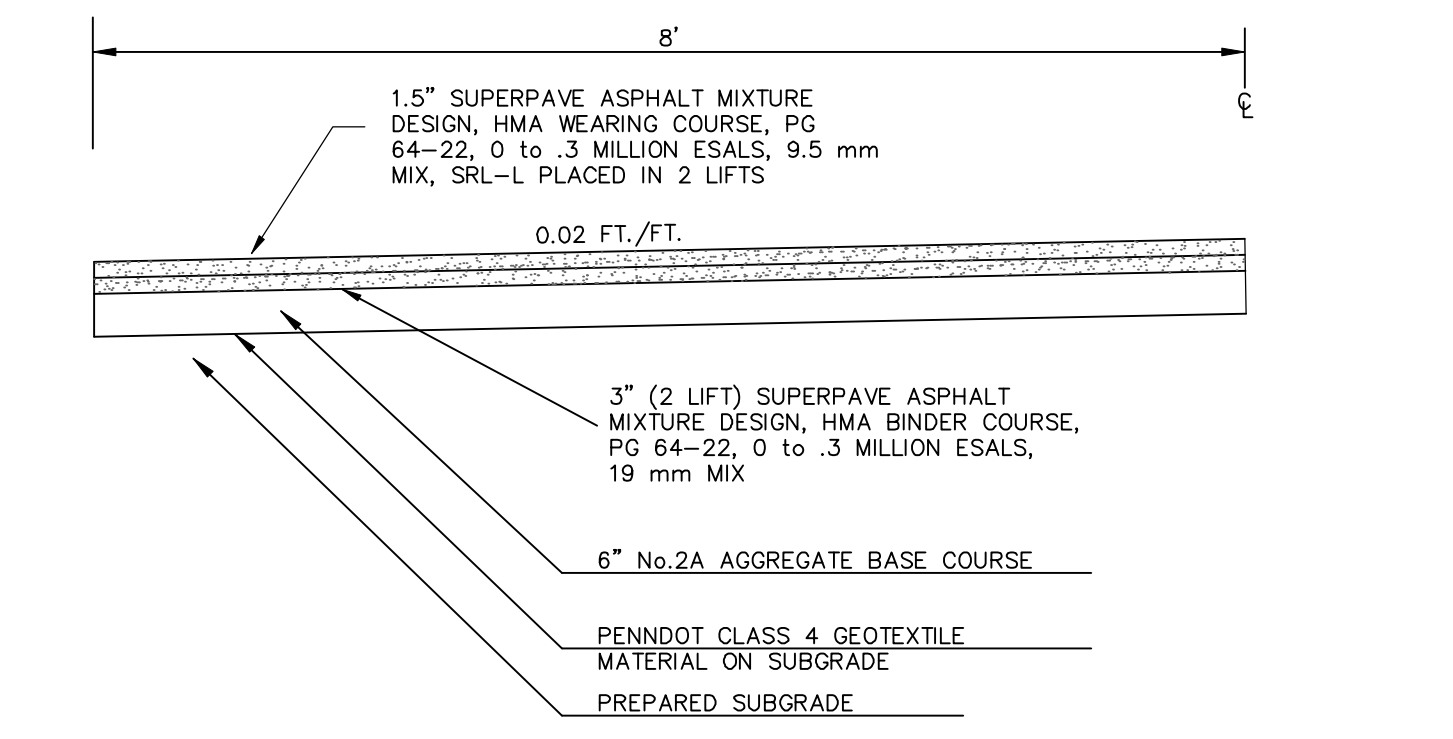


**NOTE:** ALL SERVICE SEWERS SHALL BE 6" DIAMETER AND SHALL BE PVC PIPE. CHANGES IN ALIGNMENT AND CONNECTIONS TO MAIN SEWER SHALL BE ACCOMPLISHED WITH PREFABRICATED FITTINGS.

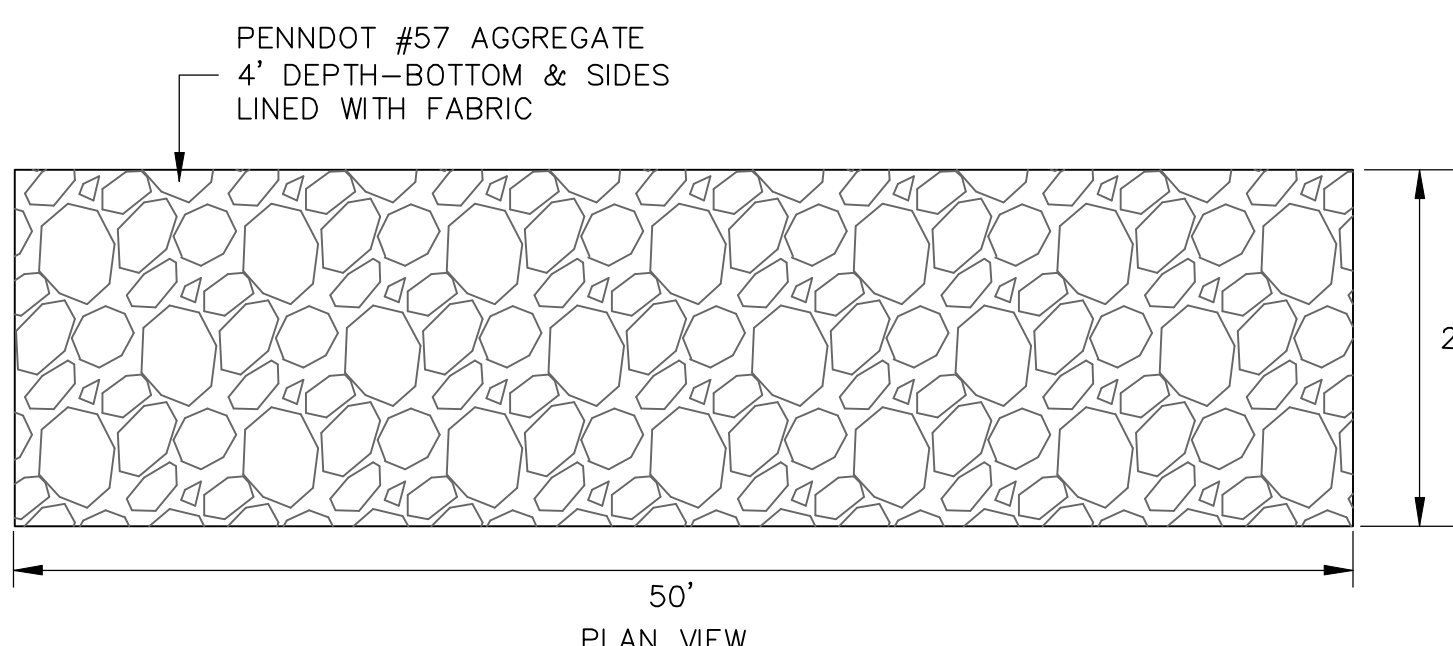
Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	TYPICAL SERVICE LATERAL CONNECTIONS
Not to scale	Standard Detail SD-023



SOS	DMS	07/11/24	C	1/16
DR BY	CHK'D	DATE	ISSUE	SCALE
<b>eone</b> SEWER SYSTEMS				
TYPICAL INSTALLATION				
LM000114				

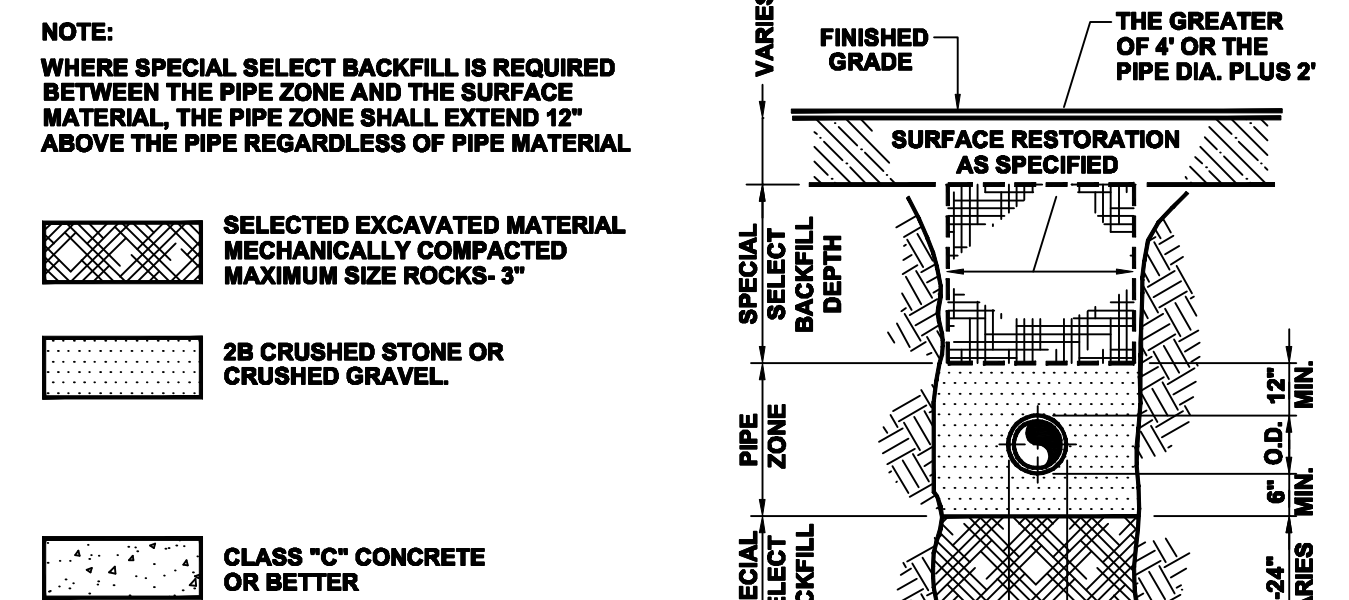


TYPICAL BITUMINOUS PRIVATE DRIVE SECTION

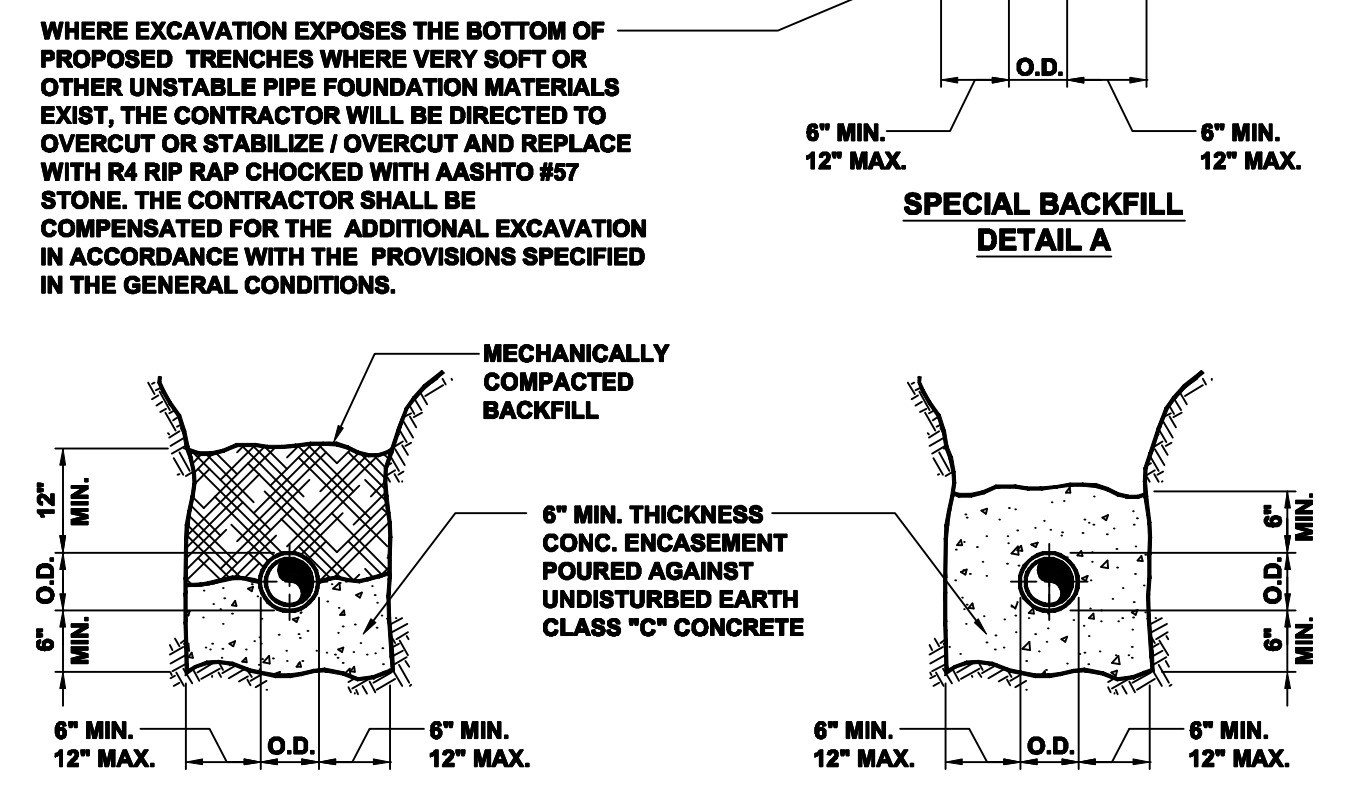


PRIVATE ROAD SUMP

VOLUME=50' X 20' X 4' X 0.4 VOIDS = 1600 CF



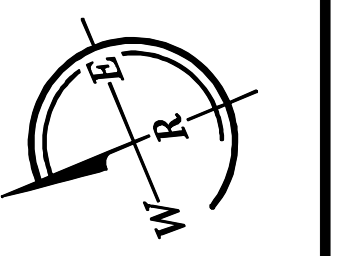
TYPICAL CONCRETE CRADLE DETAIL B



TYPICAL CONCRETE ENCASEMENT DETAIL C

Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	PIPE BEDDING DETAILS
Not to scale	Standard Detail SD-002

WIND RIDGE ENGINEERING CO.  
285 FINCH ROAD  
WIND RIDGE, PA 15380  
724.428.5268  
civil engineers • surveyors • landscape architects



JANOCHA DEVELOPMENT PLAN  
SITUATE  
SOUTH FAYETTE TOWNSHIP  
ALLEGHENY COUNTY - PENNSYLVANIA  
PREPARED FOR  
JOHN and LYNN A. JANOCHA

SCALE: 1"=50'  
DATE: Jan. 2022  
F.B.:  
DWG. BY: DMT  
CAD FILE: \JANOCHA\21-53.DWG  
JOB No.: 21-53

REVISIONS:

SHEET



517851 DRE Certified  
12-Aug-2022 10:16AM Int By: Angela Gans

From

John Janocha and Lynn A. Janocha, aka Lynn Janocha & aka Lynn Ann Janocha, his Wife, Hereinafter, the "Grantors"

To

John Janocha and Lynn A. Janocha, his Wife, Hereinafter, the "Grantees"

Mail Recorded Deed to:

Thomas G. Michalek  
2042 Swallow Hill Court  
Pittsburgh, PA 15220

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## Consolidation Deed

This Consolidation Deed, made this 18 day July, 2022

Between John Janocha and Lynn A. Janocha, aka Lynn Janocha & aka Lynn Ann Janocha, his Wife, Hereinafter, the "Grantors"

AND

John Janocha and Lynn A. Janocha, his Wife Hereinafter, the "Grantees"

Whereas, the purpose of this Consolidation Deed is to comply with the filing requirements associated with the recording of the Janocha Consolidation Plan, filed in the Recorder's Office of Allegheny County @ PBV 313, Page 26 on May 20, 2022.

Witnesseth, that Grantors, in consideration, of One Dollar and other valuable consideration, do hereby grant, convey, and warrant unto Grantees, their heirs and assigns, the real estate more fully described in attached Exhibits A & B. The entire Consolidation Plan is bisected by PA State Route 50 and the attached legal descriptions reflect the portions of the property located to the South of Route 50 and that located to the North of Route 50.

Being a consolidation of the following parcels of land conveyed to the Grantor(s) as identified on the Janocha Consolidation Plan as follows:

Parcel 1 – Lynn Ann Janocha @ DBV 18204; Page 285;  
Being known as Blk & Lot 325 – L – 16

Parcel 2 – John Janocha and Lynn A. Janocha @ DBV 8898; Page 156;  
Being known as Block & Lot # 400 – F – 10

Parcel 3. – Lynn Janocha @ DBV 14146, Page 330;  
Being known as BLK & Lot # 400 – E – 5

The Consolidated parcel is intended to be assigned the Parcel # 400 – F – 10, which is the Parcel # of the existing residence of the Grantors/Grantees.

This deed is exempt from real estate transfer tax under 72 P.S. Section 1102-C.3.(6) being a transfer from husband and wife to husband and wife.

**NOTICE--THIS DOCUMENT MAY NOT SELL, CONVEY, TRANSFER, INCLUDE OR INSURE THE TITLE TO THE COAL AND RIGHT OF SUPPORT UNDERNEATH THE SURFACE LAND DESCRIBED OR REFERRED TO HEREIN, AND THE OWNER OR OWNERS OF SUCH COAL MAY HAVE (HAVE) THE COMPLETE LEGAL RIGHT TO REMOVE ALL OF SUCH COAL AND, IN THAT CONNECTION, DAMAGE MAY RESULT TO THE SURFACE OF THE LAND AND ANY HOUSE, BUILDING OR OTHER STRUCTURE ON OR IN SUCH LAND. THE INCLUSION OF THIS NOTICE DOES NOT ENLARGE, RESTRICT OR MODIFY ANY LEGAL RIGHTS OR ESTATES OTHERWISE, CREATED, TRANSFERRED, EXCEPTED OR RESERVED BY THIS INSTRUMENT. [This notice is set forth in the manner provided in Section 1 of the Act of July 17, 1957, P.L. 984, as amended, and is not intended as notice of unrecorded instruments, if any.]**

*In witness whereof, the said Grantor has hereunto set their hand the day and year first above written.*

Thomas A. Michalek  
Witness  
(as to Both)

\_\_\_\_\_  
Witness

John Janocha  
John Janocha  
Lynn A. Janocha  
Lynn A. Janocha, aka Lynn Janocha &  
aka Lynn Ann Janocha

NOTICE--THE UNDERSIGNED, AS EVIDENCED BY THE SIGNATURE(S) TO THIS NOTICE AND THE ACCEPTANCE AND RECORDING OF THIS DEED. IS/ARE FULLY COGNIZANT OF THE FACT THAT UNDERSIGNED MAY NOT BE OBTAINING THE RIGHT OF PROTECTION AGAINST SUBSIDENCE. AS TO THE PROPERTY HEREIN CONVEYED. RESULTING FROM COAL MINING OPERATIONS AND THAT THE PURCHASED PROPERTY HEREIN CONVEYED. MAY BE PROTECTED FROM DAMAGE DUE TO MINE SUBSIDENCE BY A PRIVATE CONTRACT WITH THE OWNERS OF THE ECONOMIC INTEREST IN THE COAL.. THIS NOTICE IS INSERTED HEREIN TO COMPLY WITH THE BITUMINOUS MINE SUBSIDENCE AND LAND CONSERVATION ACT OF 1966, as amended 1980, OCT. 10, P>L 874, NO. 156§1

WITNESS:

Thomas D. Michalek  
(as to Both)

John Janocha  
Lynn A. Janocha

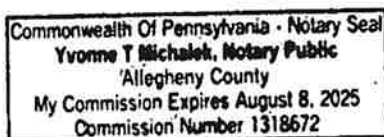
Commonwealth of Pennsylvania  
County of Allegheny

On this the 18th day of July, 2022, before me the undersigned officer, personally appeared John Janocha and Lynn A. Janocha, known to me (or satisfactorily proven) to be the persons whose names are subscribed to the within instrument and acknowledged that they executed the same for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.

My commission expires

Yvonne T. Michalek  
Notary



Certificate of Residence

I do hereby certify that the Tax billing address  
of the within named Grantee/s is

John Janocha

740 Hickory Grade Rd

Bridgeville, PA 15017

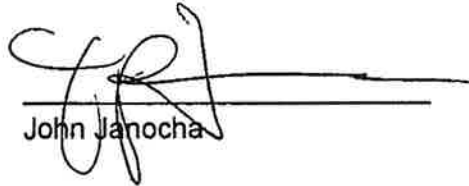
Date 7/18/22

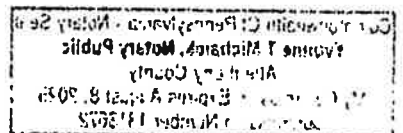
I do hereby certify that the Owner's  
Mailing address is:

John Janocha

740 Hickory Grade Rd

Bridgeville, PA 15017

  
\_\_\_\_\_  
John Janocha



## LEGAL DESCRIPTIONS

### JANOCHA PROPERTY SOUTH

ALL That certain parcel of land shown as the portion of Parcel A on the southerly side of S.R. 0050 on the Janocha Consolidation Plan, recorded in the Allegheny County Department of Real Estate in Plan Book 313 Page 26, situate in South Fayette Township, Allegheny County, Pennsylvania, more particularly bounded and described as follows, to wit:

BEGINNING at a point on the northerly line of Hickory Grade Road at a corner common to Parcel A-R in the Parkes Farm Estates Phase No. 2 as recorded in Plan Book 242 Page 204; thence along line of Parcel A-R, North 21°-07'-28" West a distance of 345.34 feet to a post; thence by the same, North 79°-14'-48" West a distance of 932.96 feet to an iron pin set on line of Lot 102 in the Wright Plan of Lots recorded in Plan Book 242 Page 95; thence along line of Lot 102, North 15°-23'-23" East a distance of 36.19 feet to a railroad rail; thence by the same, North 67°-27'-50" West a distance of 353.99 feet to an iron pin set on the southerly right of way line of State Route 50; thence along said southern right of way line the following courses and distances: North 24°-01'-06" East a distance of 93.51 feet; by an arc of a circle (non-radial) curving to the right, having a radius of 1457.02 feet an arc distance of 445.02 feet (Chord= North 51°-02'-59" East a distance of 443.29 feet); North 56°-56'-26" East a distance of 180.23 feet; North 69°-56'-50" East a distance of 271.40 feet; North 88°-50'-58" East a distance of 315.54 feet; South 81°-01'-37" East a distance of 255.87 feet; North 66°-22'-50" East a distance of 104.20 feet; South 39°-14'-57" East a distance of 81.39 feet; North 87°-32'-20" East a distance of 323.12 feet; South 80°-07'-23" East a distance of 263.99 feet to an iron pin set at a corner common to lands of Nicholas Papakie; thence along line of said Papakie, South 06°-28'-14" East a distance of 198.20 feet to an iron pin set at a corner common to John Mackey; thence along line of said Mackey, South 06°-30'-00" East a distance of 117.47 feet to a point; thence continuing along Mackey and lands of Scott Dolgos, South 60°-37'-30" West a distance of 394.12 feet to an iron pin set; thence continuing along said Dolgos, South 08°-18'-30" East a distance of 258.08 feet to a point on the northerly line of the aforesaid Hickory Grade Road; thence along said northerly line the following courses and distances: South 81°-47'-15" West a distance of 272.49 feet; by an arc of a circle curving to the left, having a radius of 188.32 feet an arc distance of 183.18 feet; South 26°-03'-24" West a distance of 10.94 feet; by an arc of a circle curving to the left, having a radius of 364.01 feet an arc distance of 144.30 feet; South 03°-20'-38" West a distance of 82.68 feet to a point at the place of BEGINNING.

Containing an area of 32.701 acres.

**Exhibit A**

## JANOCHA PROPERTY NORTH

ALL That certain parcel of land shown as the portion of Parcel A on the northerly side of S.R. 0050 on the Janocha Consolidation Plan, recorded in the Allegheny County Department of Real Estate in Plan Book 313 Page 26, situate in South Fayette Township, Allegheny County, Pennsylvania, more particularly bounded and described as follows, to wit:

BEGINNING at a point on the northerly right of way line of State Route 50 at a point on the westerly line of West Street (unimproved) as shown on the Robb Hill Plan recorded in Plan Book 37 Page 184; thence along said northern right of way line the following courses and distances: North  $57^{\circ}-32'-25''$  West a distance of 271.59 feet; South  $71^{\circ}-40'-31''$  West a distance of 223.61 feet; North  $81^{\circ}-45'-35''$  West a distance of 251.70 feet; by an arc of a circle curving to the left, having a radius of 1757.02 feet an arc distance of 234.72 feet; North  $81^{\circ}-24'-51''$  West a distance of 275.67 feet; by an arc of a circle (non-radial) curving to the left, having a radius of 2516.64 feet an arc distance of 897.85 feet (Chord= South  $63^{\circ}-57'-31''$  West a distance of 893.10 feet); South  $53^{\circ}-06'-53''$  West a distance of 283.83 feet; South  $43^{\circ}-05'-58''$  West a distance of 266.96 feet to a point on line of lands of Cuddy Partners; thence along said Cuddy Partners, North  $67^{\circ}-27'-50''$  West a distance of 79.08 feet to a point in the Norfolk & Western Railroad right of way; thence in said right of way, North  $15^{\circ}-45'-07''$  East a distance of 73.58 feet to a point on northerly line of said railroad right of way; thence along the northerly line, North  $53^{\circ}-00'-14''$  East a distance of 39.07 feet; thence leaving said right of way and along line of the Nicholson Plan of Lots recorded in Plan Book 105 Page 125 the following courses and distances: by an arc of a circle curving to the right, having a radius of 695.31 feet an arc distance of 452.80 feet (Chord= North  $37^{\circ}-42'-14''$  East a distance of 444.84 feet); North  $56^{\circ}-21'-34''$  East a distance of 710.00 feet; North  $62^{\circ}-33'-34''$  East a distance of 364.00 feet; by an arc of a circle curving to the right, having a radius of 573.69 feet an arc distance of 269.67 feet (Chord= North  $75^{\circ}-54'-59''$  East a distance of 267.19 feet); North  $89^{\circ}-16'-24''$  East a distance of 947.67 feet to a point on line of lands of John Kosky Jr.; thence along line of said John Kosky Jr., South  $03^{\circ}-38'-35''$  East a distance of 300.34 feet to a point at the intersection of the northern line of Allegheny Avenue with the westerly line of the aforesaid West Street in the aforesaid Robb Hill Plan; thence along West Street, South  $04^{\circ}-35'-10''$  East a distance of 229.29 feet to a point at the place of BEGINNING.

Containing an area of 17.770 acres.

**Exhibit B**